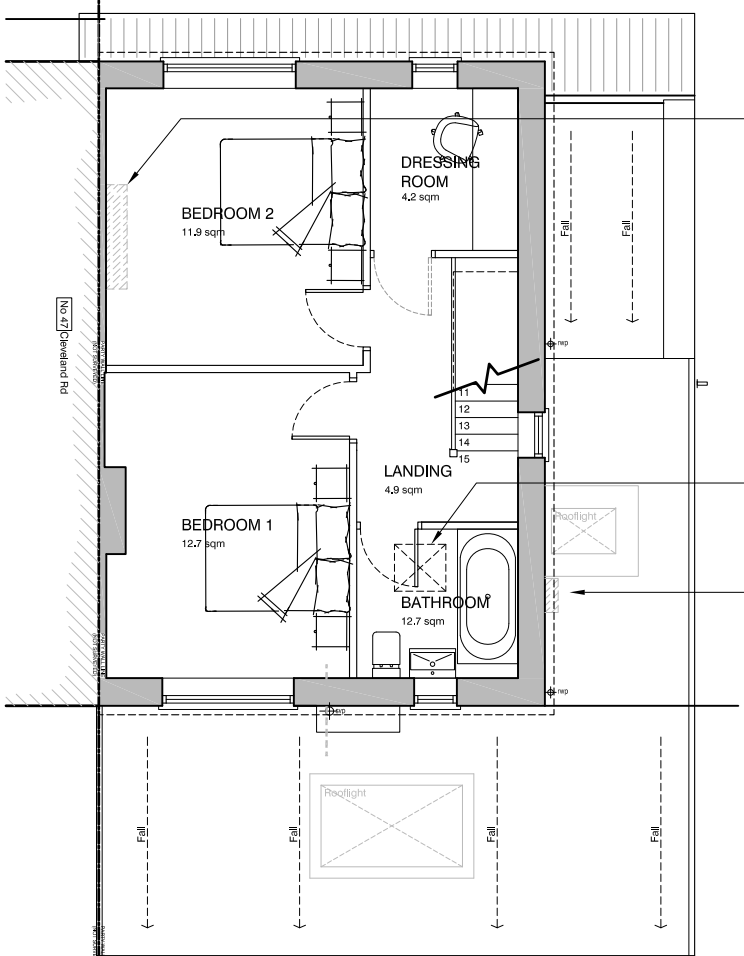


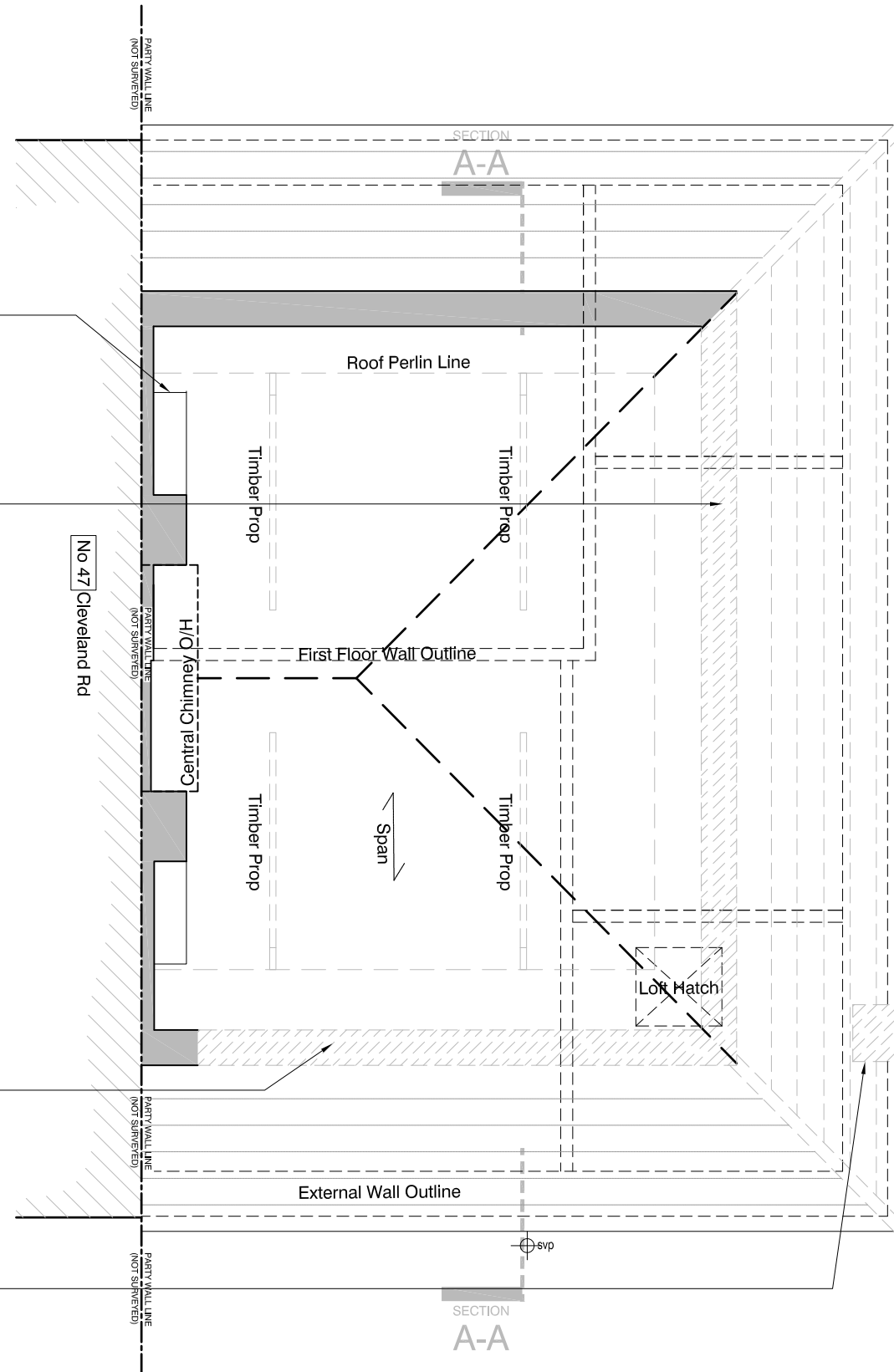
**EXISTING GROUND FLOOR PLAN**  
Scale 1:100



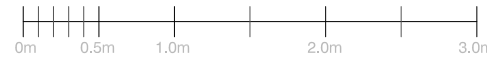
**EXISTING FIRST FLOOR PLAN**  
Scale 1:100

- No major changes to the ground floor layout.
- Existing ground to first floor staircase to be retained.
- Existing front chimney stack to be removed at ground and first floor levels. Walls and floors to be made good.
- Existing Gas Combi Boiler location (may require replacing due to creation of new en-suite).
- Central Chimney - angled corbelling sections and central section above all to be retained.
- Hip to Gable Change:**  
The whole of the southern hipped part of the existing roof is to be removed and changed to a "gable end" type roof configuration. Requires new timber rafters, ridge plate and supports all to structural engineers design.

- Chimney breast to be removed and chimney / masonry above to be supported off new "Gallows Brackets" secondary steelwork.
- Large opening made through west side of existing roof structure for new dormer extension.
- Denotes existing loft access hatch - to be filled in and made good.
- Existing rear chimney stack to be completely removed (at all levels). Walls, floors and roofs to be made good.



**EXISTING LOFT / SECOND FLOOR PLAN**  
Scale 1:50



Scale Bar 1:50



Scale Bar 1:100

rev.	revision	dr	chkd	date
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P1	First Issue for client comment.	lth	lth	02.06.21
P2	Issued for Householders Planning Application Submission.	lth	lth	26.06.21
P3	Roof tiles and Window Colour Change as per Clients Request.	lth	lth	31.07.21

**notes:**

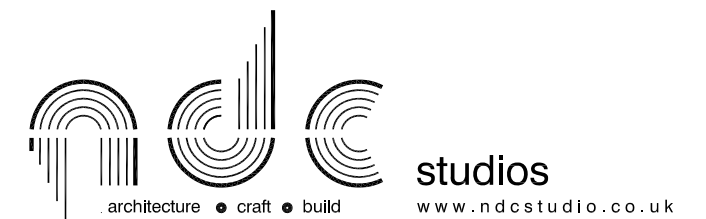
- the contractor must check all dimensions on site before commencing work.
- any discrepancies must be immediately brought to the attention of the designer.
- all work must conform to current building regulations, British standards & codes of practice and nhbc standards.
- these drawings are to be read in conjunction with all relevant designer, engineer or specialist drawings and specifications.
- all dimensions are in millimetres unless stated otherwise
- all materials are to be used and installed in strict compliance with the relevant manufacturer's recommendations.
- the contractor is responsible for providing all necessary temporary support the building and any adjacent structures.
- all construction must be built within the actual property boundaries unless party wall agreement allows otherwise

**safety, health and environmental information:**

- for health and safety information, refer to discipline specific risk management schedule.

**LEGEND**

- Boundary Line / Title Extent
- Existing building to be retained.
- Existing building to be removed.



**Rear Loft Extension**  
45 Cleveland Road, Welling, DA16 3JP  
Ms Jessica Woodhall & Mr Gareth Cross

Floor Plans  
Existing / Demolition Design

1:50 @A3 scale, 25/05/21 date, lth drawn by,

**2021L - 054 - 010**

drawing.

chkd by.

P3 drawing no.