



WELLINGTON HOUSE-WH39

Wellington Street,
Glasgow

G2 2XW

Design & Access Statement

WH39-HD -D&A-A-8500

29-07-2020

Prepared by



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1. INTRODUCTION

This design and access statement has been prepared by Henley Construct in support of the Application for Planning Permission and Listed Building Consent **for the location of plant equipments on the roof, car park & light well areas & additional louvre vents on Bath lane facade to** Wellington House, 134 - 136 Wellington Street and 101-113 (Odd No's) Bath Street, Glasgow.

Following the consent to transform the existing building into a high quality hotel within Glasgow city centre, this document sets out the proposed changes in relation to the latest consented scheme – **19/01731/FUL**

1.1 OVERVIEW

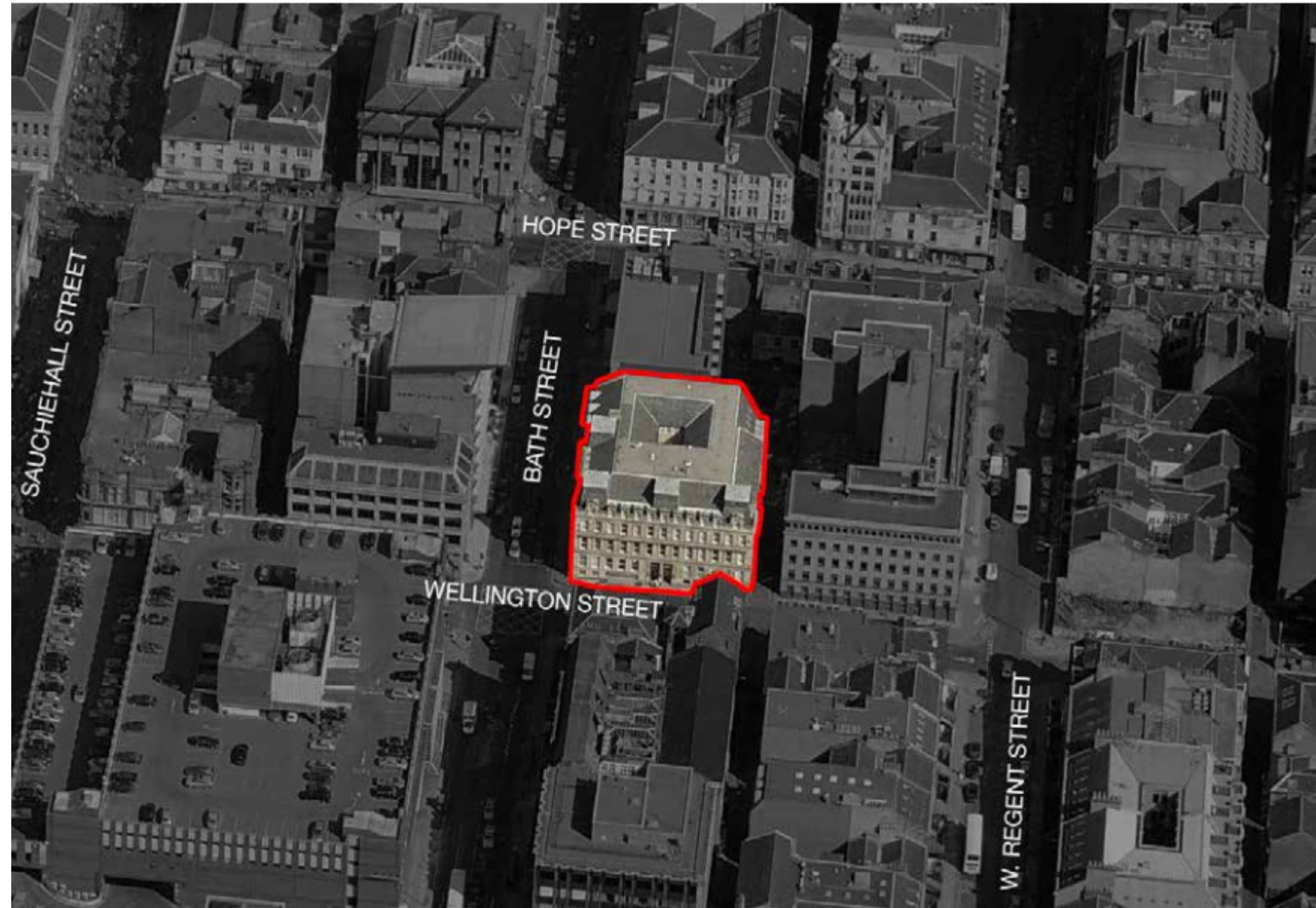
Following the consented conversion to the scheme, this application ties up the anomalies from the previously approved scheme.

This document refers to the following applications in relation to the proposed development;

- Planning Application for the location of plant equipments on the roof, car park & light well areas and addition of louvre vents on the facade
- Listed Building Consent for the external alterations on the facade on Bath lane to provide sufficient ventilation to car park.

1.2 SITE CONTEXT

The site for the proposed development is in central Glasgow and comprises the existing buildings located at 134 - 136 Wellington Street and 101-113 (Odd No's) Bath Street, Glasgow. Wellington House is located within the Glasgow Central Conservation Area, in the Business District and in Blythwood Character Area.



Aerial view of Wellington House and the surrounding context

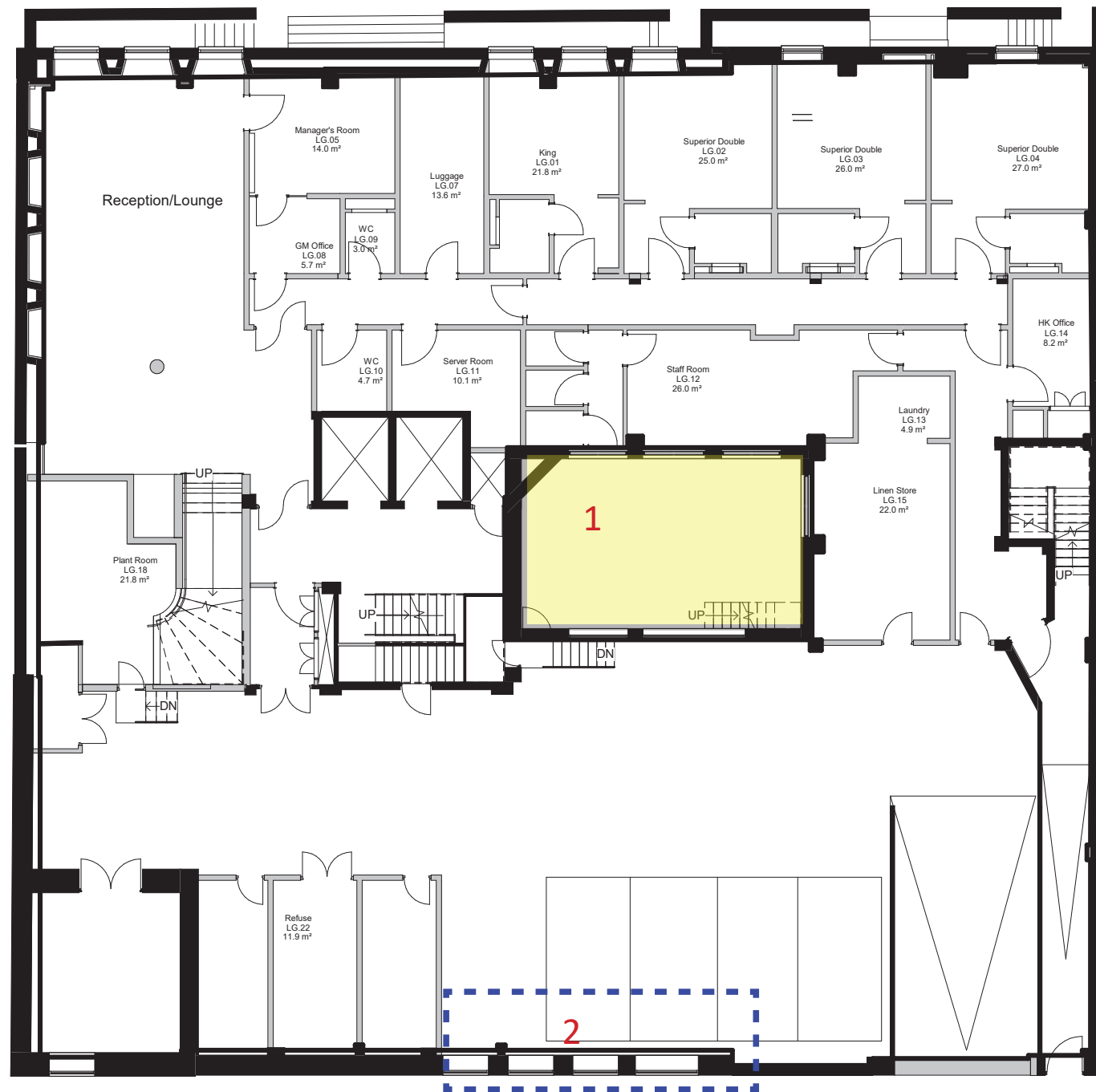
Location Map



CONSENTED BATH LANE ELEVATION

- ■ ■ ■ Consented Plant Area at Lower Ground Floor
- Existing Louvre Windows at Lower ground floor

The consented scheme used the existing Plant room & light well area in the previous office building for the proposed hotel. During the design development of the consented scheme, it came into light that the allocated plant area is insufficient to accommodate all the equipments required as per M&E Strategy. With further consultation, there is an extra space requirement for ASHP & AHUs which was identified within the building without deviating from the design. This led to an increase in car park ventilation requirement which is achieved by increasing the size of existing louvres on the Bath Lane Facade.

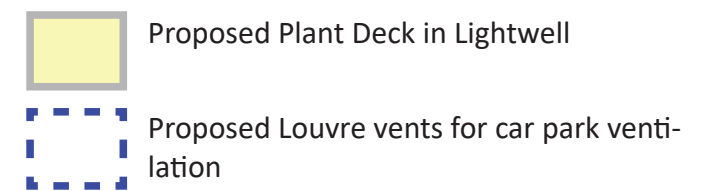


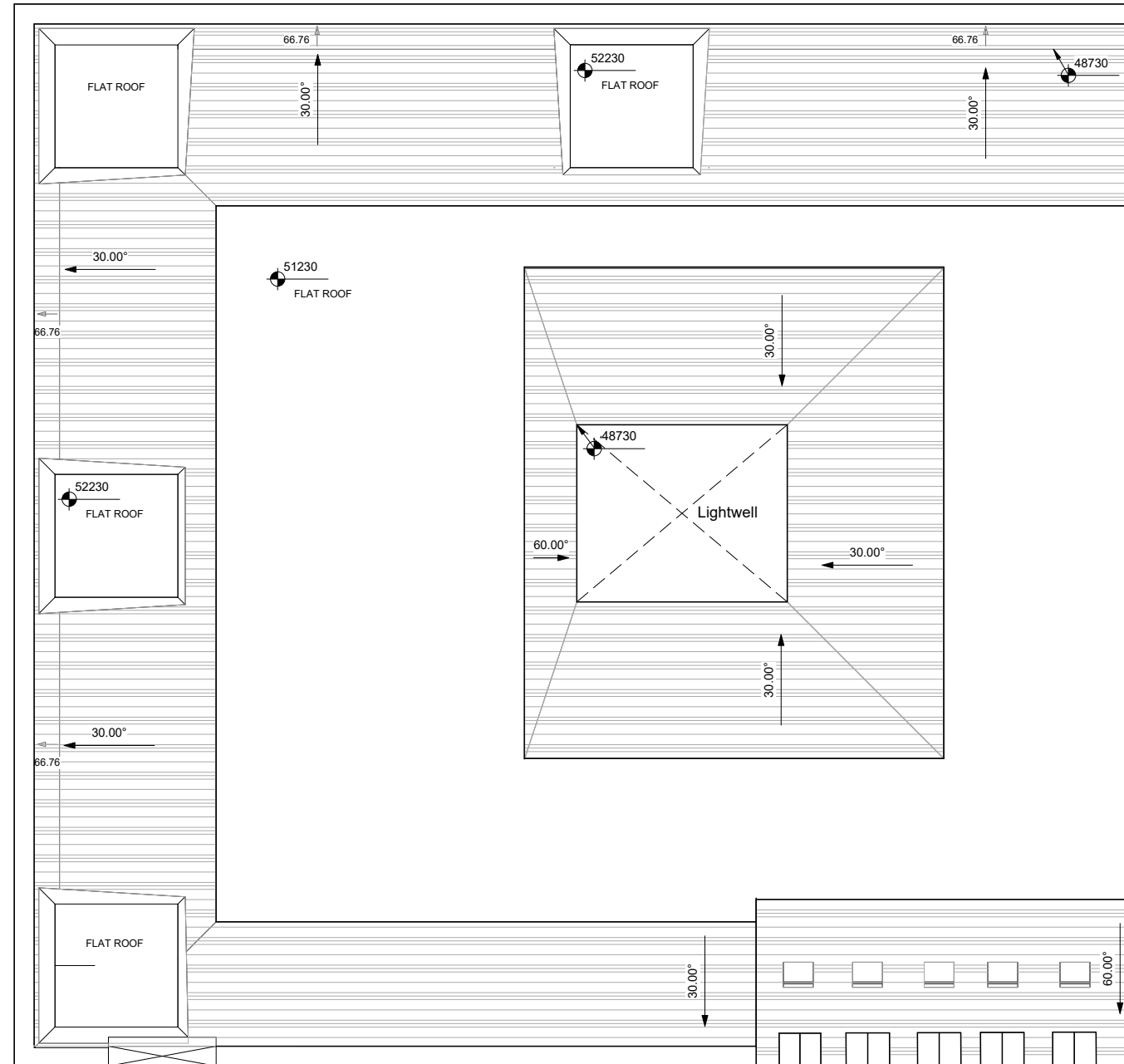
1. Light well

a. Sprinkler Tank and Pumps - Lower Ground Floor
The sprinkler system needs to be enclosed in a weather proof, sealed enclosure. This enclosure will require heating to protect the system from freezing/frost. With this in mind there is a deck acting as roof over the sprinkler system for weather protection.

b. ASHP - Ground Floor
All ASHP equipments will fit on a plant deck above the sprinkler system.

2. Car Park Ventilation
The need to enclose the sprinkler system will mean that the existing louvres which vent the car park into the lightwell will now be venting into an enclosed/internal space. To Achieve the free areas required by building regulations to naturally ventilate a car park, the size of existing louvres has been increased leading to alteration in the facade.

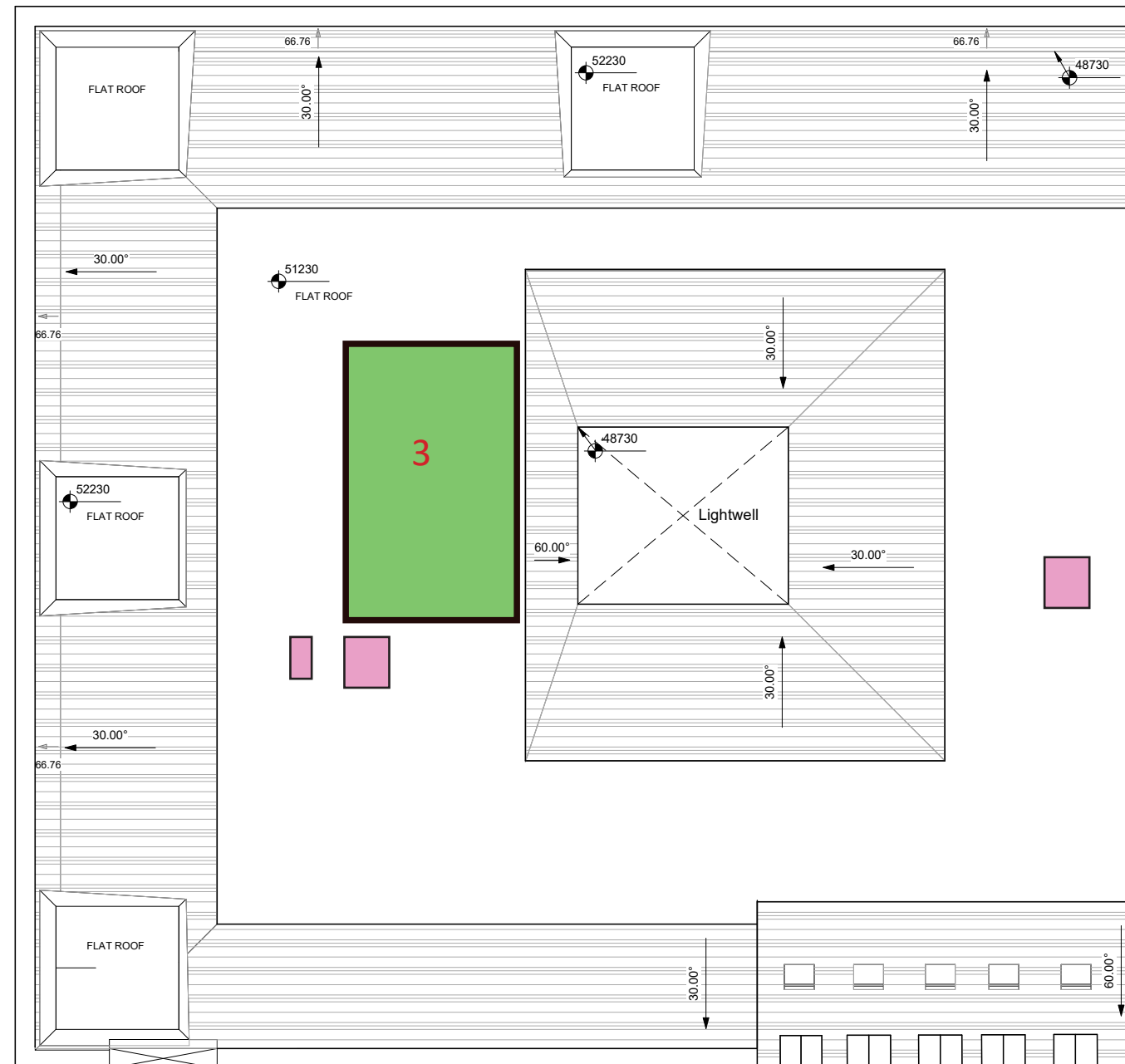






CONSENTED ROOF PLAN

REF. CONSENTED PLANNING APP: **19/01731/FUL**

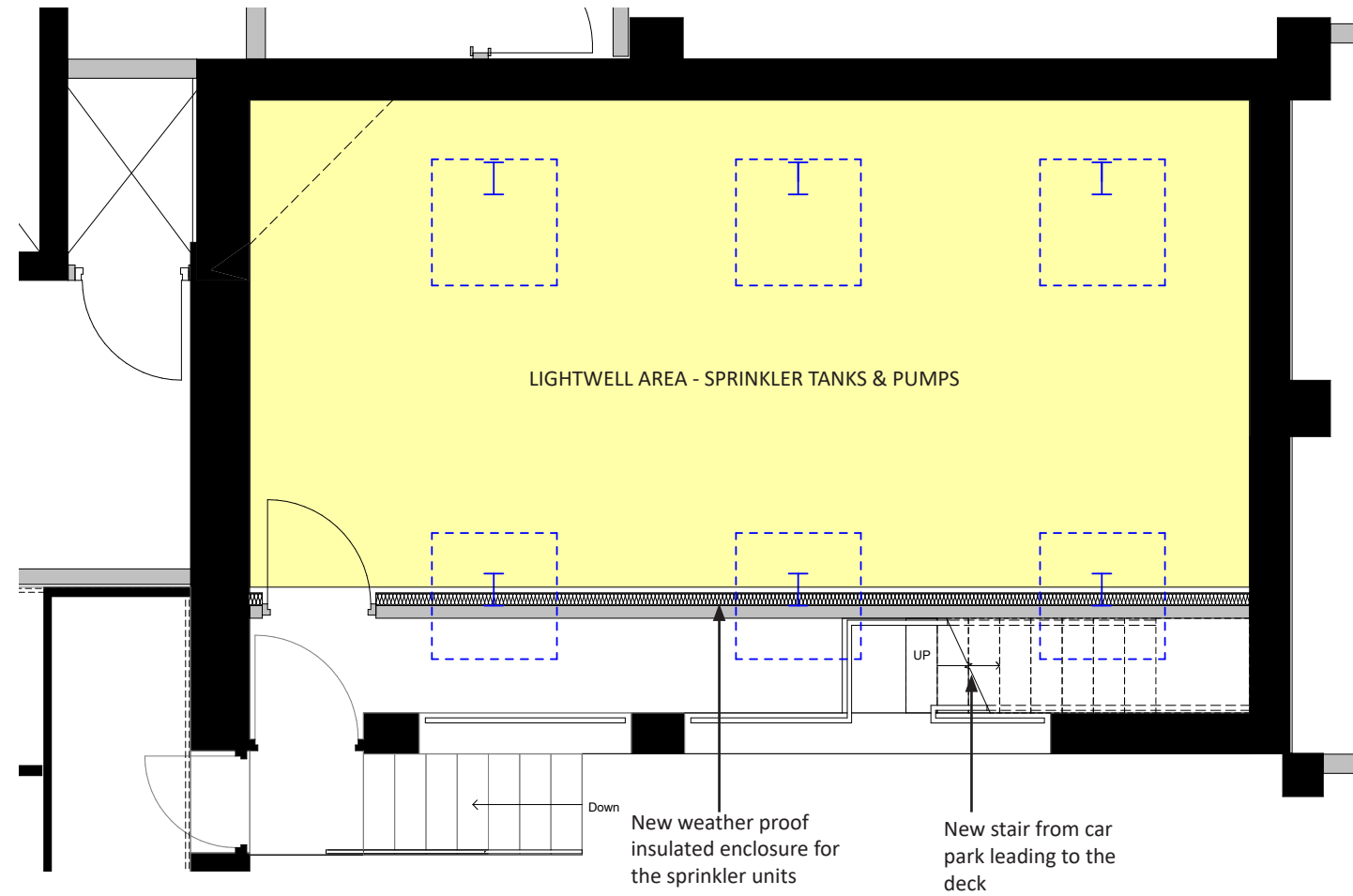
3. Roof - Air Handling Units (AHU)



-  Proposed Plant deck at Roof for AHU units
-  Proposed AOV & Opening Hatch at Roof level

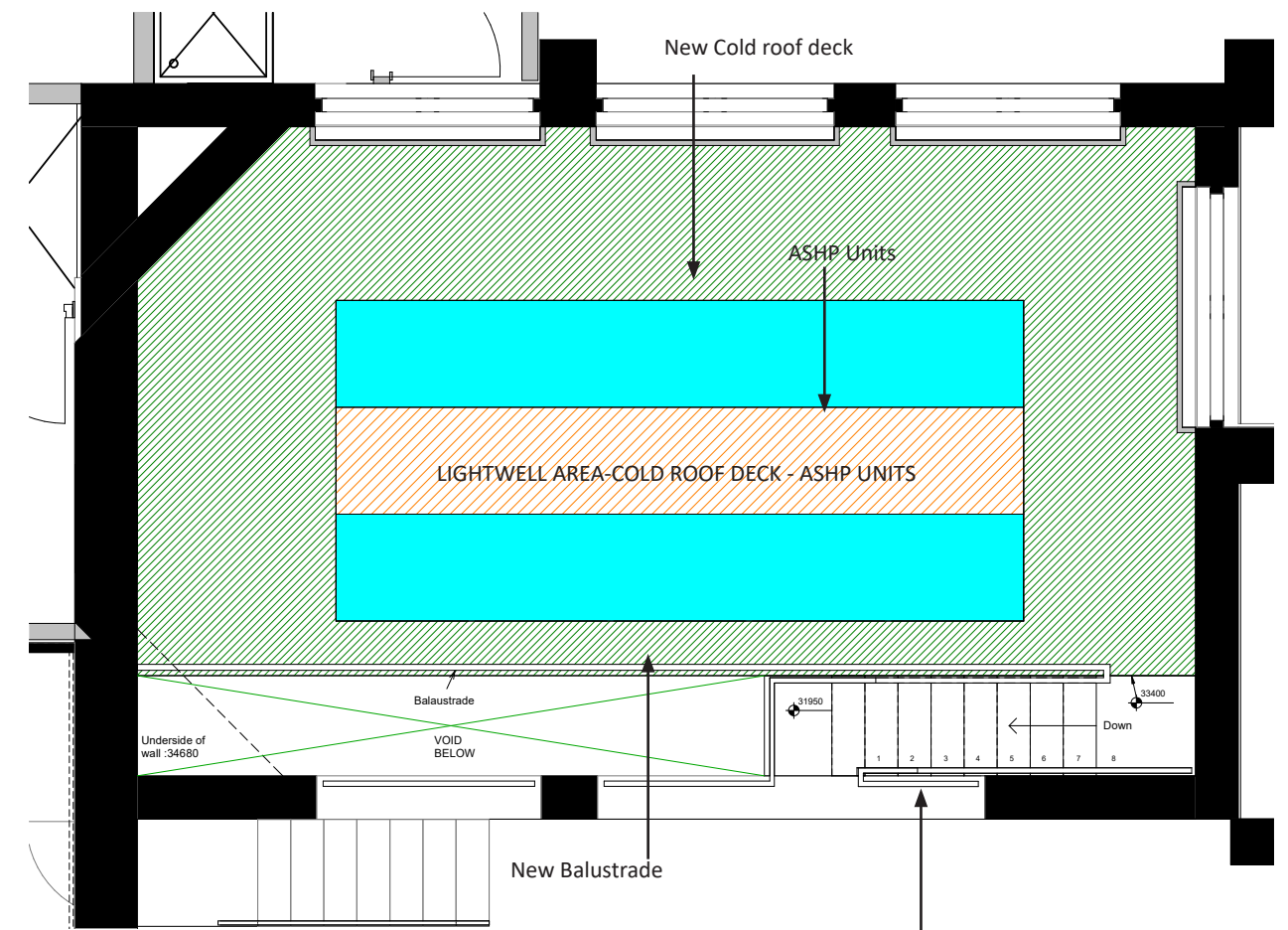
PROPOSED ROOF PLAN SHOWING PLANT DECK & PROPOSED AOV WINDOWS & HATCH OPENINGS.

to add consented
plan



LIGHTWELL PLAN @ +30500 LVL

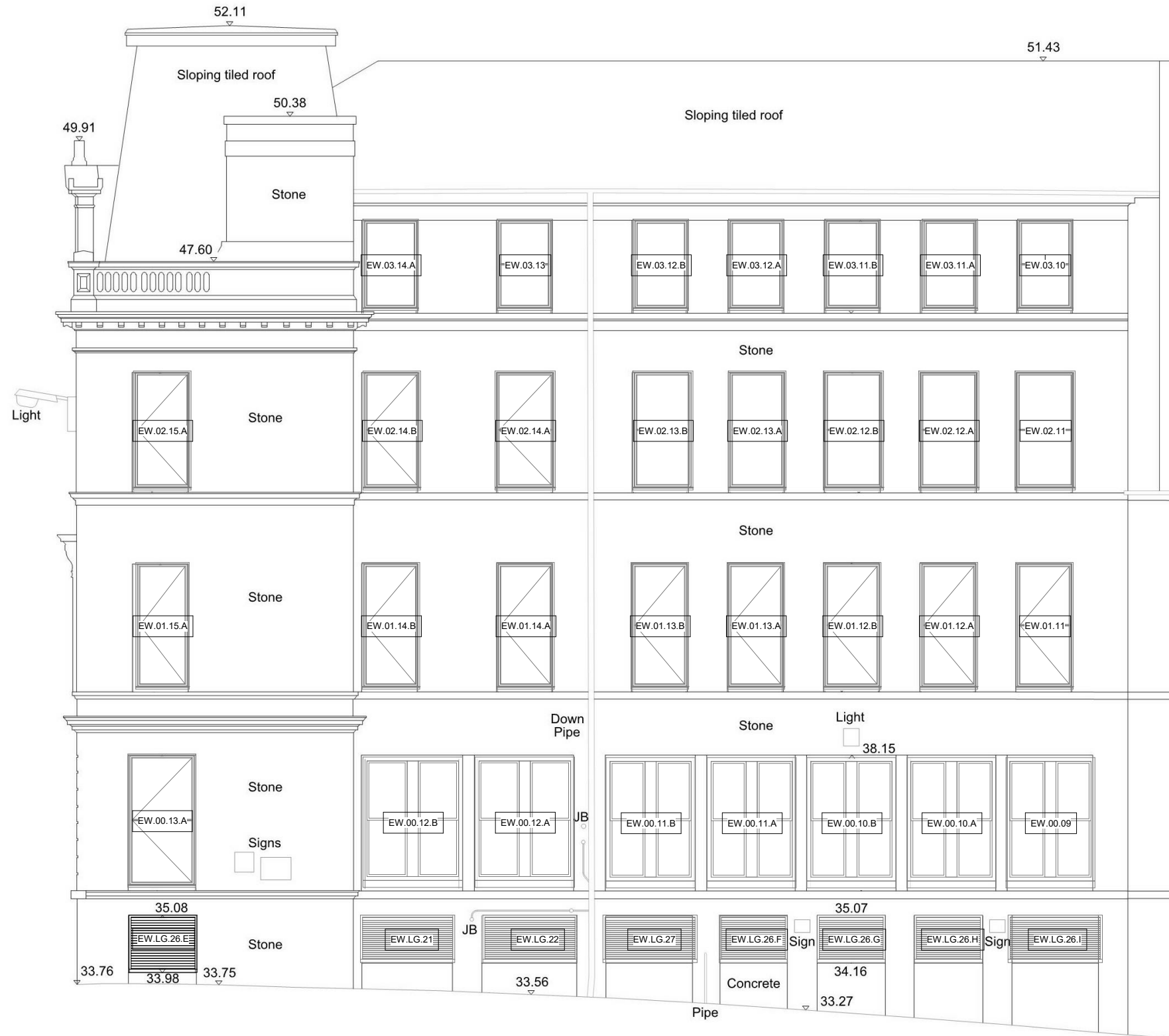
1. The existing AH Units in the consented scheme at Lower ground floor level has been removed and the space will be used for Sprinkler tanks & pumps. This sprinkler system has to be weather proofed. Hence there is a new insulated enclosure wall & a cold roof deck for protection.
2. The Air Source Heat Pump(ASHP)has been located on the new cold roof deck which is accessed from the car park by a new staircase. There will an architectural screen covering the ASHP on top for vertical air discharge.



LIGHTWELL PLAN @ +33400 LVL

PROPOSED LIGHTWELL PLAN SHOWING SPRINKLER & ASHP UNITS

2.2.CAR PARK VENTILATION



CONSENTED BATH LANE ELEVATION

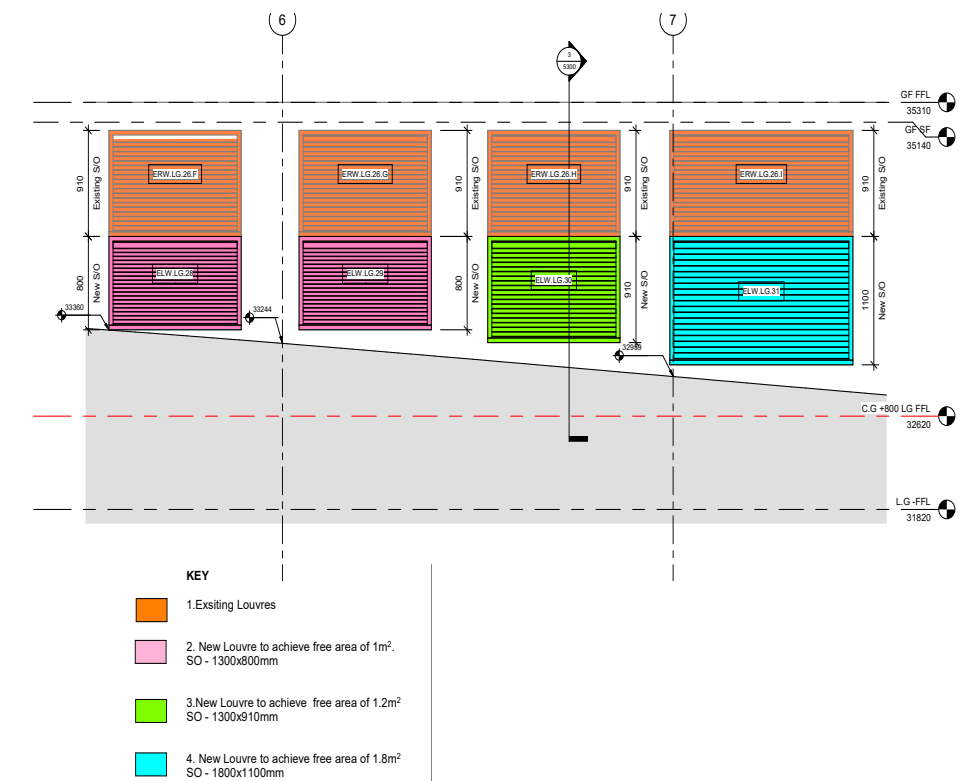
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PROPOSED BATH LANE ELEVATION

Car Park Ventilation

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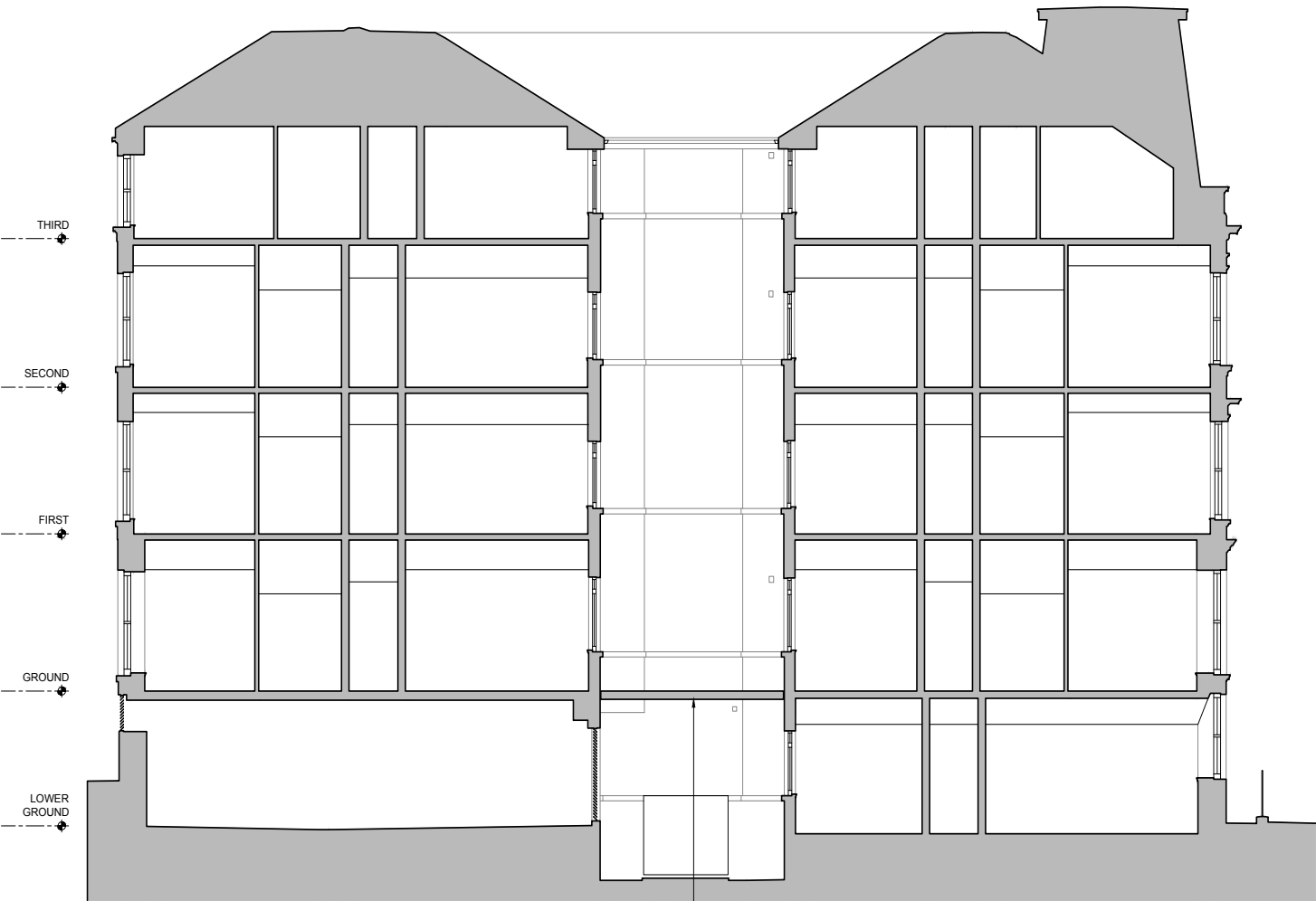


2.3.ROOF PLANT



SECTION A

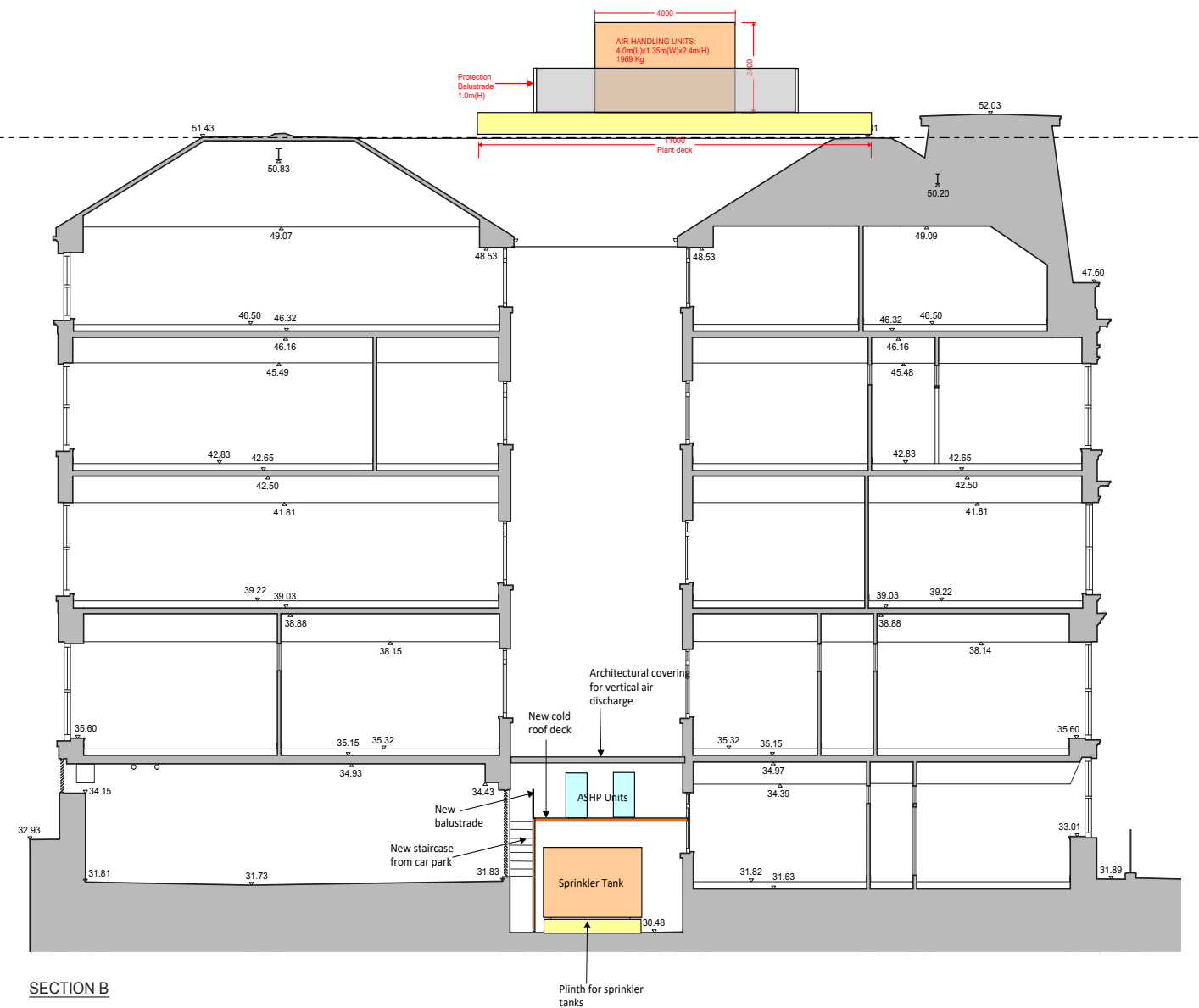
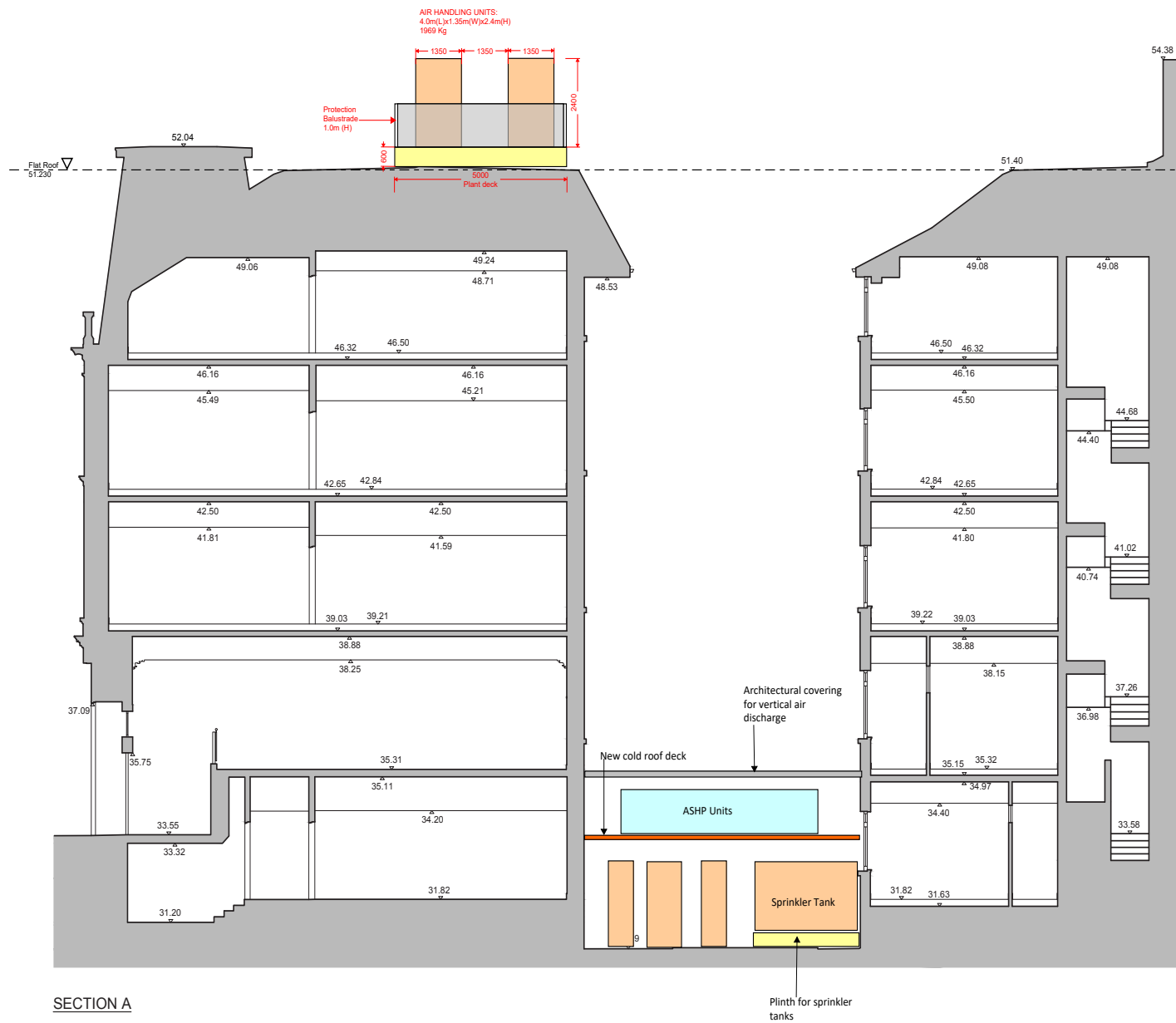
PROPOSED EXTERNAL DECK
AT GROUND FLOOR LEVEL
TO CONCEAL PLANT BELOW



SECTION B

PROPOSED EXTERNAL DECK
AT GROUND FLOOR LEVEL
TO CONCEAL PLANT BELOW

CONSENTED SECTION
REF. CONSENTED PLANNING APP: **19/01731/FUL**



PROPOSED SECTION HIGHLIGHTING PLANT ON ROOF & LIGHTWELL DECK



BATH STREET ELEVATION



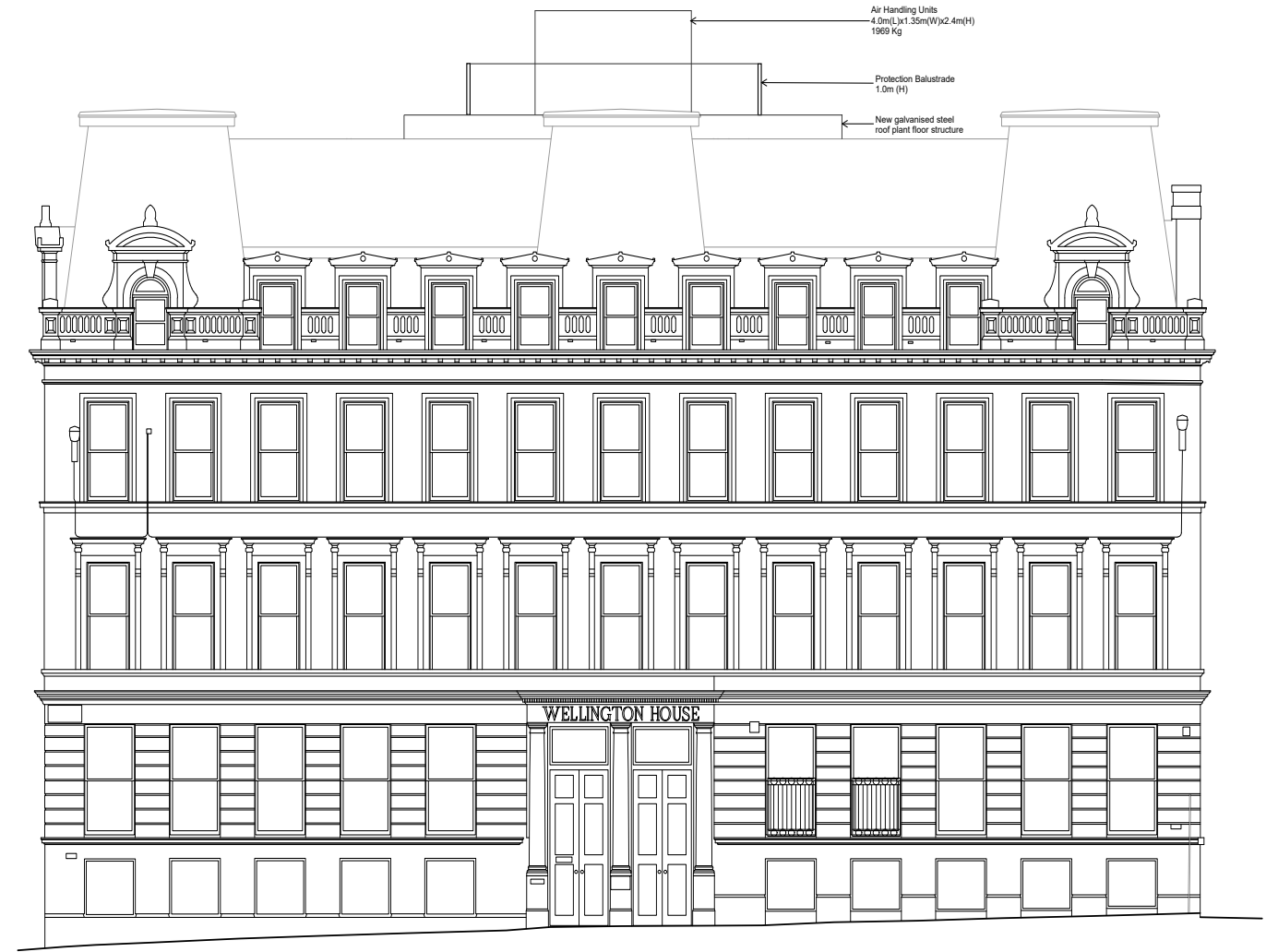
WELLINGTON STREET ELEVATION

CONSENTED ELEVATION

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BATH STREET ELEVATION



WELLINGTON STREET ELEVATION

