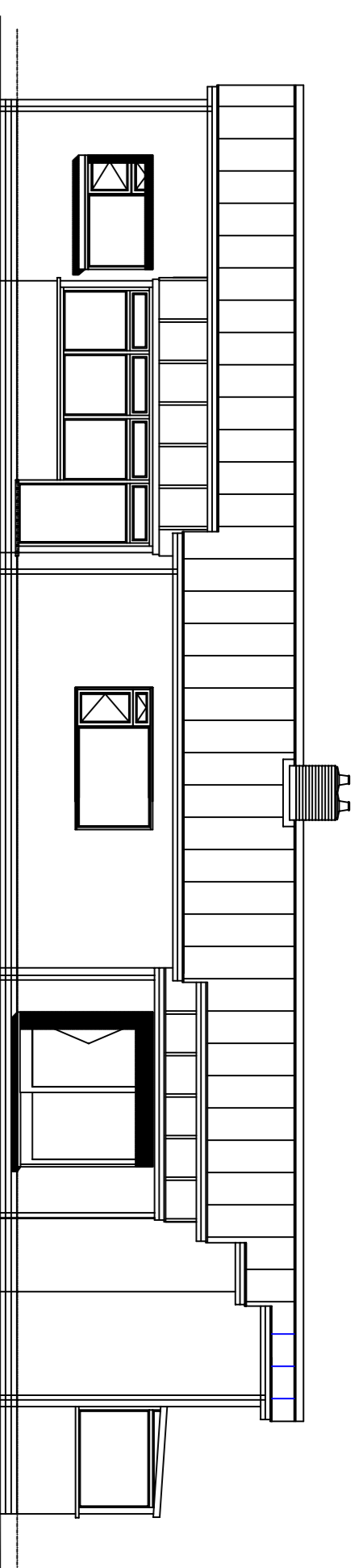
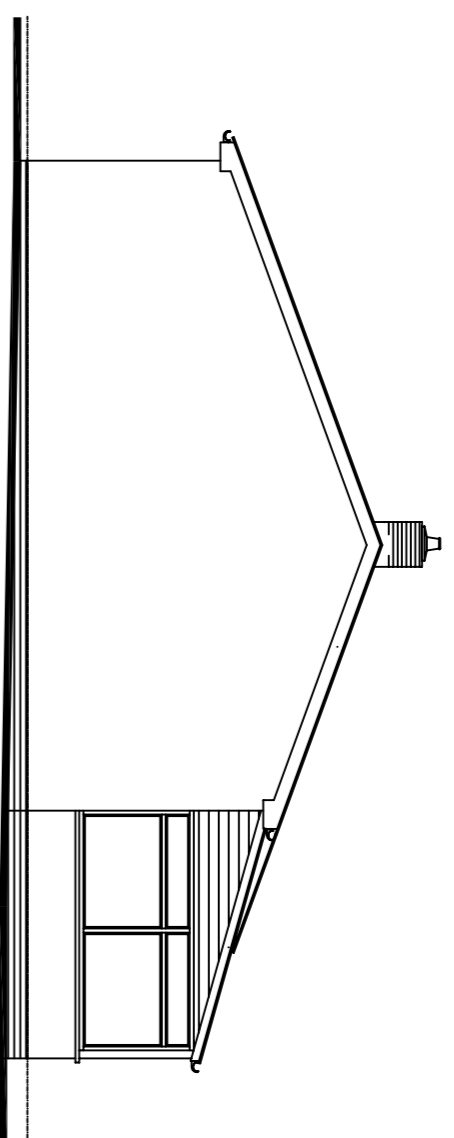


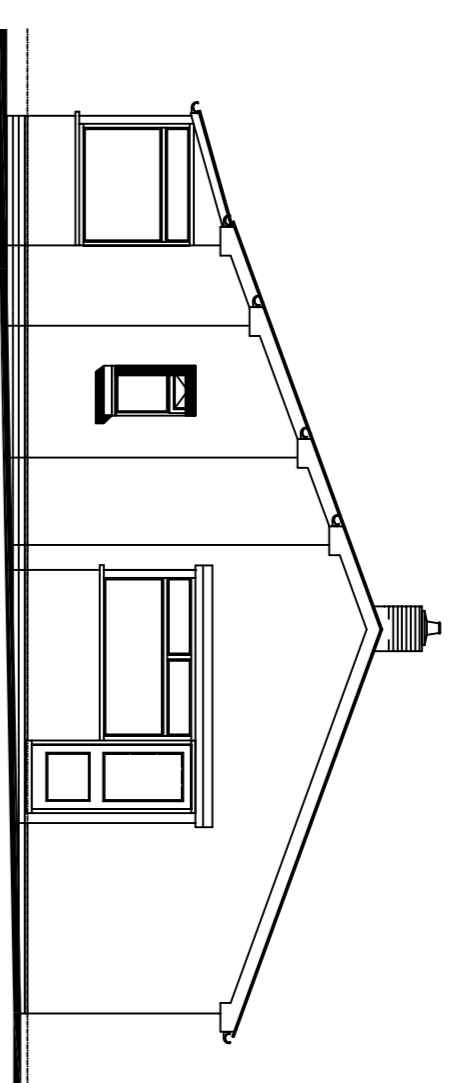
FRONT ELEVATION



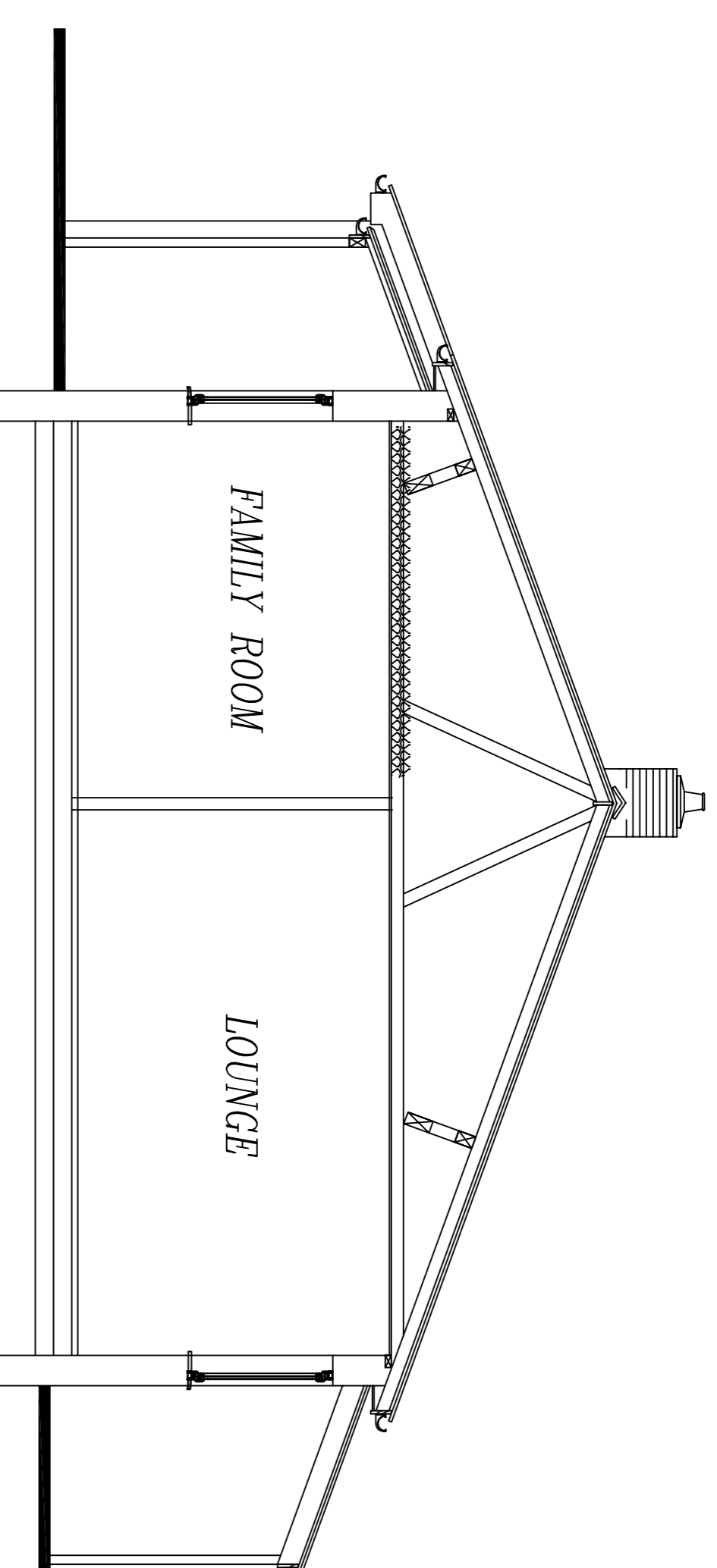
REAR ELEVATION



SIDE ELEVATION



SIDE ELEVATION



SECTION AA

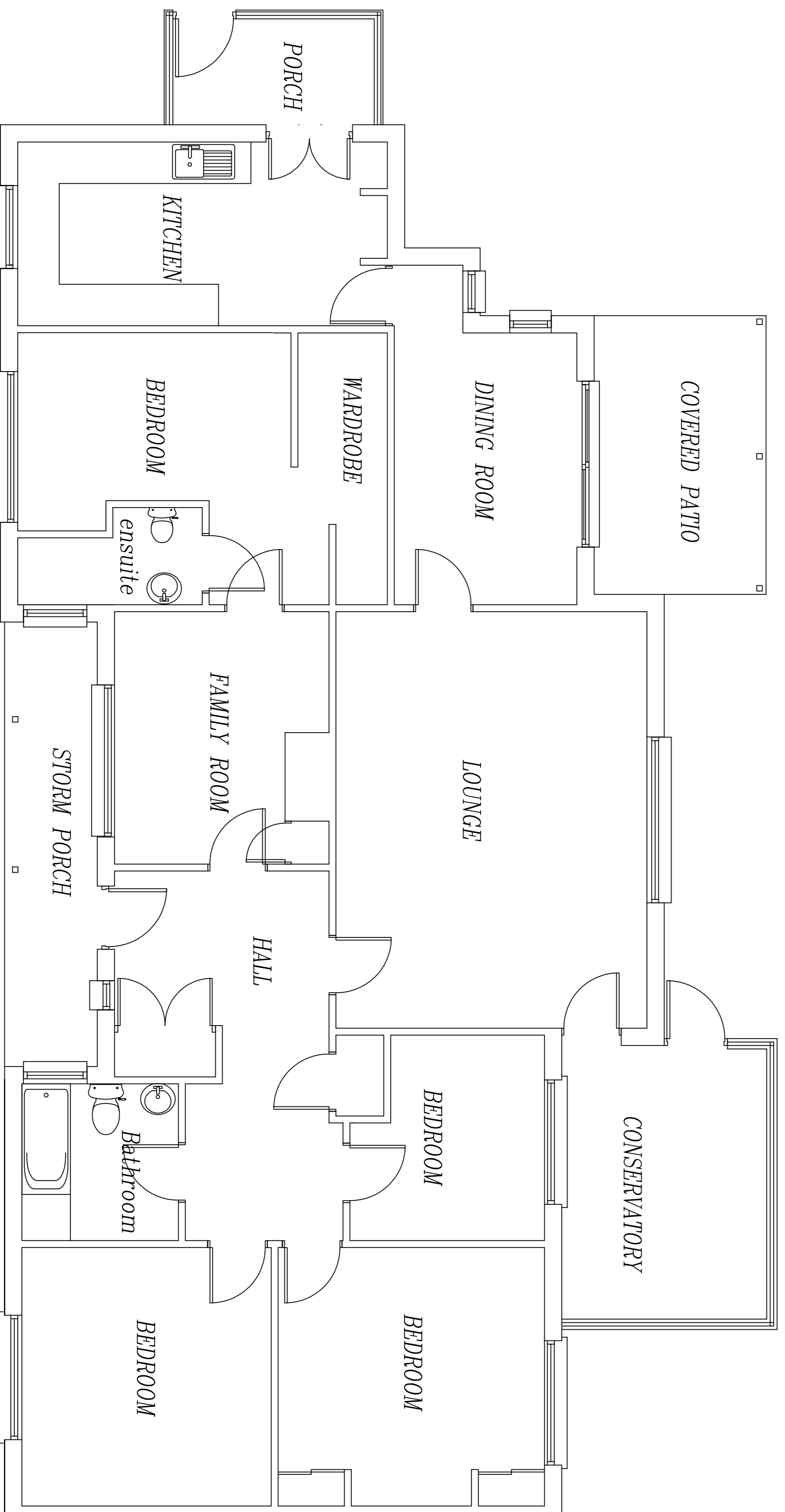
**External Finishes**

- Ridges Angle concrete to match roof tiles
- Roof Blue/black Sandfort Brillock Sakes
- Roof Pitches 20 deg approx
- Walls decorated rough cast render over red red clay face bricks pinnis
- Fascias & Bargeboards White PVCu
- Windows White PVCu double slide hung casements
- Rainwater Goods White/black PVCu
- Front Door & Frames White PVCu

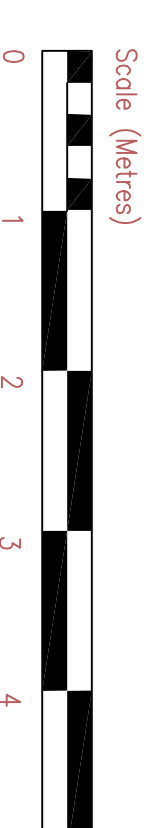
**Notes**

- Ⓔ NB all external and internal doors to be 600/1880 wide OR light door 600/1880 wide
- Ⓕ Main opened with battery back interlinked smoke detectors
- Ⓖ Main opened with battery back interlinked heat detectors
- Ⓜ Mechanical extractor fan ducted direct to external air
- Ⓗ 30min fire resistant self closing door with intumescent strips and cold smoke stop seals
- NB 10MM EXPANSION GAPS TO DETAIL MUST BE PROVIDED AT 10,000 GRS
- MAK IN FACE BRICKWORK AND 4,000GRS IN BLOCKWORK MAX

Note: In the event the any of the works are to be carried out in close proximity to a boundary/neighbouring property or to a party wall it will be necessary to notify all relevant parties of the impending works. Formal agreement to the works as required under the party wall act 1996 is to be obtained prior to commencing on site.  
If necessary a conditional survey of the neighbouring land or structures should also be undertaken prior to the works commencing.



GROUND FLOOR PLAN



PLEASE READ THE FOLLOWING INSTRUCTIONS VERY CAREFULLY & ENSURE THEY ARE IMPLEMENTED.

**DO NOT SCALE.**

All measurements & levels shown are subject to checking on site by the contractor. Figured dimensions to take precedence over scaled.  
All working dimensions must be taken from, checked &/or verified by the main contractor on site prior to the manufacture of all items & the plotting of all work in hand.

Working dimensions must not be scaled from this drawing. In all cases of doubt or discrepancy please refer to the architect, surveyor, supervising officer or consultant for instructions.

The main contractor must ensure that all appropriate architects, surveyors, supervising officer, consultants &/or specialists drawings are read in conjunction with this drawing.

All work is to comply with the current building regulations, local authorities bye-laws stipulations & requirements of statutory bodies.

Serve all notices to the authorities concerned.

All work is to comply with the current editions of the British Standards Institution codes of practice.

All materials & components to to comply with the current editions of the Building Standards Institution specifications.

Prior to commencing work, the contractor is required to communicate with the relevant authorities, bring them to site & to locate the positions and lines of all services (e.g. water, gas, electricity, telephone, re-diffusion, sewage etc.) on, over, under & around the site which could in any way affect the positioning of the buildings. Copies of the correspondence & a full report of the findings must be forwarded to the architect, surveyor, supervising officer or consultant before building works commence.

This drawing is copyright.

AMENDMENTS	
rev.	description.

**M. John Crowther & Associates.**  
**Architect, Surveyors**  
**Planning Consultants**



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**Proposed Alterations and Extensions to  
6 Tan House Court, Shirenewton  
Monmouthshire. NP16 6AH**

Planning/Worksection  
**Ground Floor Plan & Elevations  
As Existing**

PLANNING		Scales	
Drawn	Date	CAD Ref.	Scale
MJC	23/02/20	C:\CAD\1519\1519-1	1 : 50 @ A1
Checked	Date	Drawing No.	
		1519-1	