

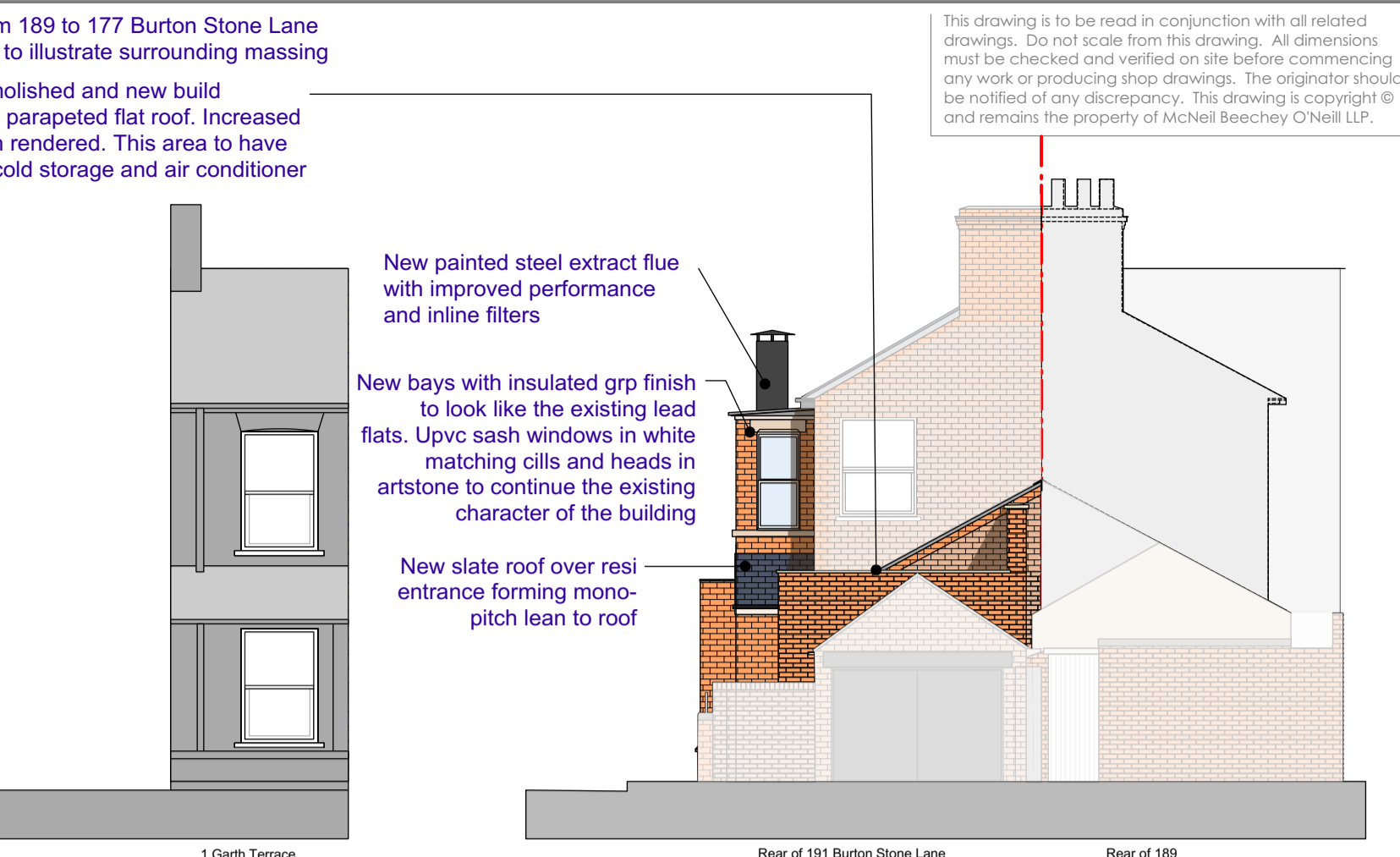
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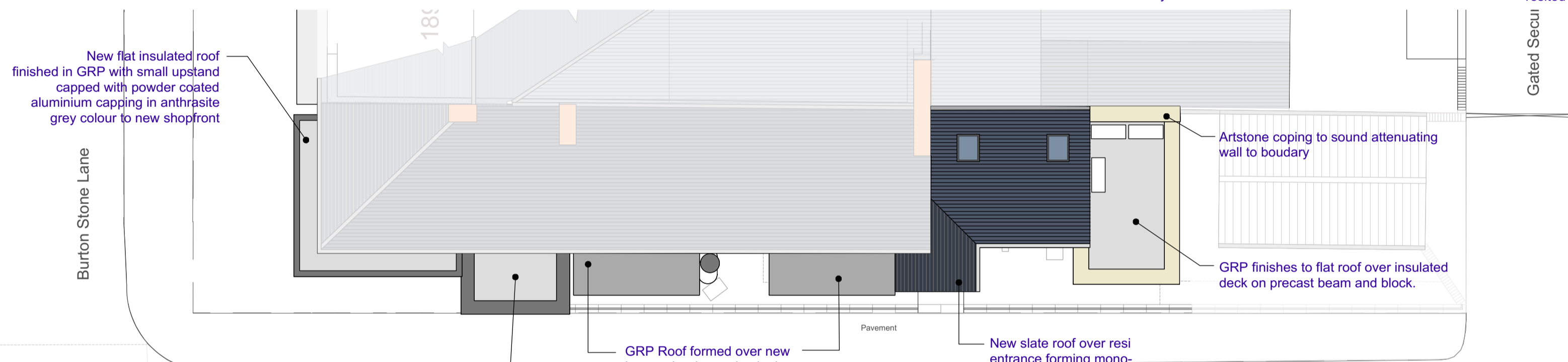
**EAST ELEVATION - PROPOSED 1:100**  
Along Burton Stone Lane



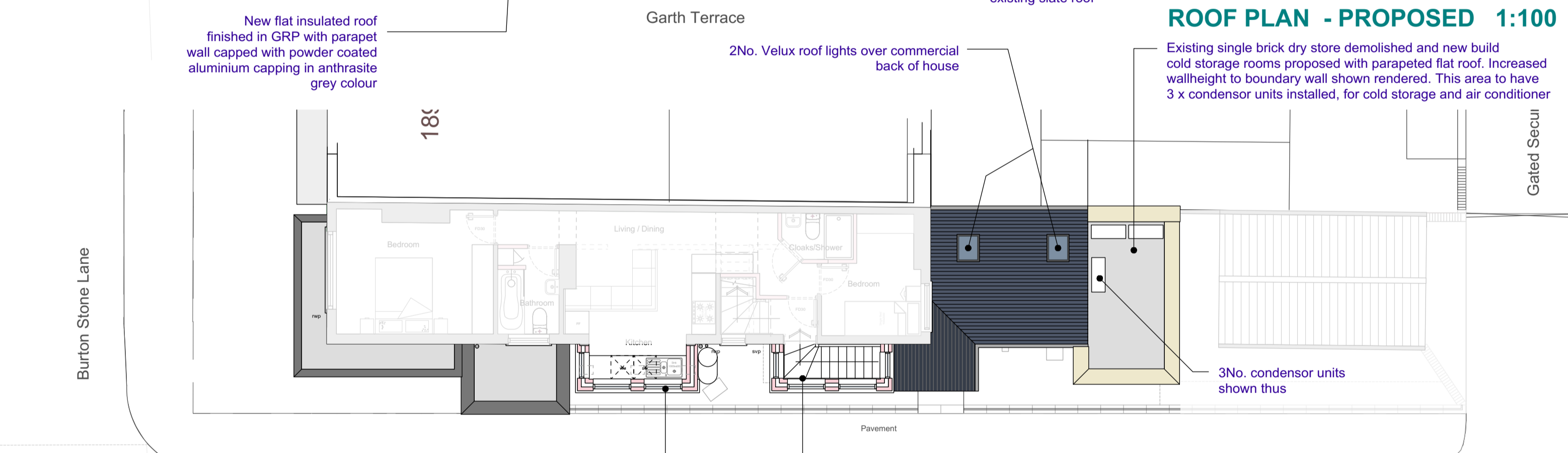
**NORTH ELEVATION - PROPOSED 1:100**  
Along Garth Terrace



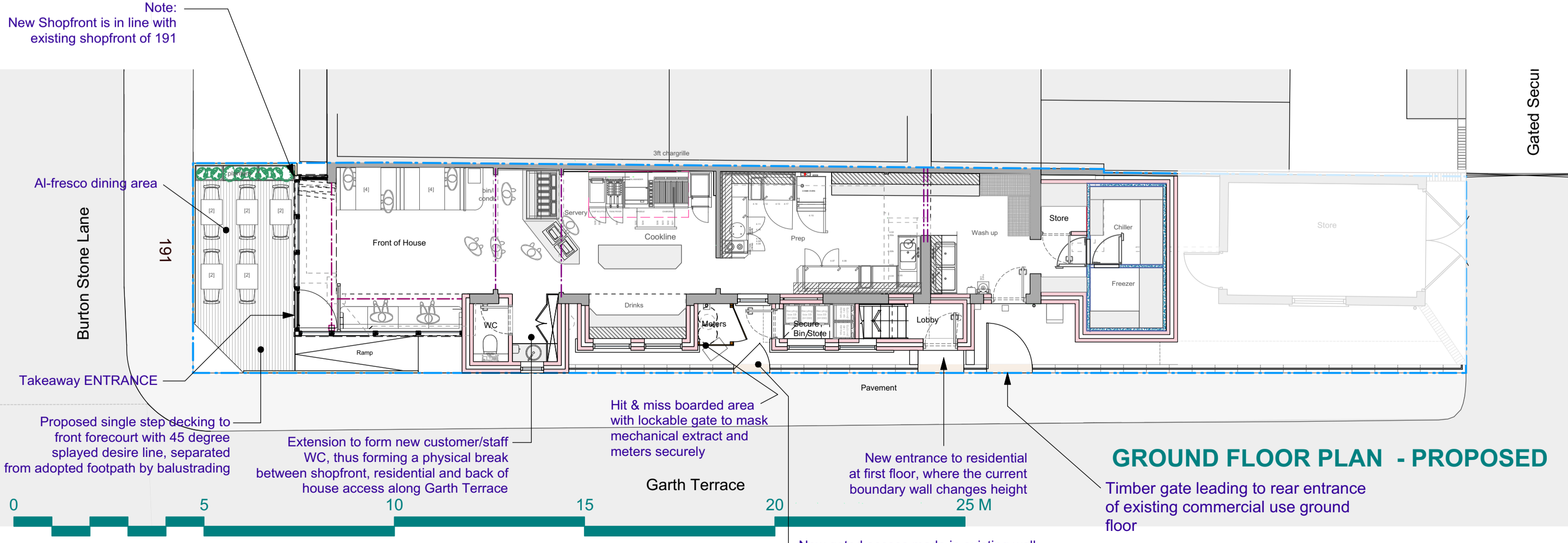
**WEST ELEVATION - PROPOSED 1:100**  
Off Garth Terrace



**ROOF PLAN - PROPOSED 1:100**



**FIRST FLOOR PLAN - PROPOSED 1:100**



**GROUND FLOOR PLAN - PROPOSED 1:100**

**General Notes**

The property at 191 Burton Stone Lane is a traditionally built end terrace unit at the juxta position of Burton Stone Lane and Garth Terrace.

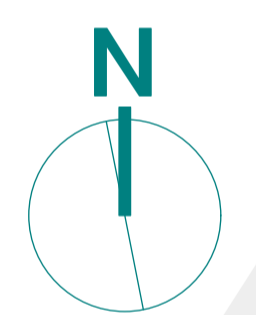
Constructed in 1905 (early Edwardian) of slate over traditionally cut roof gabled to the rear and hipped to front. Party walls built up to u/s of roof finishes. Roof supported off traditional two brick thick clay masonry laid to english garden wall bond with cross tie bricks at fourth or fifth courses.

**Note:** This drawing shows those parts subject to a separate application such as fased for clarity between the elements being applied for.

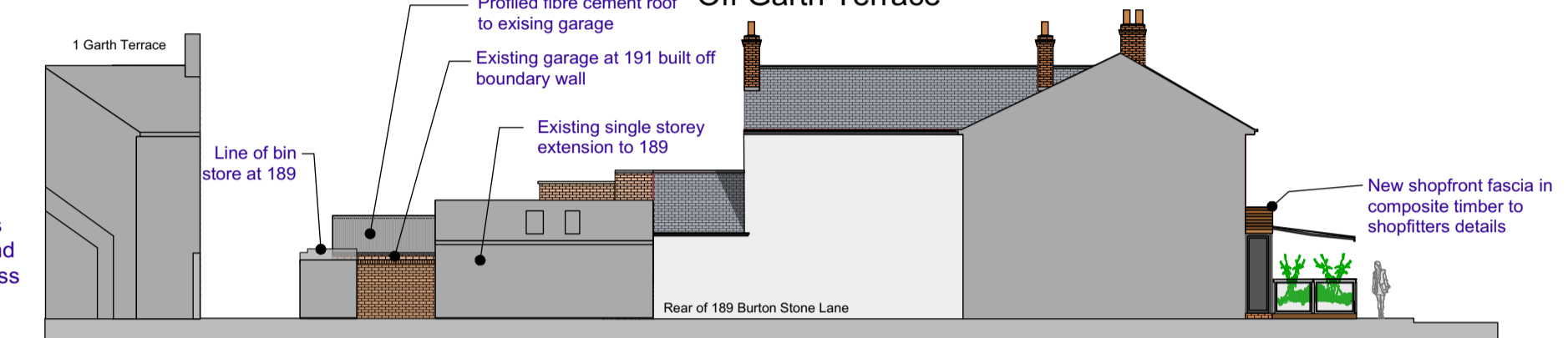
The two storey bays, one of which contains the new proposed means of access to the first floor residential as shown as part of the ground floor works for clarity and to coincide with the new works phasing.

The new means of access is required in order to provide a clear and uninterrupted flow to the new food and beverage production and delivery.

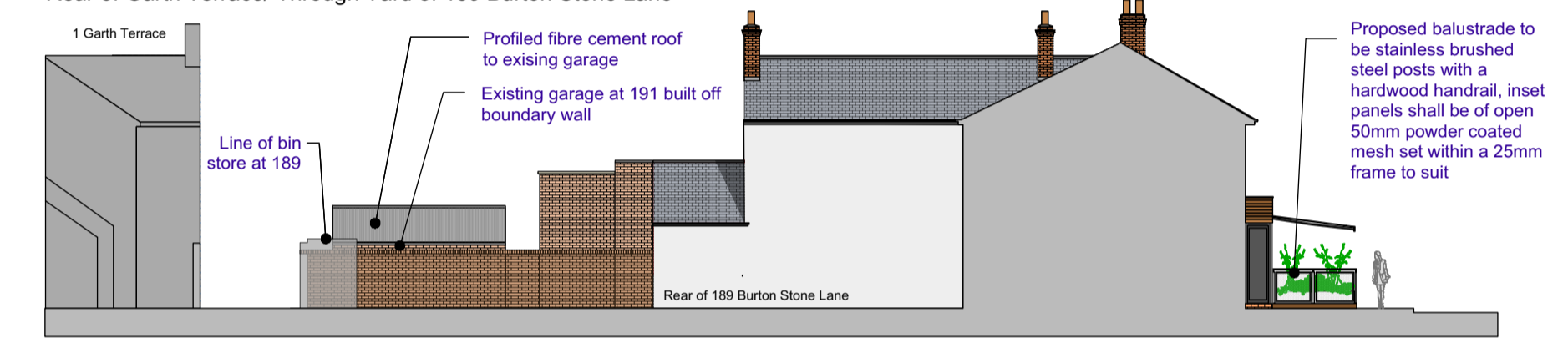
For the purpose of this application then, the majority of the proposed works will be carried out at ground floor level. Continuing with the 'Sui Generis' use, hot food takeaway.



See Drawing BSL-K-53 for details of first floor residential alteration and extension



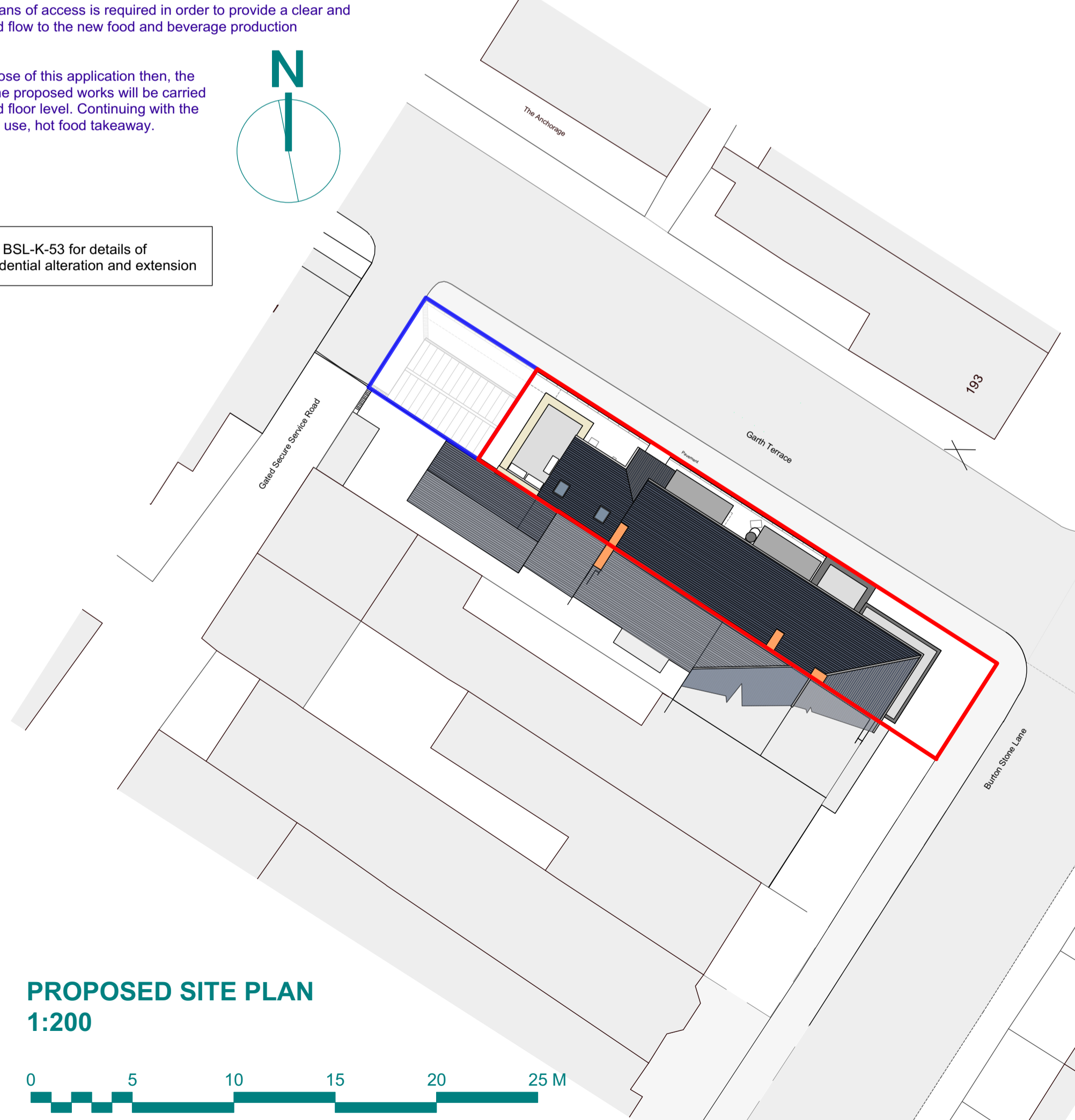
**SOUTH SECTIONAL ELEVATION - PROPOSED 1:200**  
Rear of Garth Terrace/ Through Yard of 189 Burton Stone Lane



**SOUTH SECTIONAL ELEVATION - PROPOSED 1:200**  
Showing South Elevation along Garth Terrace. 189 Burton Stone Lane Omitted for Clarity

**LEGEND**

- Application Site Boundary  
146 m<sup>2</sup>
- Other land in the applicants ownership  
34 m<sup>2</sup>
- Extent of Site Boundaries  
180 m<sup>2</sup>



**PROPOSED SITE PLAN 1:200**



Scale Bar 1:200

Scale Bar 1:100

Rev	Date	Details	By

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**Client:**  
**Kabir Family Law trading as TULSI**

**Project Title:**  
**191 Burton Stone lane, York**

**Drawing Title:**  
**PROPOSED PLANS & ELEVATIONS for the Extension & alterations to Ground Floor Commercial**

Scale @ A1: 1:100 & 1:200 Date: 23-8-2021 Drawn: KAL

Project Ref: BSL-K Drawing No: 52 Stage: 2 Rev: -

File Ref: K:\job\XXX