

THESE PLANS MUST NOT BE ACTED UPON UNTIL THEY HAVE BEEN APPROVED IN ACCORDANCE WITH BUILDING REGULATIONS 2010 & ANY SUBSEQUENT AMENDMENTS. SHOULD THE OWNER OR CONTRACTOR COMMENCE WORK WITHOUT THE ABOVE APPROVAL, THEN THEY DO SO AT THEIR OWN RISK. CONTRACTOR MUST CHECK ALL DIMENSIONS ON SITE PRIOR TO COMMENCEMENT ON SITE. ANY ANOMOLIES TO BE REPORTED. DO NOT SCALE FROM DRAWINGS, FIGURED DIMENSIONS ONLY TO BE USED.

# FOR PLANNING PURPOSES ONLY

Drawings prepared for Planning purposes only, NOT for construction, ALL major annotated dimensions must be checked on site PRIOR to construction works commencing and any anomalies found, MUST be reported.

External materials and finishes IE. Roof tiles or other roof finishes, Elevational finishes - brickwork / render / dashing, etc., Window and door types, MUST all be as stated on the approved plans, alterations in ANY materials MUST be referred back to the relevant Planning Dept., or Planning Case Officer for written confirmation that alterations are NOT considered to be a 'material change' that would affect the relevant Permission that has been granted for the proposal[s].

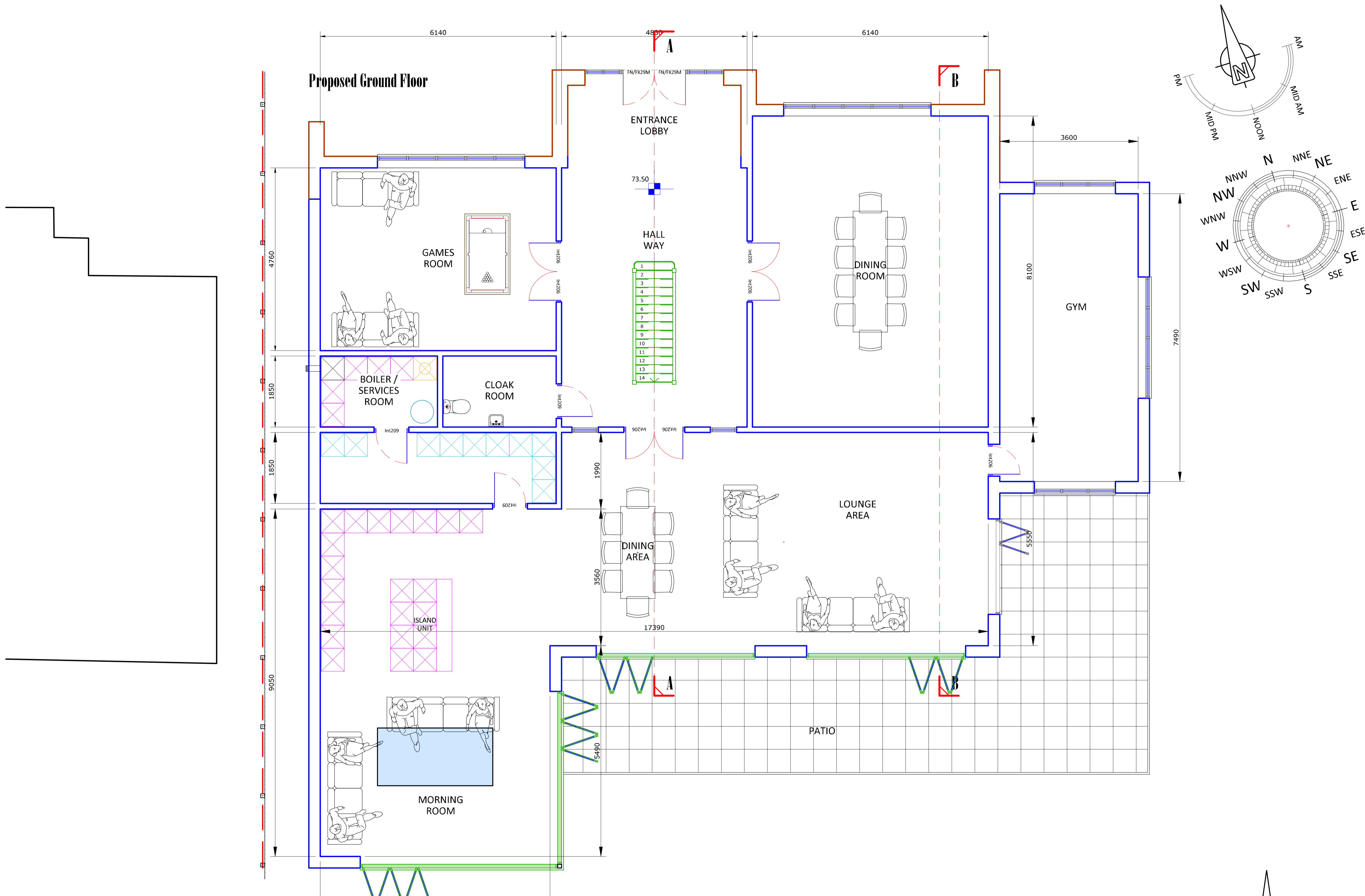
Any alterations to the approved plans MUST be notified to the Planning Dept., or Planning Case Officer for formal written approval PRIOR to altering any part of the approved plans. Should the Client (or their Contractor / Sub-Contractor) alter any part of the works - from the approved Planning drawings - then they do so at their own risk.

Client [or their Contractor] to ensure that any conditions attached to the Planning Permission regarding material samples IE. facing / roofing / windows are deposited at the relevant Planning dept., and formally approved in writing by the Planning Case Officer or Planning Department PRIOR to commencement of works on site.

Where trees and tree protection methods are material considerations, then no works or development shall take place until a scheme for the protection of the retained trees - The Tree Protection plan (section 5.5, BS 5837:2012, Trees in relation to design, demolition and construction - Recommendations) has been agreed in writing with the LPA. Prior to the commencement of works on site. Tree Protection Barriers shall be installed. Tree Protection Barriers and Ground Protection shall not be removed, breached or altered without prior written authorisation from the Planning Dept., or client's own arboriculturist and shall remain in a functional condition throughout the entire development.

Client to ensure that the proposal is commenced within the time period stated in the Planning Approval [generally three years from the date of Approval].

Load bearing walls	Non Load bearing walls / partitions
New Masonry	New Partition
Clear glazing	Obscure glazing
Leadwork to valley	Render / dashed finish
Existing opening to be built up	Concrete Padstone
Formed opening	Structural beam UBeam or similar
New Brickwork	Roof Tiles
Underground drainage [FW]	Underground drainage [SW]
Existing roof / geometry	Proposed roof / geometry
Land boundary	Masonry wall above / below



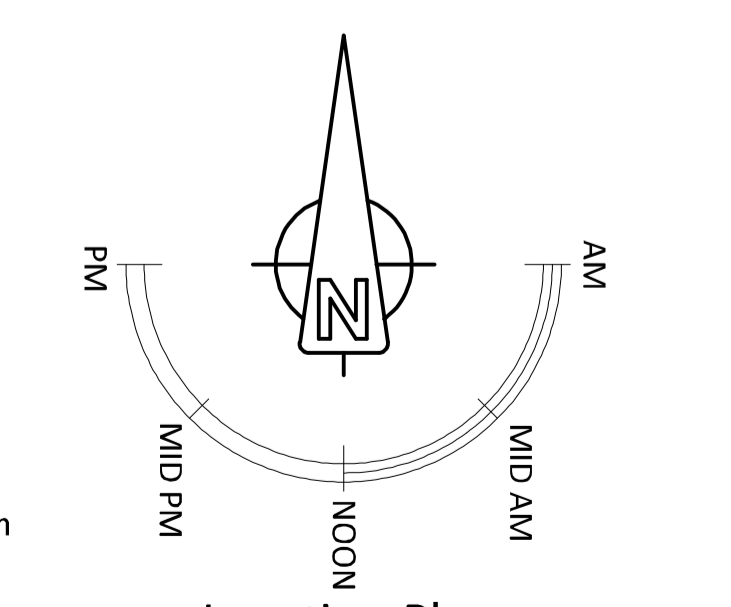
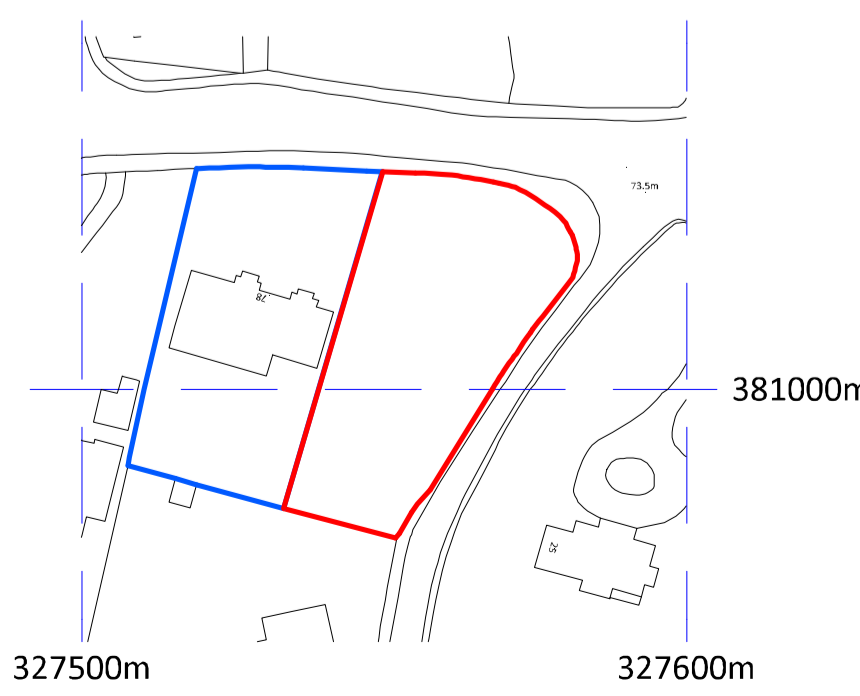
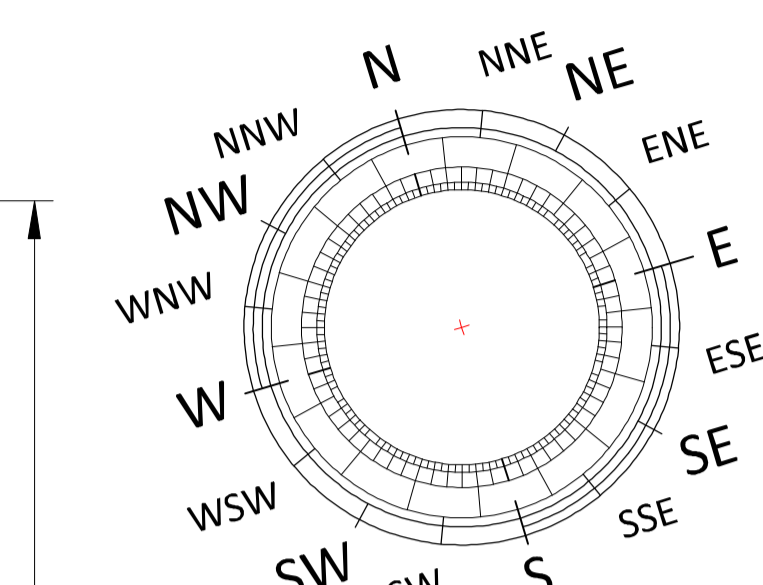
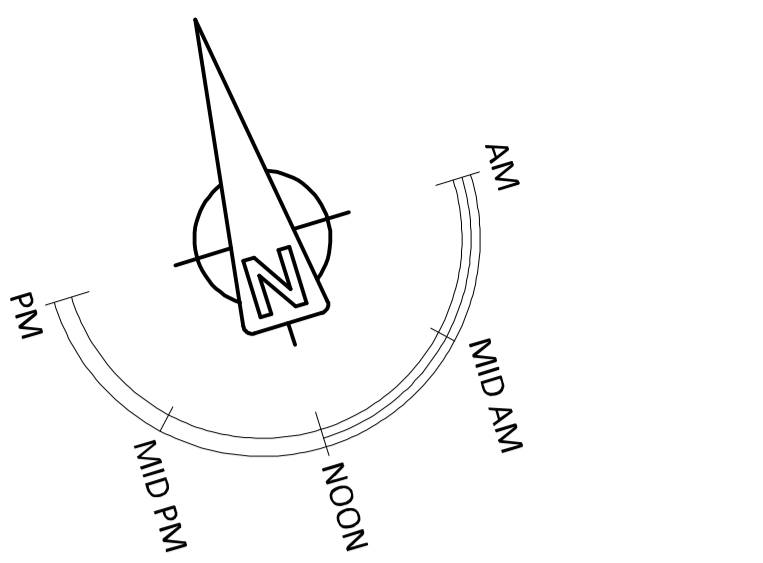
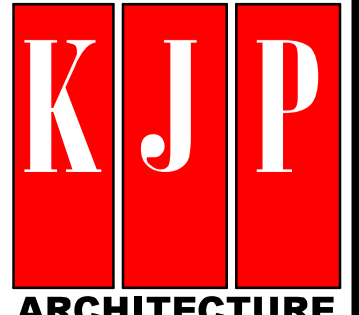
**AMENDED PROPOSALS**

- 27-08-21 Morning Room & Gym added to Ground Floor
- En-Suites & Dresser added to First Floor

- |                         |               |
|-------------------------|---------------|
| Native CAD Format       | AllyCAD2013   |
| Resolution              | 300dpi        |
| Colour Format           | 256 colours   |
| Plotting Software       | Adobe Acrobat |
| Printed & Verified      | Yes           |
| Satisfied with Accuracy | Yes           |

DATE: 27th of August 2021  
 PROJECT: New Detached Dwelling  
 FOR: Mr. & Mrs. Burns  
 AT: 78 Dawstone Road, Gayton, Wirral CH60 8ND  
 DRAWING: 001-Proposed Ground Floor Plan  
 PROJECT No: Burns07  
 SCALE: 1:50 @ paper size - A1 / 1:100 @ paper size - A3  
 EXISTINGS: JJ PLANNING: CJ BUILDING REG'S: CJ

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Location Plan  
 Scale 1:1250  
 Site outlined in red

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