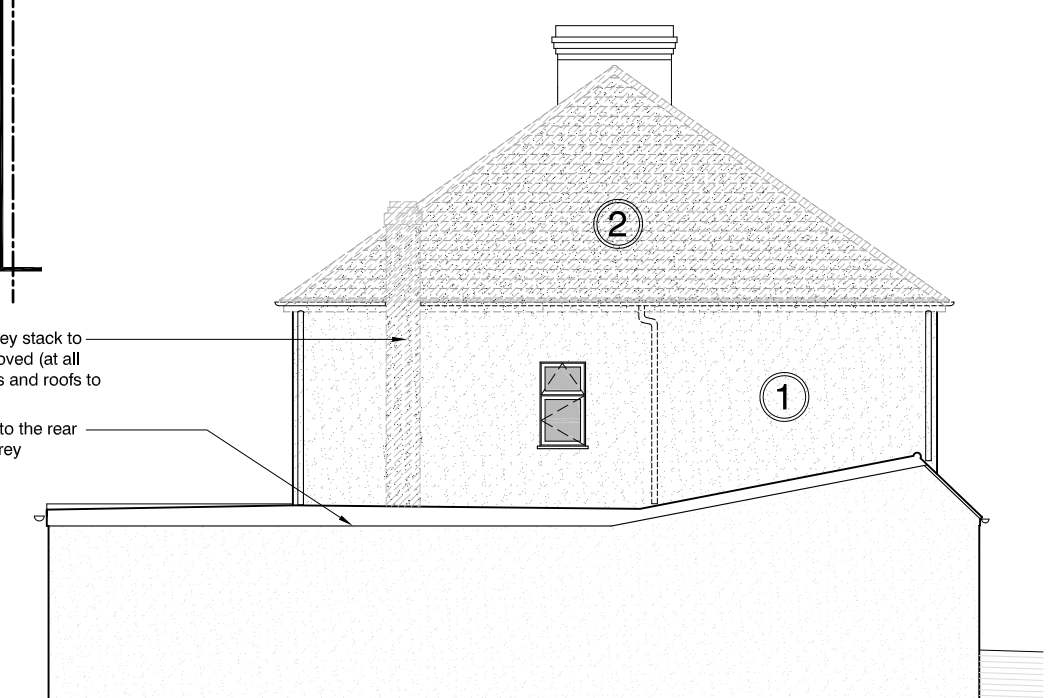


EXISTING REAR (WEST) ELEVATION
Scale 1:50



EXISTING FRONT (EAST) ELEVATION
Scale 1:100



EXISTING SIDE (SOUTH) ELEVATION
Scale 1:100

Existing rear chimney stack to be completely removed (at all levels). Walls, floors and roofs to be made good.
No changes made to the rear and side single storey extension.

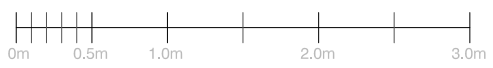
Existing main central chimney stack to be retained.
Existing roof tiles to be retained.

Hip to Gable Change:
The whole of the southern hipped part of the existing roof is to be removed and changed to a "gable end" type roof configuration. Requires new timber rafters, ridge plate and supports all to structural engineers design.

Large opening made through west side of existing roof structure for new dormer extension.

No aesthetically changes / alterations to be main (highway facing) principal elevation - at ground and first floor levels.

Existing Soil Vent Pipe to be removed and first floor position moved to suit new loft extension.



rev.	revision	dr	chkd	date
------	----------	----	------	------

P1	First Issue for client comment.	lth	lth	24.06.21
P2	Issued for Householders Planning Application Submission.	lth	lth	26.06.21
P2	Roof tiles and Window Colour Change as per Clients Request.	lth	lth	31.07.21

- notes:**
1. the contractor must check all dimensions on site before commencing work.
 2. any discrepancies must be immediately brought to the attention of the designer.
 3. all work must conform to current building regulations, British standards & codes of practice and nhbc standards.
 4. these drawings are to be read in conjunction with all relevant designer, engineer or specialist drawings and specifications.
 5. all dimensions are in millimetres unless stated otherwise
 6. all materials are to be used and installed in strict compliance with the relevant manufacturer's recommendations.
 7. the contractor is responsible for providing all necessary temporary support the building and any adjacent structures.
 8. all construction must be built within the actual property boundaries unless party wall agreement allows otherwise

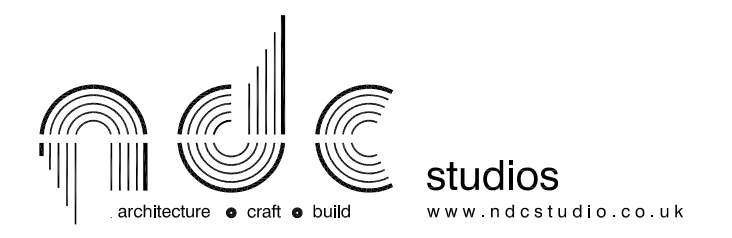
safety, health and environmental information:
- for health and safety information, refer to discipline specific risk management schedule.

LEGEND

- Boundary Line / Title Extent
- Existing building to be retained.
- Existing building to be removed.

MATERIALS

- Existing Smooth External Render - "Cream" Colour
- Existing Interlocking Concrete Roof Tiles - "Red / Terracotta" Colour
- Existing uPVC External Windows and Doors - "White" Colour



Rear Loft Extension
45 Cleveland Road, Welling, DA16 3JP
Ms Jessica Woodhall & Mr Gareth Cross

Building Elevations
Existing / Demolition Design

1:50 @A3 scale, 25/05/21 date, lth drawn by, chkd by.

2021L - 054 - 011 P3 drawing no.

