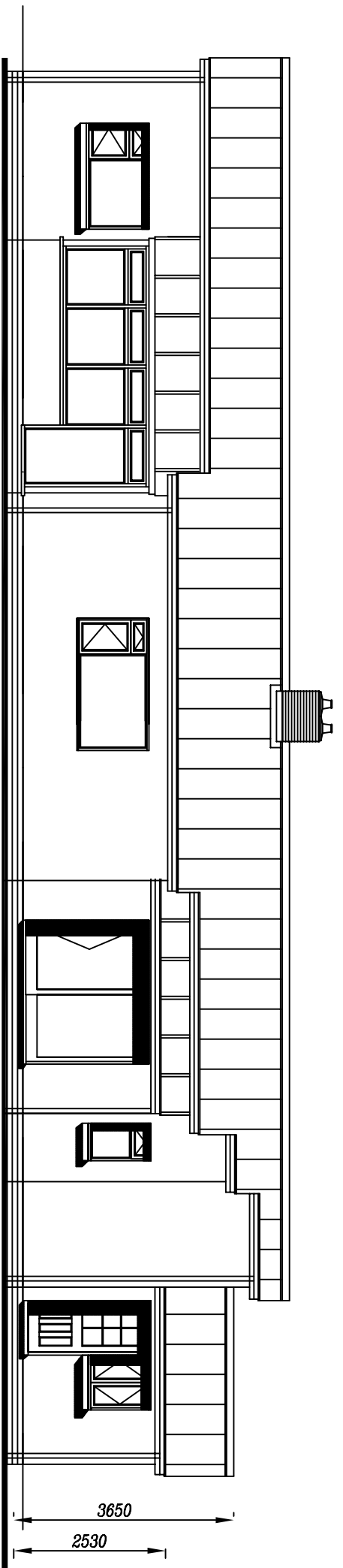
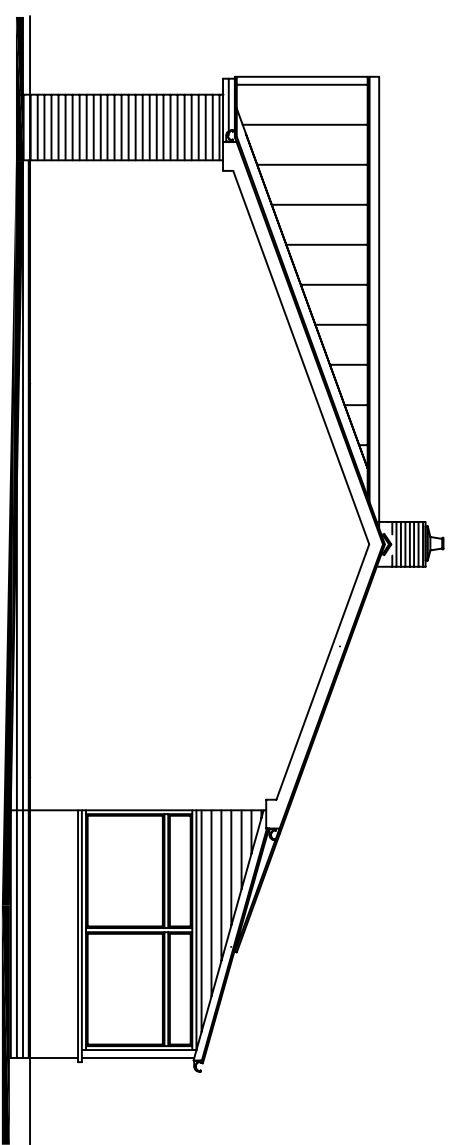


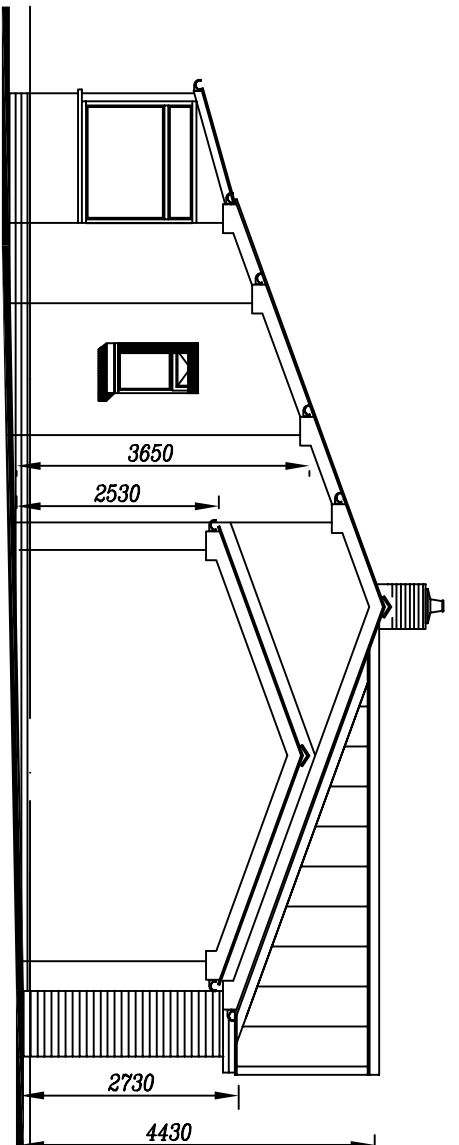
FRONT ELEVATION



REAR ELEVATION



SIDE ELEVATION



SIDE ELEVATION

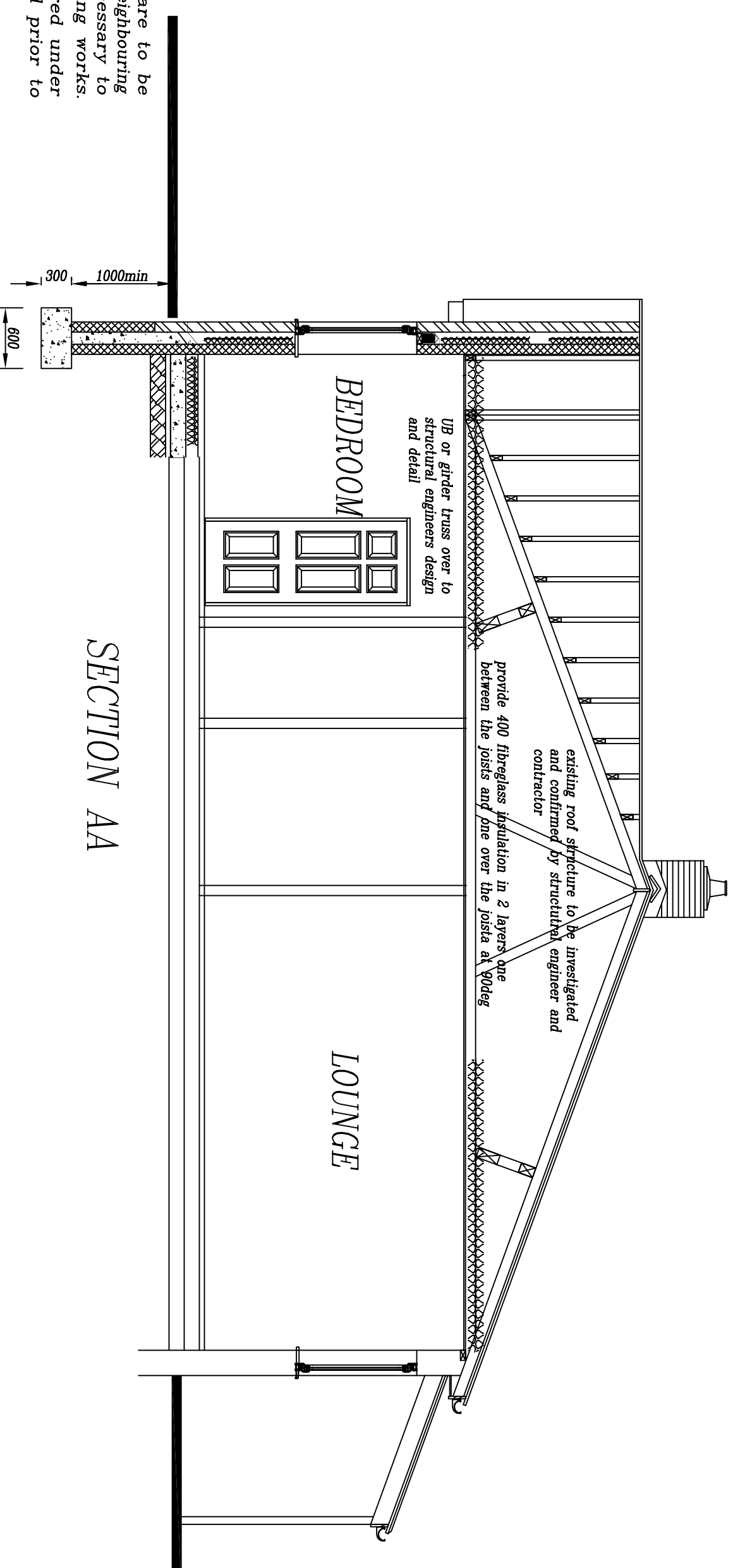
- External Finishes
- Ridges
- Roof
- Roof Pitches
- Walls
- Fascias & Bargeboards
- Windows
- Rainwater Goods
- Front Door & Frames

- Angle concrete to match roof tiles
- Interlocking concrete tiles to match existing
- 20deg approx to match existing
- Face brickwork to match existing bluish and decorated rough cast render over clay face brickwork
- White PVCu
- White PVCu double side hung casements
- White/black PVCu
- White PVCu

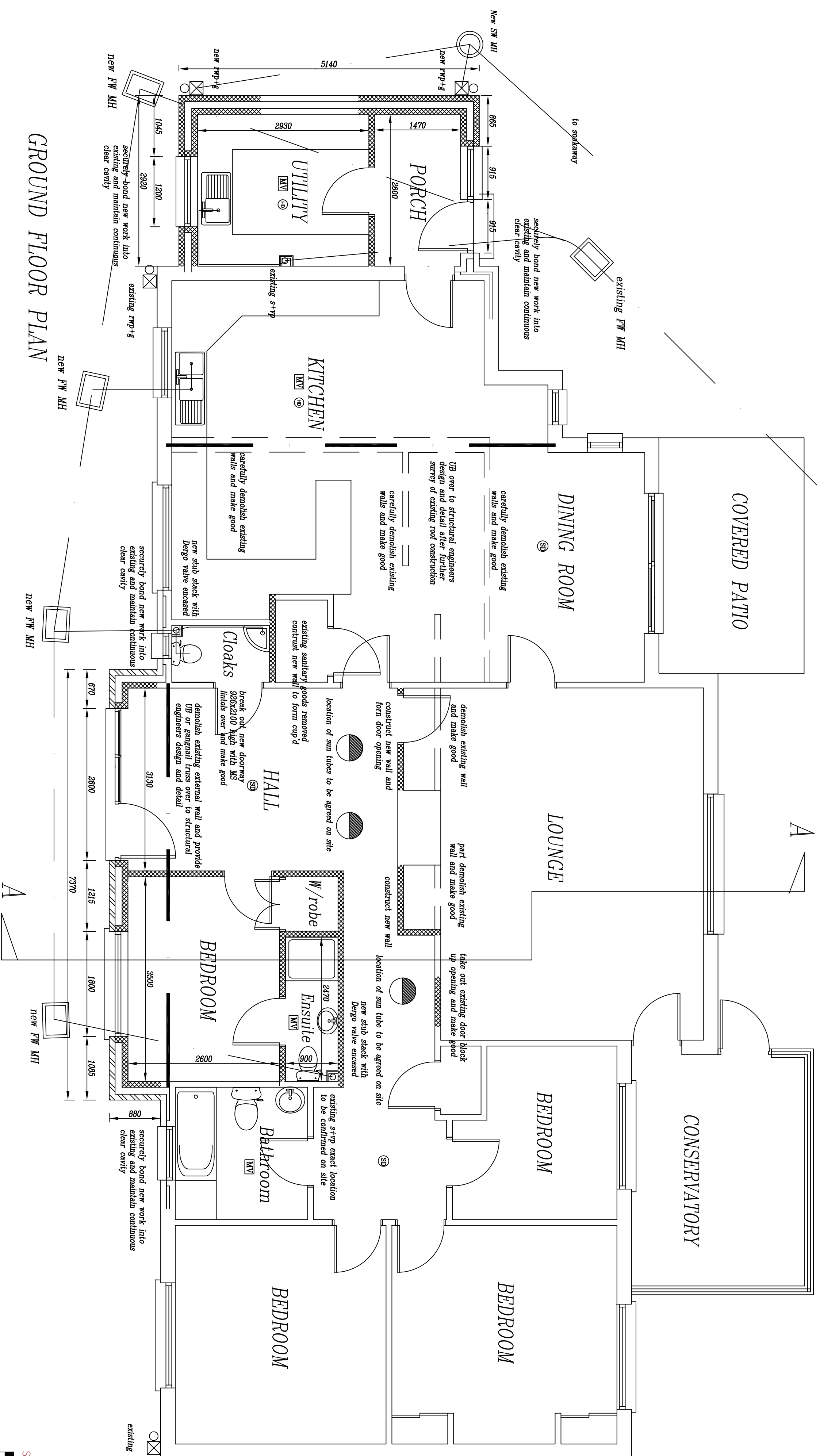
Notes

- NB all external and internal doors to be 820 (828 wide of label door 928 (938 wide
- Ⓢ Main operated with battery back interlinked smoke detectors
- Ⓢ Main operated with battery back interlinked heat detectors
- Ⓢ Mechanical extractor fan ducted direct to external air
- Ⓢ 30min fire resistant self closing door with inherent strips and cold smoke strip seals
- Ⓢ 16mm sun tunnel
- NB 100MM EXPANSION GAPS TO DETAIL MUST BE PROVIDED AT 10,000 CRS
- MAX IN FACE BRICKWORK AND 4,000CRS IN BLOCKWORK MAX
- NB ALL DIMENSIONS ARE SUBJECT TO CONFIRMATION ON SITE

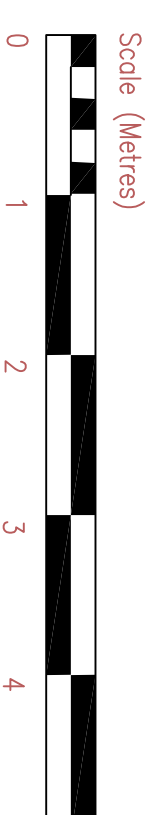
Note: In the event the any of the works are to be carried out in close proximity to a boundary neighbouring party, the contractor shall be responsible for notifying all relevant parties of the impending works. Formal agreement to the works as required under the party wall act 1996 is to be obtained prior to commencing on site. If necessary a conditional survey of the neighbouring land or structures should also be undertaken prior to the works commencing.



SECTION AA



GROUND FLOOR PLAN



PLEASE READ THE FOLLOWING INSTRUCTIONS VERY CAREFULLY & ENSURE THEY ARE IMPLEMENTED.

DO NOT SCALE.

All measurements & levels shown are subject to checking on site by the contractor. Figured dimensions to take precedence over scaled.

All working dimensions must be taken from, checked &/or verified by the main contractor on site prior to the manufacture of all items & the placing of all work in hand.

Working dimensions must not be scaled from this drawing. In all cases of doubt or discrepancy please refer to the architect, surveyor, supervising officer or consultant for instructions.

The main contractor must ensure that all appropriate architects, surveyors, supervising officer, consultants &/or specialists drawings are read in conjunction with this drawing.

All work is to comply with the current building regulations, local authorities bye-laws stipulations & requirements of statutory bodies.

Serve all notices to the authorities concerned. All work is to comply with the current editions of the British Standards Institution codes of practice.

All materials & components to comply with the current editions of the Building Standards Institution specifications.

Prior to commencing work, the contractor is required to communicate with the relevant authorities, bring them to site & to locate the positions and lines of all services (e.g. water, gas, electricity, telephone, re-entrance, sewage etc.), on, over, under & around the site which could in any way affect the positioning of the buildings. Copies of the correspondence & a full report of the findings must be forwarded to the architect, surveyor, supervising officer or consultant before building works commence.

This drawing is copyright.

AMENDMENTS

rev.	date.	description.
1	14/04/20	Client's amendments added
2	20/04/20	Scheme 3

M. John Crowther & Associates.
Architect, Surveyors
Planning Consultants



7 Blackrock Road, Porskevel, Monmouthshire, NP26 5TN
 (0)1301 423656 Mob: 07979065488 email: mcrowther@mac.com
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Proposed Alterations and Extensions to
6 Tan House Court, Shirenewton
Monmouthshire. NP16 6AH

Element/Revision
Ground Floor Plan & Elevations
As Proposed Scheme 2

PLANNING

Drawn	Date	CAD Ref.	Scale
MJC	23/02/20	C:\CAD\1519\1519-2B	1:50 & 1:100 @ A1
Checked	Date	Drawing No.	
		1519-2B	