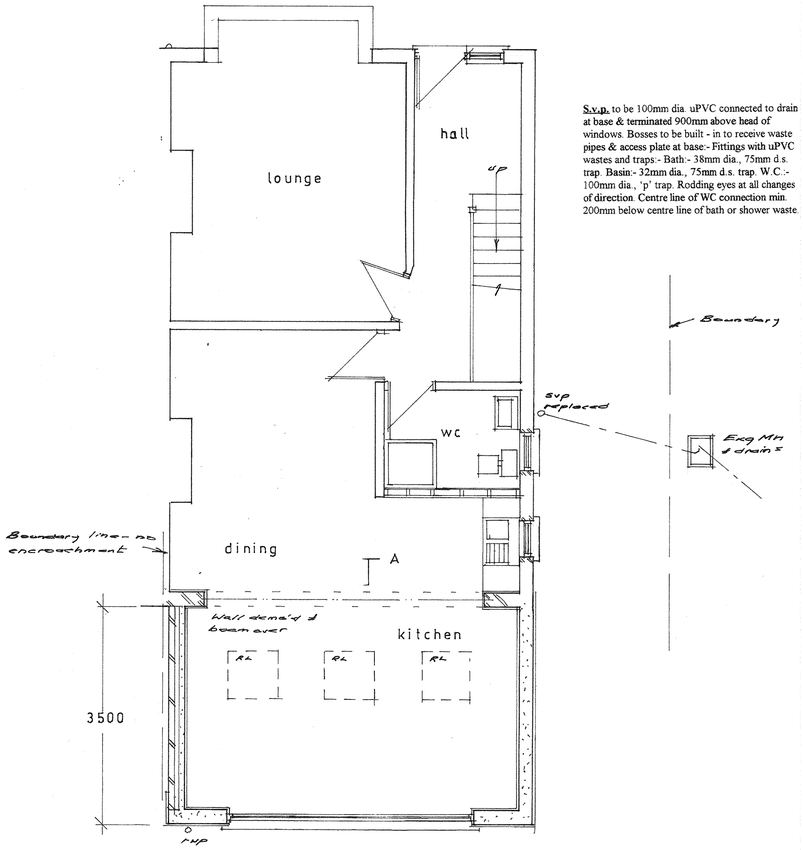
Proposed floor plan



S.v.p. to be 100mm dia. uPVC connected to drain at base & terminated 900mm above head of windows. Bosses to be built - in to receive waste pipes & access plate at base:- Fittings with uPVC wastes and traps :- Bath:- 38mm dia., 75mm d.s. trap. Basin:- 32mm dia., 75mm d.s. trap. W.C.:- 100mm dia., 'p' trap. Rodding eyes at all changes of direction. Centre line of WC connection min. 200mm below centre line of bath or shower waste.

Beams: Supply and install new structural elements such as new beams, roof structure, floor structure, bearings, and padstones in accordance with the Structural Engineer's calculations and details. New steel beams to be encased in 12.5mm Gyproc fireline board with staggered joints nailed to timber cradles or painted in Nullifire S or similar intumescent paint to provide ½ hour fire resistance.

External Walls to be of 215mm conc. blocks **laid in 1:3cm below DPC 'Hyload' DPC connected to exg. & min. 150mm a.g.l. above DPC walls of 215mm Celcon Solar blocks, plastered internally. Blocks laid in 1:1:6 gm in stretcher bond with E.M.L. in every 3rd course, between windows and below windows within a 45 degree angle. New work bonded to exg. at junctions with s.s. profiles. Walls sealed externally and rendered with 1:1:6 render with drip above DPC. Internally, walls lined with 60mm Gyproc Thermaline Super, plastd. Windows bridged with catnic insul. Lintels with min. 150mm end brgs. Windows dble-glazed with glass area min. 10% floor area, openable area min. 5% floor area. Render to be 20mm thick, 2 coat finish.**

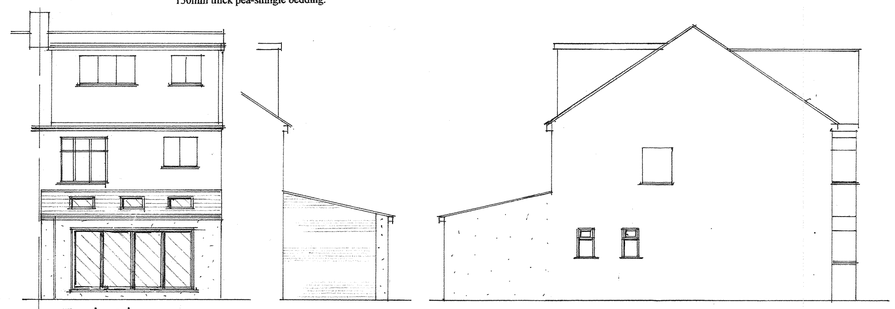
Cavity Walls- Full Fill: - To achieve minimum 'U' value of 0.28W/m²K. Provide 103mm facing brick to match existing construction. 100mm cavity with 100mm Rockwool cavity batts & 100mm lightweight block K value 0.11. Internal finish 15mm lightweight plasterboard on dabs. Walls to be built with 1:1:6 cement mortar. Wall ties to be at 450mm vertical centres. Cavity to be carried min. 225mm below DPC.

Movement Joints to be formed of Flexcel or similar boarding with masonary either side tied together with flexible ties. joint to be masked internally and with a waterproof mastic sealant externally. Joints to be min. 1mm thickness per metre run + 30%.

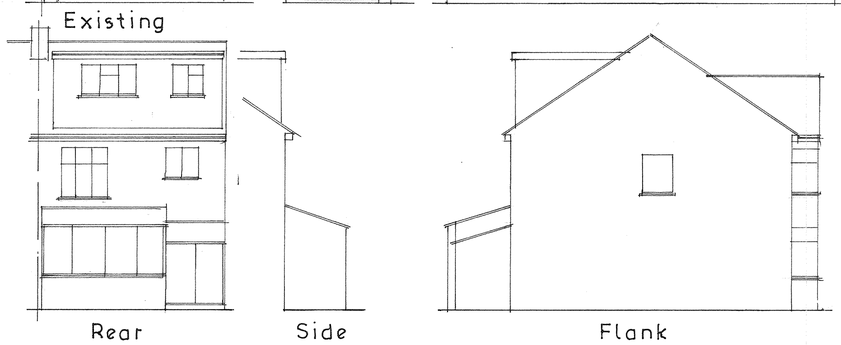
New Drains to be of 100mm dia. Supersleeve, laid to 1 in 40 falls & run as shown, with 150mm thick pea-shingle bedding.

Elevations

Proposed

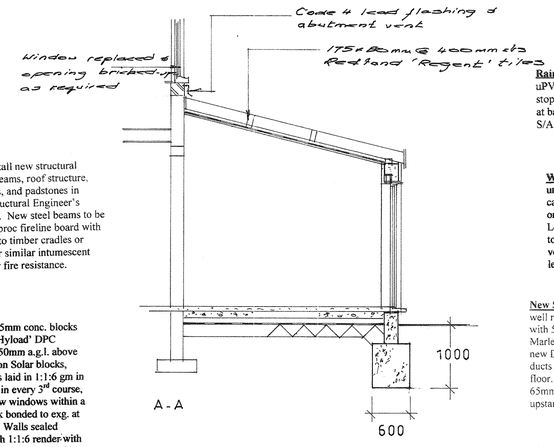


Existing



Rear Side Flank

Cold pitched 'vaulted' roof to be of rafters to sizes, centres & pitch shown. Across rafters breathable sarking felt with 25 x 38mm tanalised timber battens & 25mm thick treated counter battens. Rafters mechanically fixed to timber plates/ridge beam & hung from face fixed hangers. Rafter feet mechanically fixed with 30 x 2.5mm 'twist' type ties to wallplate & walls & screw fixed. 50mm s.w. battens below rafters. 100mm Celotex 4080 between rafters with 20mm Celotex super board. 1000 gauge v.b. fixed below with ceiling of 35mm Gyproc Thermaline super board & 5mm skim.



Electrical: All electrical work required to meet the requirements of Part P (electrical safety) must be designed, installed, inspected and tested by a competent person registered under a competent person self-certification scheme such as BRE Certification Ltd, BSI, NICEIC Certification Services or Zurich Ltd. An appropriate BS 7671 Electrical Installation Certificate is to be issued for the work by a person competent to do so. A copy of a Part P Certificate will be given to the Council.

Lighting: to new rooms to be provided with min. 1 no. light fitting with luminous efficacy of n.l.t. 40 lumens / circuit watt. 1 fitting / 25m² & 75% of fittings to be low energy.

Ventilation to rooms as follows:- Habitable Rooms:- 10,000 sq mm background ventilation. Kitchens:- 4000 sq mm back. vent & ext. fan to extract 60 litres/sec.

Exg. central heating system to be extended into extension with pressed steel radiators, TRV's & insulated pipework. If boiler position to be changed new positioning to be decided by Gas Safe registered engineer.

Roof Lights: Min U value of 1.6W/m²K. Roof lights to be double glazed with 16mm argon gap and soft low-E glass. Window Energy Rating to be Band C or better. Roof lights to be fitted in accordance with manufacturer's instructions with rafters doubled up to sides and suitable flashings etc.

Rainwater Disposal by means of 100mm dia. uPVC gutters fixed to falls to fascias with stop-ends & outlet to 63mm dia. r.w.p., connected at base to b.i.g. & run via drain to new brick stein S/A min. 5m from buildings.

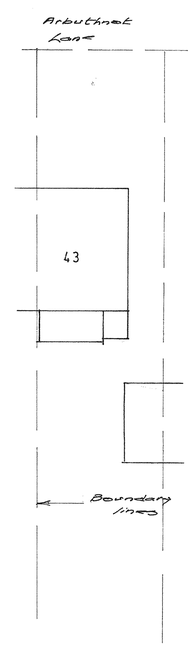
Windows and Doors to be d.g. uPVC framed units with draught-strip to all opening casements. All glazing in safety glass & locks on casements. Sealed units to have 25mm gap. Low E glass. Average U value to be 1.6 W/m²K to windows & 1.8 W/m²K to doors. Background vents to windows to be 1.75mm above floor level.

New Solid Floor formed of min. 150mm thick, well rammed, broken brick hardcore, blinded with 50mm sand. 100mm thick 1:2:4 conc. slab. Marley 'Dampseal' DPM connected to exg. & new DPC's min. 1200g 100mm dia. PVC air-ducts built in as necessary to vent. exg. timber floor. Floor to have 75mm Celotex insulation & 65mm 1:4 c.s. screed. Perimeter insulation upstands & separating membrane.

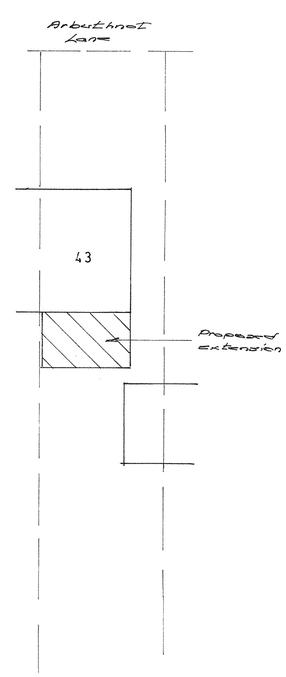
Foundations to be formed to sizes & depths shown & agreed on-site with B.C.O. to suit prevailing soil conditions. All in 1:2:4 conc. Eccentric foundations to have min. 50mm outer spread.

Block plans

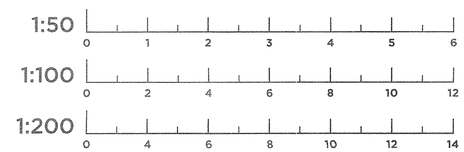
Existing



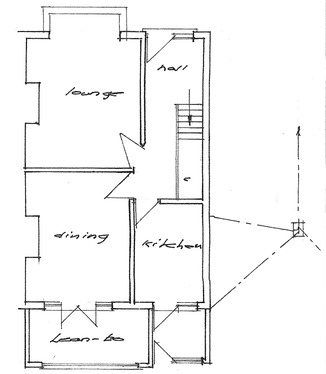
Proposed



Scale Bars (m)



Exg floor plan



Standard Items

Prior to commencement of work contractor and client to confirm exact boundary positions. Contractor to inform architect of any anomalies between plans and elevations/section prior to start of work. Any key elements of the existing structure such as foundations and/or lintels, which by virtue of the proposed works, will be accepting greater loadings will need to be exposed for consideration by the building control surveyor and upgraded or replaced if found necessary. All measurements are to be checked on site prior to ordering any materials. The Party Wall Act 1996 must be adhered to wherever relevant. It is the client's responsibility to seek expert advice from a professional party wall surveyor to ensure full compliance with the regulations.
Water board agreement must be provided in writing when necessary, prior to commencement of works.
Heating, lighting and internal finishes are to be agreed between the owner and chosen builder.
All structural timber members are to be grade c24 treated softwood marked KD (kiln dried) or dry to ensure the timbers have been properly stored.
All leadwork should be fixed and installed in accordance with the Lead Development Associations Handbook – 'Lead Sheet Building – A Guide to Good Practice'.

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Client
Mrs G. Lebbell

Job Title
43 Arbuthnot Lane,
Bexley, Kent.
DA5 1EH

Drawing Title
Single storey rear extension

Scale 1:50 1:100 1:200

841mm x 594mm A1