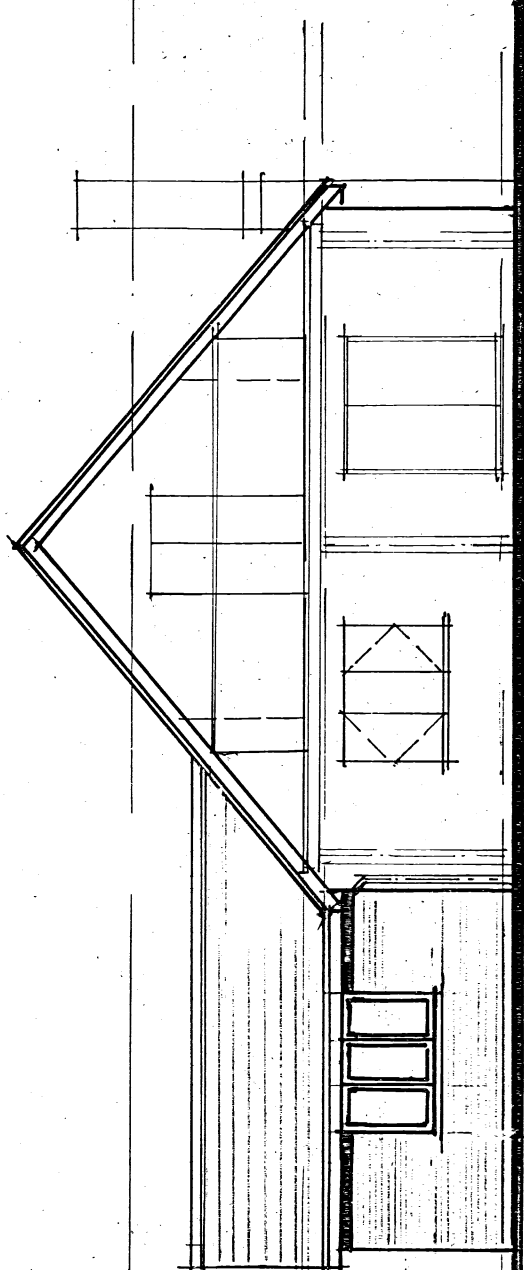


IF REQUIRED EXISTING VELUX ADJUSTED TO ACCOMMODATE NEW PITCHED ROOF

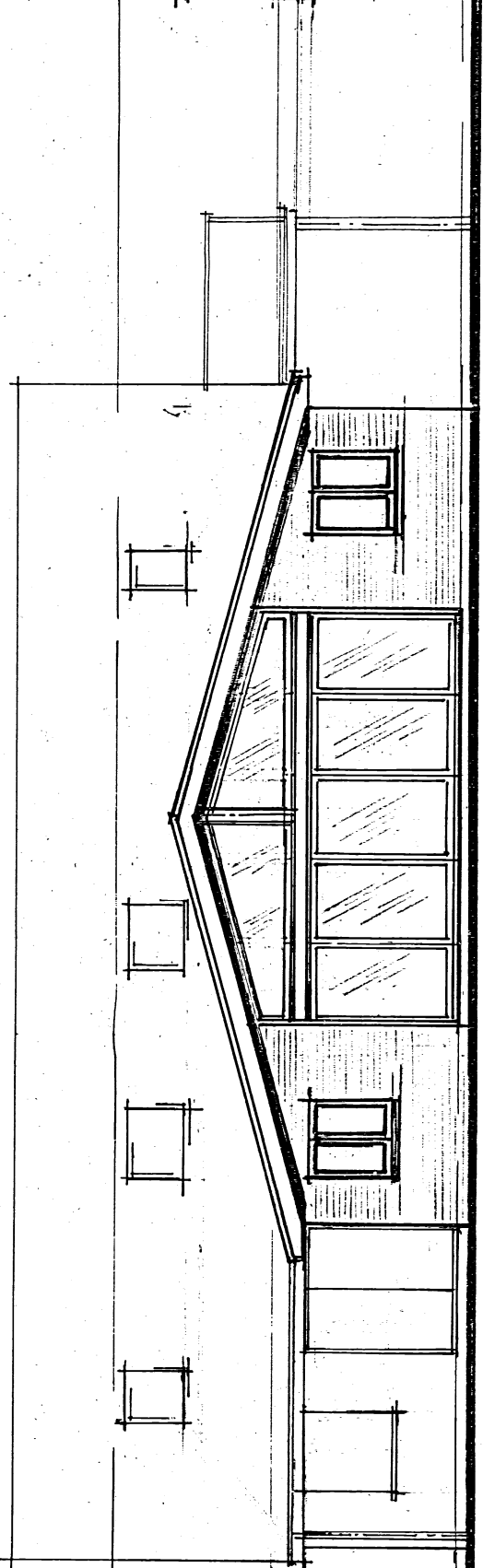
EXTERNAL FINISHES TO MATCH EXISTING CONCRETE SURROUNDING ROOF TRAY, COLOUR TO MATCH EXISTING FACED BRICKWORK TO EXTERNAL WALL

WOOD EFFECT PVC WINDOWS AND DOOR

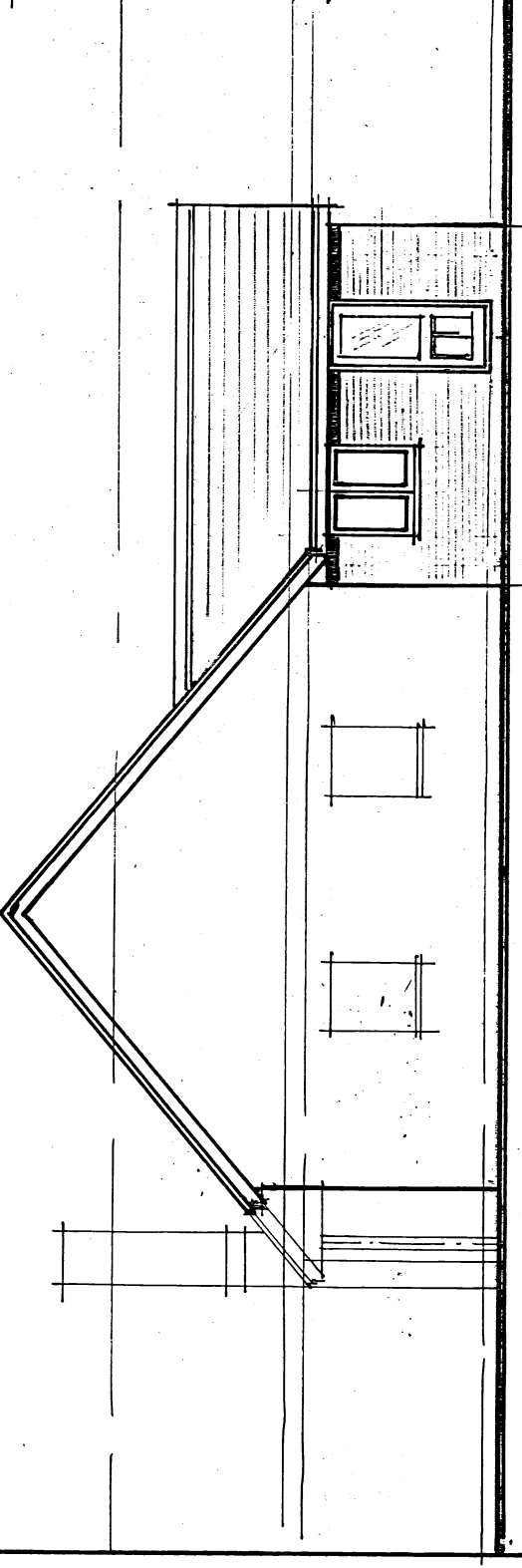
POWDER COATED ALUMINIUM BI-FOLD DOOR



Rear Elevation



Left Flank



Right Flank

WINDOWS/DOORS AND VENTILATION: UNIFLEX 144/142K PVC FRAMES OPERABLE SECTION TO AT LEAST EQUAL 150% OF COMBINED FLOOR AREA. FEATHERS TO BE FITTED WITH 100% INSULATION. PANELS TO BE ADJUSTED TO PROVIDE MIN 1000mm² PER METRE SQUARED GLASS AREA. UNIFLEX MINIMUM 80mm OR EQUIVALENT DOORS WITH OPERABLE SECTIONS TO BE DEMANT. ROOFED. GLASSING TO BE WITH MIN 16mm AGL. ARGON GAS FILL AND LOW E GLASS. ENTRANCES TO DOORS TO GLAZING LESS THAN 800mm ABOVE FLOOR TO BE TOWNWARD OR LAMINATED GLASS TO BS 6206.

INTERNAL BLOCK WALL (KOHU SEAMING) 100mm DINK BECON STANDBAND SUCCESSED WITH D.P.C FOUNDATION UNDEF. 15% LIGHT WEIGHT FIBRE FINISH

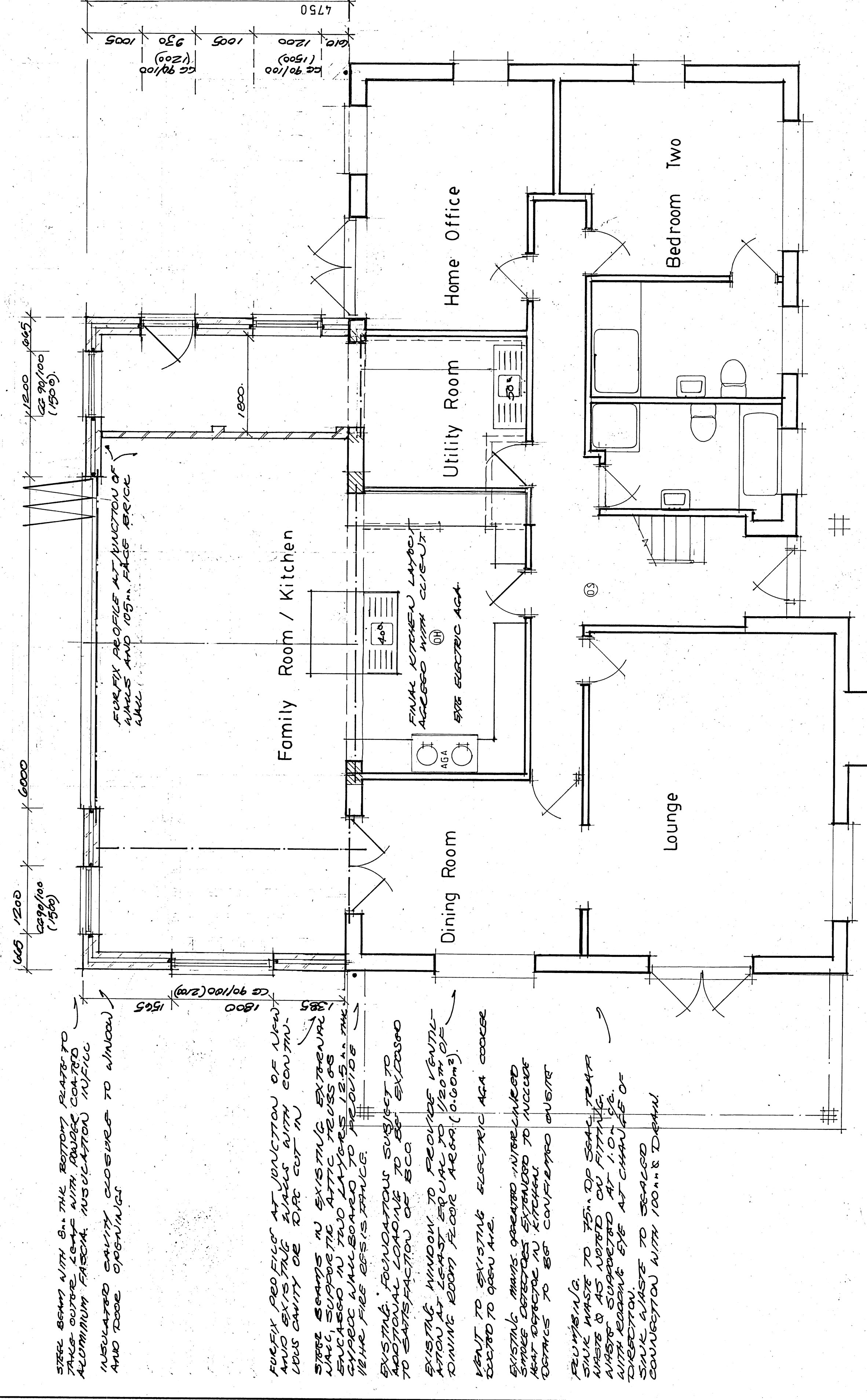
STUD PARTITIONS (SAND ROOFED) 90mm STUDS AT 400mm TO 150mm STUDS (MIN 15mm STUDS) SWIM FINISH

STEEL BEAM WITH 80mm TOP FLANGE PLATE TO TAKE OUTLINE OF WITH 100mm CONCRETE ALUMINIUM FRASEK INSULATION 100mm INSULATED CAVITY COVERED TO UNIFORM AND DOOR OPENING

EXTERNAL WALL UNIFLEX 0.2 @ 1.0m² K VALUE FULL FILLED WITH ROCKWOOL CAVITY BATT, 100mm BECON STANDBAND BLOCK 15mm LIGHT WEIGHT PLASTER FINISH

WALL TIES STEEL WALL TIES AT 750mm HOR. BOUNDARY UNIFLEX PARTICULAR DOUBLED UP TO WINDOW AND DOOR WALL TIES MIN. 25mm LONG.

CANTILEVER CONCRETE LINTOLS TO BE QUOTED WITH 150mm BEAMING AND NEED HOLDS AT 450mm MIN 2.1m² PER OPENING.



EXTRACT FAN: KITCHEN FAN TO BE LOCATED IN COOL-LEG HOOD 550-750mm ABOVE HOOD. FAN CAPACITY OF EXTRACTING 3000m³ OF AIR LOCATED REMOTE AND CHANGING OF EXTRACTING GOULD. ELECTRICAL CONNECTIONS TO BE MADE BY REGISTERED ELECTRICIAN TO BE CONTROLLED BY MAIN ELECTRICAL UTILITY FAN CAPACITY OF EXTRACTING 3000m³ OF AIR LOCATED AS HIGH AS POSSIBLE AND VENTED TO ROOF. ELECTRICAL CONNECTIONS TO BE MADE BY REGISTERED ELECTRICIAN TO BE CONTROLLED BY MAIN ELECTRICAL UTILITY FAN CAPACITY OF EXTRACTING 3000m³ OF AIR LOCATED AS HIGH AS POSSIBLE AND VENTED TO ROOF. ELECTRICAL CONNECTIONS TO BE MADE BY REGISTERED ELECTRICIAN TO BE CONTROLLED BY MAIN ELECTRICAL UTILITY FAN CAPACITY OF EXTRACTING 3000m³ OF AIR LOCATED AS HIGH AS POSSIBLE AND VENTED TO ROOF.

HEATING / HOT WATER: EXISTING HEATING AND HOT WATER SYSTEM EXTENDED TO NEW AREAS

INSULATION: INSULATION TO AT LEAST EQUAL 8 OF FIVE. THICKNESS OF INSULATION TO AT LEAST EQUAL 8 OF FIVE.

NEW ELECTRICALS: NEW ELECTRICALS TO BE FITTED WITH T.V.'S UNDER FLOOR HEATING TO BE CONTROLLED BY PROGRAMMABLE ROOM STAT.

LIGHT FITTINGS: LIGHT FITTINGS TO BE APPOINTED TO BE APPROPRIATE TO THE ROOMS. FITTINGS TO BE APPOINTED TO BE APPROPRIATE TO THE ROOMS. FITTINGS TO BE APPOINTED TO BE APPROPRIATE TO THE ROOMS.

ELECTRICAL WORK: TO BE CARRIED OUT TO ALL ELECTRICAL INSTALLATIONS TO BE CARRIED OUT TO ALL ELECTRICAL INSTALLATIONS TO BE CARRIED OUT TO ALL ELECTRICAL INSTALLATIONS.

TO ADAPT BUILDING TECHNIQUES TO MEET THERMAL BRICKING AND AIR LEAKAGE TO ACCREDITED CONSTRUCTION DETAILS

TO SURVEY ORIGIN WITH OPERATING AND MAINTENANCE INSTRUMENTS FOR FIXED APPLIANCES

No.	DATE	REVISIONS
B	5 SEP 21	REVISION 0500000
A	1 FEB 21	BUILDING NOTES ADDED

CLIENTS MUST TAKE THEIR OWN ASSURANCES ON:
 1. Suitability of land.
 2. Suitability of storm water drainage.
 3. Position of main sewer (if applicable).
 4. Trees and their effect on foundation design.

WE CANNOT BE RESPONSIBLE FOR ANY ADDITIONAL WORK OR COSTS INCURRED BY YOU OR ANY OTHER PROBLEMS RELATED TO A PARTICULAR SITE. EXTENSIONS ARE SUBJECT TO REVISION DEPENDING ON EXISTING CONDITIONS AS EXPOSED. ALL DIMENSIONS TO BE CHECKED ON SITE.

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Glyn Doughty Design
 25 VICARAGE HILL
 WESTERHAM
 KENT TN16 1TL
 TEL: WESTERHAM (01959) 562723
 E-MAIL: glyn.doughty@btconnect.com
 Planning & architectural consultant

CLIENT Mr & Mrs N. Moore
 Extension and alterations to
 Little Browns Bungalow,
 Honeypot Lane, Edenbridge,
 FLOOR PLAN, ELEVATIONS
 (Proposed)

DO NOT SCALE THIS DRAWING
 SCALE 1:100 1:50
 DRAWN G.T.D. DATE 23 Sep 20
 DRAWING NO. revision
 MN 2003-02 AB

GROUND FLOOR PLAN
 SCALE 1:50 AT A1