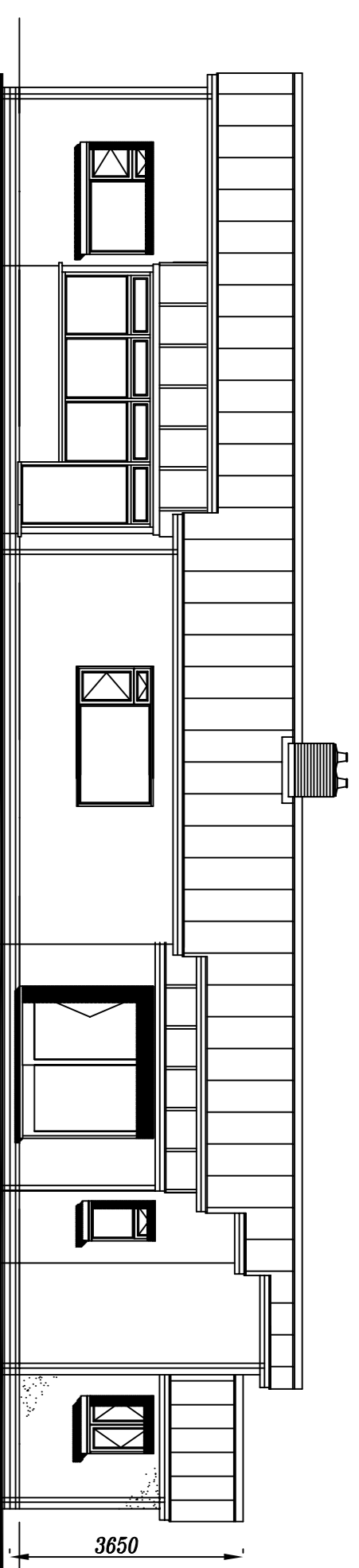
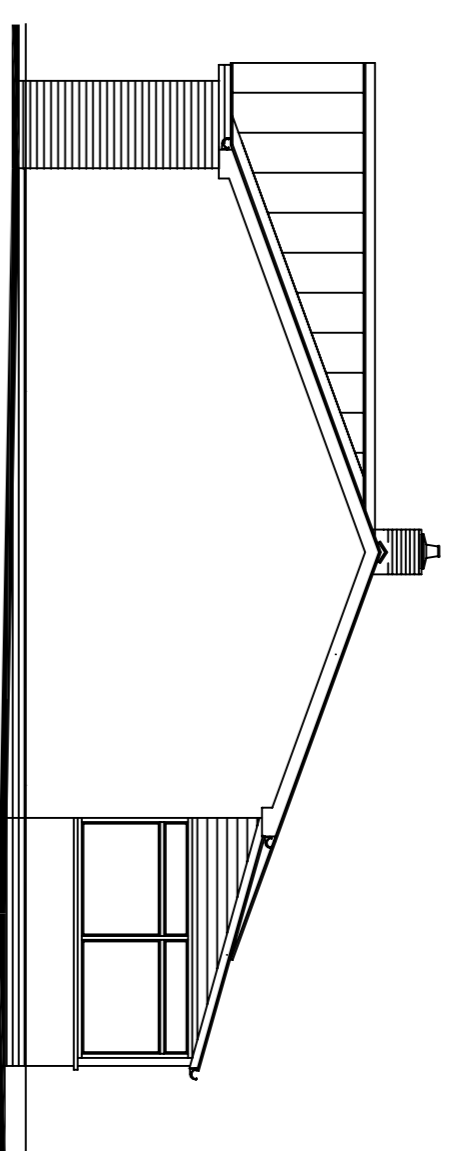


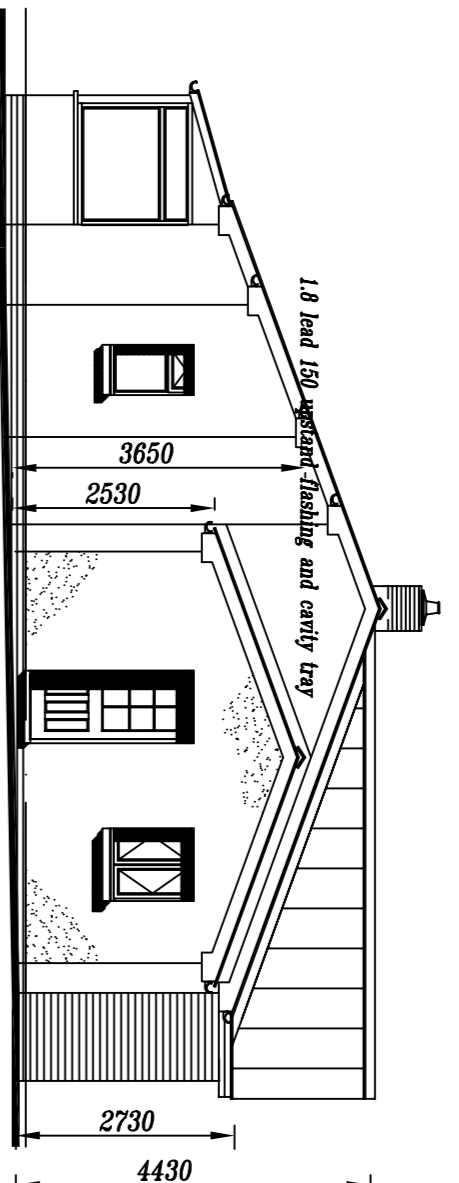
FRONT ELEVATION



REAR ELEVATION



SIDE ELEVATION



SIDE ELEVATION

External Finishes

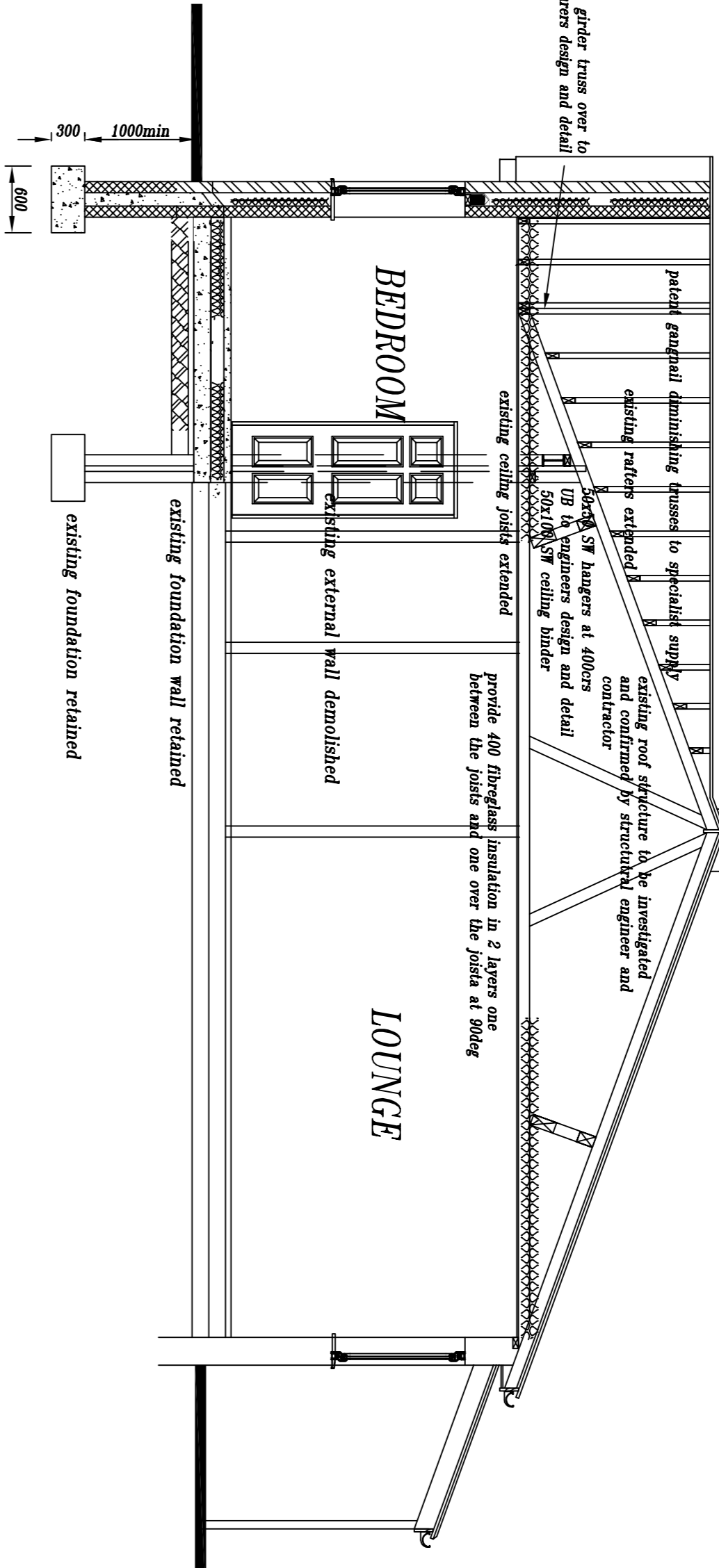
- Ridges: Angle concrete to match roof tiles
- Roof: Polished Shanghai handpainted concrete tiles to match existing
- Roof Pitches: 20 deg approx to match existing
- Walls: Face brickwork to match existing plumb and decorated rough cast render over clay face brickwork
- Paschas & Bargeboards: White PVCu
- Windows: White PVCu double side hung casements
- Rainwater Goods: White/black PVCu
- Front Door & Frames: White PVCu

Notes

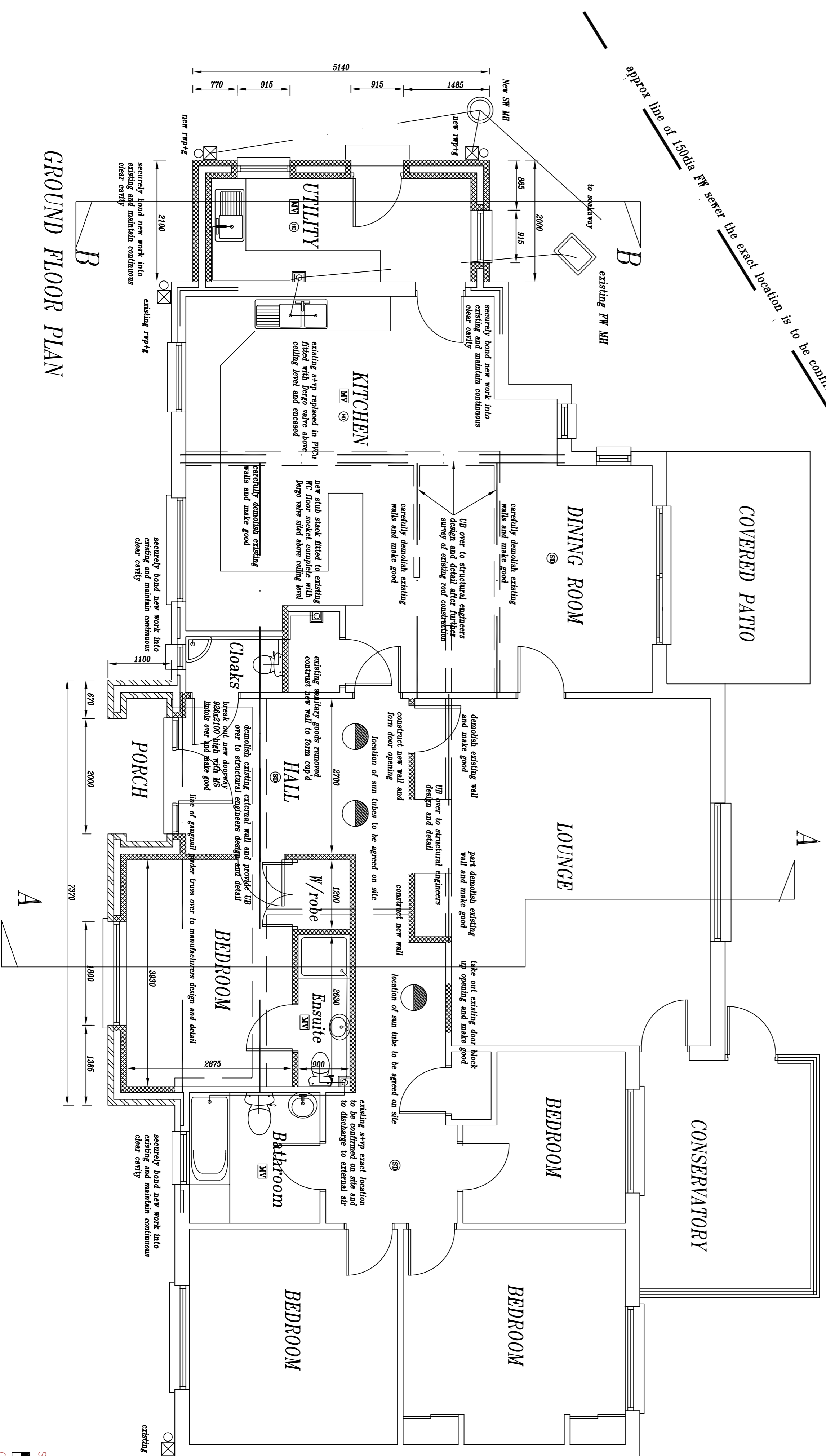
- All ridge and roof tiles to be mechanically fixed to comply with BS 5534
- All new external and internal doors to be 203188 wide or wider than 203188 wide
- Main operated with battery back identified smoke detectors
- Main operated with battery back identified heat detectors
- Mechanical extractor fan ducted direct to external air
- Stairs fire resistant self closing door with inherent strips and cold smoke stop seals
- Water sun tunnel
- White PVCu
- White PVCu double side hung casements
- White/black PVCu
- White PVCu

approx line of 1500ia FW sewer line exact location is to be confirmed on site

Note: In the event the any of the works are to be carried out in close proximity to a boundary/ neighbouring property or to a party wall it will be necessary to notify all relevant parties of the impending works. Formal agreement to the works as required under the party wall act 1996 is to be obtained prior to commencing on site. If necessary a conditional survey of the neighbouring land or structures should also be undertaken prior to the works commencing.



SECTION AA



GROUND FLOOR PLAN



PLEASE READ THE FOLLOWING INSTRUCTIONS VERY CAREFULLY & ENSURE THEY ARE IMPLEMENTED.

DO NOT SCALE.

All measurements & levels shown are subject to checking on site by the contractor. Figured dimensions to take precedence over scaled. All working dimensions must be taken from, checked &/or verified by the main contractor on site prior to the manufacture of all items & the placing of all work in hand.

Working dimensions must not be scaled from this drawing. In all cases of doubt or discrepancy please refer to the architect, surveyor, supervising officer or consultant for instructions.

The main contractor must ensure that all appropriate architects, surveyors, supervising officer, consultants &/or specialists drawings are read in conjunction with this drawing.

All work is to comply with the current building regulations, local authorities by-laws stipulations & requirements of statutory bodies.

Serve all notices to the authorities concerned. All work is to comply with the current editions of the British Standards Institution codes of practice.

All materials & components to be investigated and tested prior to commencing work, the contractor is required to communicate with the relevant authorities, bring them to site & to locate the positions and lines of all services (e.g. water, gas, electricity, telephone, re-refuelling, sewage etc.) on, over, under & around the site which could in any way affect the positioning of the buildings. Copies of the correspondence & a full report of the findings must be forwarded to the architect, surveyor, supervising officer or consultant before building works commence.

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AMENDMENTS

rev.	date.	description.
A	14/04/20	Initial amendments added
B	20/04/20	Scheme 3
C	27/05/20	FW sewer and building control requirements added
D	12/06/20	Builders details added section corrected
E	09/06/21	Final amendments added to storm ponds

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Proposed Alterations and Extensions to
6 Tan House Court, Shirenewton
Momonthshire, NP16 6AH

Edmund Wickes
Ground Floor Plan & Elevations
As Proposed Scheme 2

PLANNING

Drawn	Date	CAD Ref.
MJC	23/02/20	C:\CAD\1519\1519-2E
Checked	Date	Drawing No.
		1519-2E