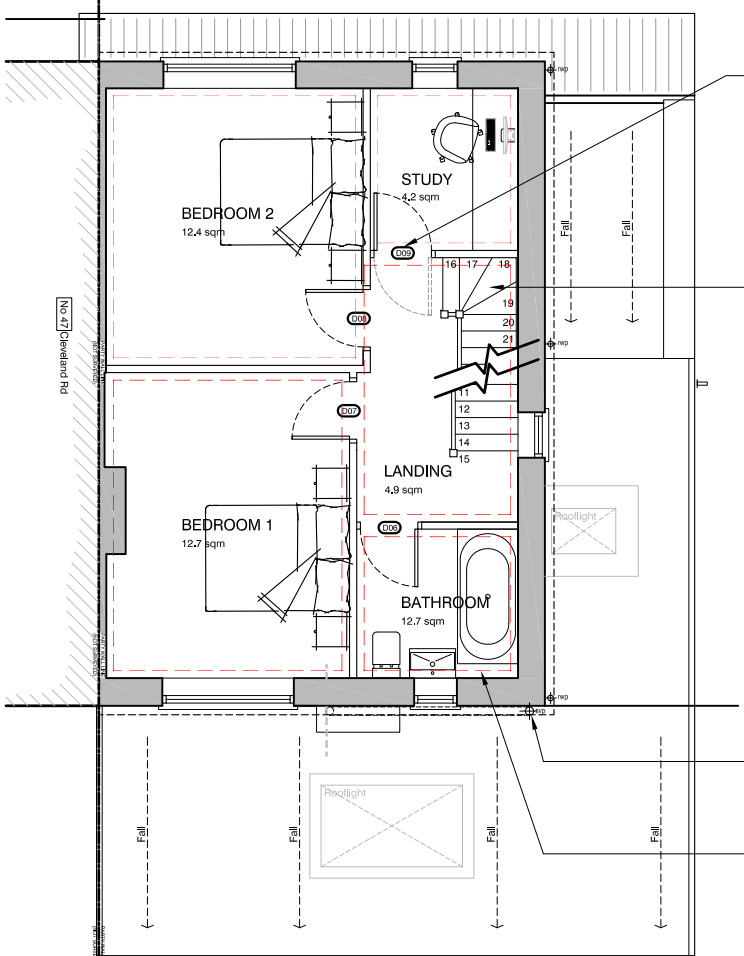


PROPOSED GROUND FLOOR PLAN
Scale 1:100



PROPOSED FIRST FLOOR PLAN
Scale 1:100

New hot water 'Mega Flow' boost cylinder (recommended when a household has more than 2 bathrooms).

Potential New Boiler Location:
Should the current boiler not be fit for powering the house (with an additional en-suite) this location could be used for a new System Boiler with new flue out through existing roof.

Rooflight Type R1 - New 900x900 pitched rooflight installed over new stair case. To be openable (for passive ventilation).

New timber 'winder' staircase from first floor landing to new loft conversion on the second floor (min 2.0m head height).

New full height 30min fire rated internal wall construction.

New built-in wardrobes / storage.

New Party Wall internal studwork lining (insulated) to be installed in front of existing brick chimney breast structure.

Rooflight Type R2 - New 900x700 pitched rooflight installed over new dressing room. To be openable (for passive ventilation).

New 30min Fire Door to separate second floor loft conversion spaces from rest of house.

New 30min Fire Doors to all First Floor and Ground Floor hallway / landing doors.

New En-suite - with shower, W.C (concealed cistern) and "His & Hers" hand basin.

New timber 'winder' staircase from first floor landing to new loft conversion on the second floor (min 2.0m head height).

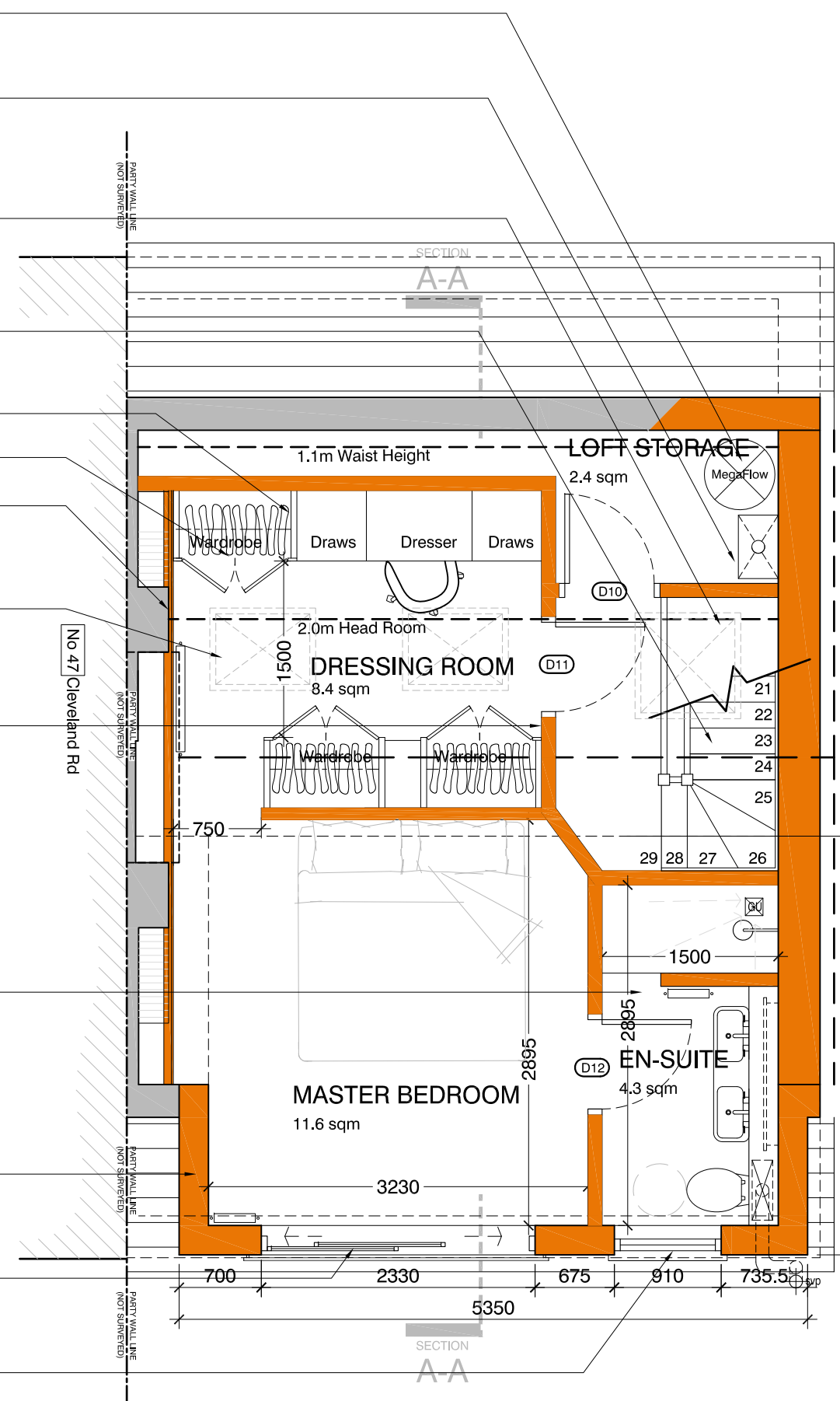
New dormer roof extension (250mm wall construction) to be externally clad with Small format Concrete Tiles - "Natural Red" colour to match existing roof tiles.

New large feature floor to ceiling 'white' composite aluminium/timber sliding door system - with juliet balcony (glass external balustrade).

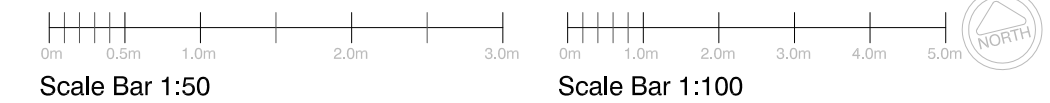
New 'white' composite aluminium/timber external window - with smoked privacy glass.

New 'black' uPVC Soil Vent Pipe - connected to new below ground drainage route.

Dashed Red Outlines denotes rooms/spaces where new first floor ceilings need to achieve 30mins Fire Resistance.



PROPOSED LOFT / SECOND FLOOR PLAN
Scale 1:50



rev.	revision	dr	chkd	date
P1	First Issue for client comment.	lth	lth	02.06.21
P2	Layout updated as per clients comments.	lth	lth	24.06.21
P3	Issued for Household's Planning Application Submission.	lth	lth	26.06.21
P4	Roof tiles and Window Colour Change as per Clients Request	lth	lth	31.07.21

- notes:**
1. the contractor must check all dimensions on site before commencing work.
 2. an discrepancies must be immediately brought to the attention of the designer.
 3. all work must conform to current building regulations, British standards & codes of practice and nhbc standards.
 4. these drawings are to be read in conjunction with all relevant designer, engineer or specialist drawings and specifications.
 5. all dimensions are in millimetres unless stated otherwise
 6. all materials are to be used and installed in strict compliance with the relevant manufacturer's recommendations.
 7. the contractor is responsible for providing all necessary temporary support the building and any adjacent structures.
 8. all construction must be built within the actual property boundaries unless party wall agreement allows otherwise

safety, health and environmental information:
- for health and safety information, refer to discipline specific risk management schedule.

LEGEND

- Boundary Line / Title Extent
- Existing building to be retained.
- Existing building to be removed.
- New extension/ works extent.
- New below ground drainage routes
- New high-level steelwork



Rear Loft Extension
45 Cleveland Road, Welling, DA16 3JP
Ms Jessica Woodhall & Mr Gareth Cross

Floor Plans
Proposed End-State

1:50 @A3 scale, 25/05/21 date, lth drawn by, chkd by.
2021L - 054 - 020 P4 drawing no.