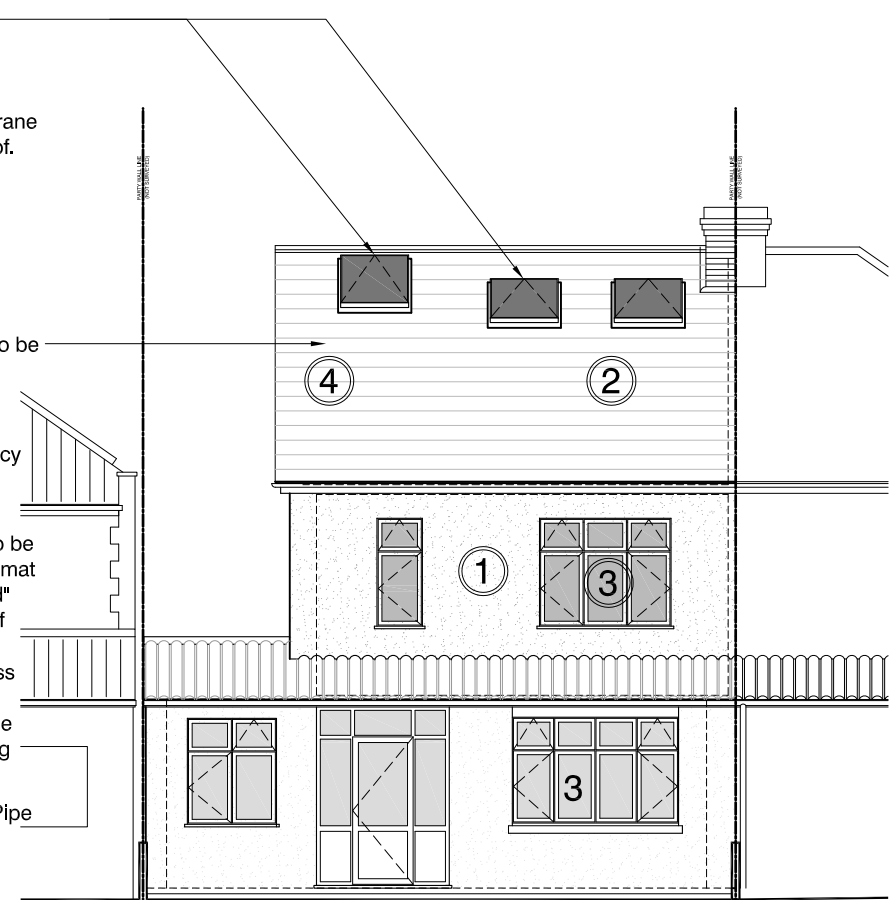


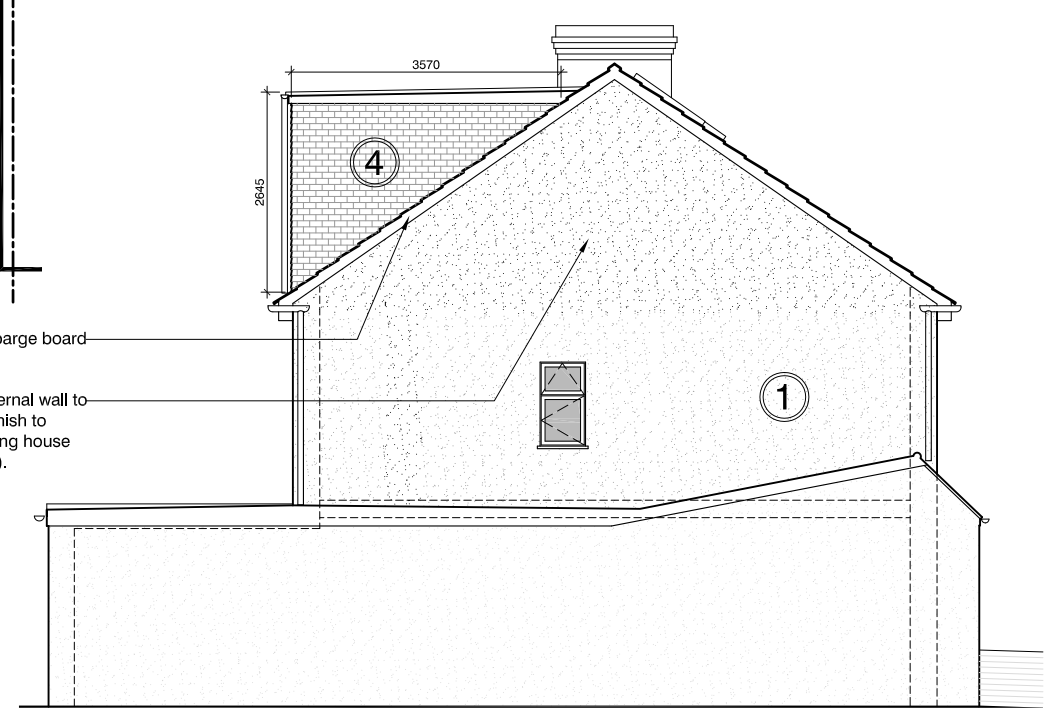
**PROPOSED REAR (WEST) ELEVATION**  
Scale 1:50

- x3 new pitched rooflights installed into new gable roof structure.
- New 'Grey' Single ply membrane roof finish to new dormer roof.
- New 'Black' uPVC soffit and fascia.
- New 'Black' RWP / rainwater goods.
- Existing / retained roof tiles to be re-laid onto new gable roof.
- New 'white' composite aluminium/timber external window - with smoked privacy glass.
- New dormer roof extension (250mm wall construction) to be externally clad with Small format Concrete Tiles - "Natural Red" colour to match existing roof tiles.
- New 1200mm High Frameless Glass Balustrade (16.8mm laminated glass Soteria) to be fitted externally to new sliding door system.
- New 'black' uPVC Soil Vent Pipe to pick up new En-suite to terminate at 600mm above dormer roof soffit.
- New floor to ceiling aluminium sliding door system, colour 'White' - with frameless balustrade in front.

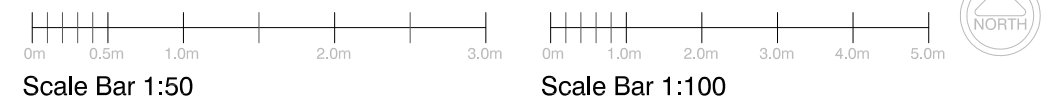
- New 'Black' uPVC barge board to new gable end.
- New gable end external wall to receive rendered finish to match-in with existing house (colour and texture).



**PROPOSED FRONT (EAST) ELEVATION**  
Scale 1:100



**PROPOSED SIDE (SOUTH) ELEVATION**  
Scale 1:100



rev.	revision	dr	chkd	date
P1	First Issue for client comment.	lth	lth	24.06.21
P2	Issued for Householders Planning Application Submission.	lth	lth	26.06.21
P3	Roof tiles and Window Colour Change as per Clients Request	lth	lth	31.07.21

- notes:**
1. the contractor must check all dimensions on site before commencing work.
  2. any discrepancies must be immediately brought to the attention of the designer.
  3. all work must conform to current building regulations, British standards & codes of practice and nhbc standards.
  4. these drawings are to be read in conjunction with all relevant designer, engineer or specialist drawings and specifications.
  5. all dimensions are in millimetres unless stated otherwise
  6. all materials are to be used and installed in strict compliance with the relevant manufacturer's recommendations.
  7. the contractor is responsible for providing all necessary temporary support the building and any adjacent structures.
  8. all construction must be built within the actual property boundaries unless party wall agreement allows otherwise

**safety, health and environmental information:**  
- for health and safety information, refer to discipline specific risk management schedule.

**LEGEND**

- Boundary Line / Title Extent
- Existing building to be retained.
- Existing building to be removed.

- MATERIALS**
- ① Existing Smooth External Render - "Cream" Colour
  - ② Existing Interlocking Concrete Roof Tiles - "Red / Terracotta" Colour
  - ③ Existing uPCV External Windows and Doors - "White" Colour
  - ④ New Concrete Plain Roof Tiles - "Natural Red" Colour
  - ⑤ New Aluminum Sliding Door and Windows - "White" Colour



**Rear Loft Extension**  
45 Cleveland Road, Welling, DA16 3JP  
Ms Jessica Woodhall & Mr Gareth Cross

**Building Elevations**  
Proposed End-State

1:50 @A3 scale, 25/05/21 date, lth drawn by, chkd by.

**2021L - 054 - 021** P3 drawing no.