

Giles Quarme Architects
Historic Building Architects & Consultants

ASTON HALL - SHROPSHIRE
Aston Munslow - Craven Arms



LANDSCAPE &
IMPACT ON THE AONB

Submission to Local Authority

September 2021

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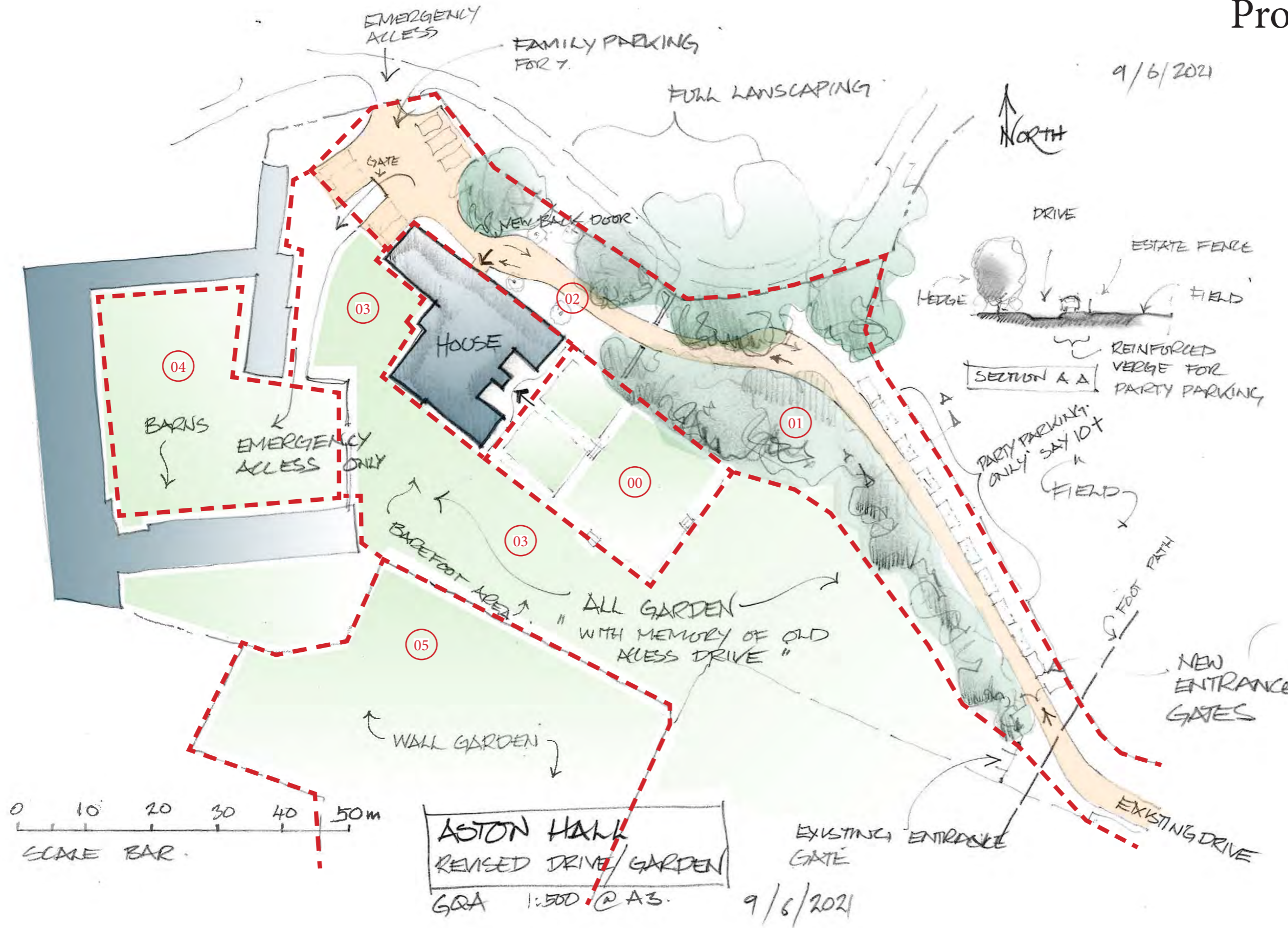
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To be read in conjunction with the following drawings & reports:

- GQA Survey & Proposal Drawings (full sets)
- Mann Williams Structural Survey, Proposals and Method Statements
- A Plus Energy Efficiency & MEP Feasibility Report
- Hutton + Rostron Timber Investigation Report
- Integrale Ground Investigations Report
- Worsfold & Bowden Ecology Report
- Arbor Vitae Arboricultural Report
- PCA Archaeological Desk Based Assessment

Proposed Masterplan

LOCATION PLAN



KEY:

- 00 Existing formal garden to front of Hall
- 01 Proposed new Drive
- 02 Proposed landscaping to back of main Hall
- 03 Proposed landscaping between main Hall & Outbuildings
- 04 Existing main Courtyard & proposed Productive Garden
- 05 Proposed landscaping to existing Walled Garden

LOCATION PLAN - NOT TO SCALE

Back of House: Area 02

PROPOSED PLAN (Landscaping Omitted)

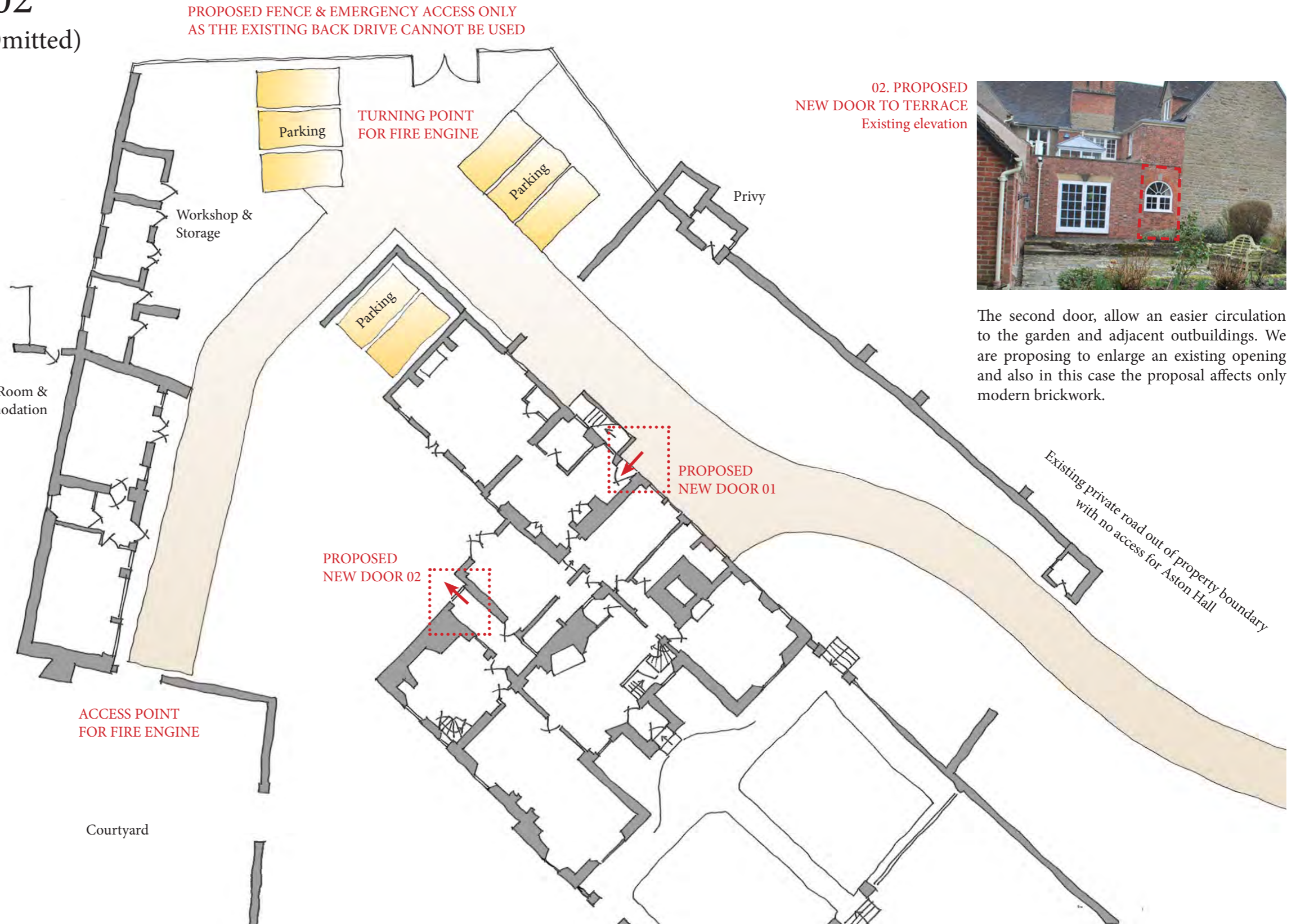
The proposed back drive has been considered for 2 main reasons:

- Redefine the historic 'back of house' access currently impossible via the existing private drive on the North as the clients have been denied any rights of use.
- Remove car access and parking from the front of house, as this is considered unsafe for the family and detrimental for the setting of the historic buildings.

The proposals also include 2no new doors in order to improve the overall circulation at ground floor level throughout the main hall and the external spaces.

The first door, next to the kitchen, allows an easier circulation to the back of house. The proposed opening do not affect the historic fabric of the main hall, as the kitchen is a very recent extension.

01. PROPOSED BACK DOOR TO DRIVE
Existing elevation

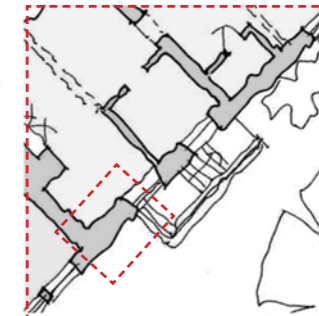


The second door, allow an easier circulation to the garden and adjacent outbuildings. We are proposing to enlarge an existing opening and also in this case the proposal affects only modern brickwork.

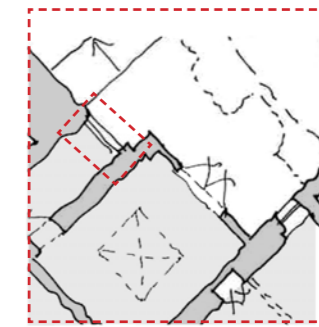
PROPOSED PLAN - NOT TO SCALE

Link between Main Hall & Outbuildings Areas 00, 02 & 03

PROPOSED PLAN

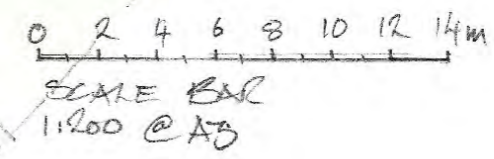


01. PROPOSED
BACK DOOR TO DRIVE
Existing plan



02. PROPOSED
NEW DOOR TO TERRACE
Existing plan

The existing and proposed separate buildings, including the main hall, are proposed to be linked together via the landscaping. The removal of the existing car access to the South-West of the house is considered a necessary measure for contrasting the constant presence of cars. The parking space between the house and the outbuildings is considered unsafe for the family's children, as well as harmful for the setting of the historic buildings.



PROPOSED PLAN - NOT TO SCALE

Link between Main Hall & Outbuildings: Area 03

MAIN PERSPECTIVE LOOKING FROM HALL



PERSPECTIVE LOOKING FROM MAIN HALL'S KITCHEN

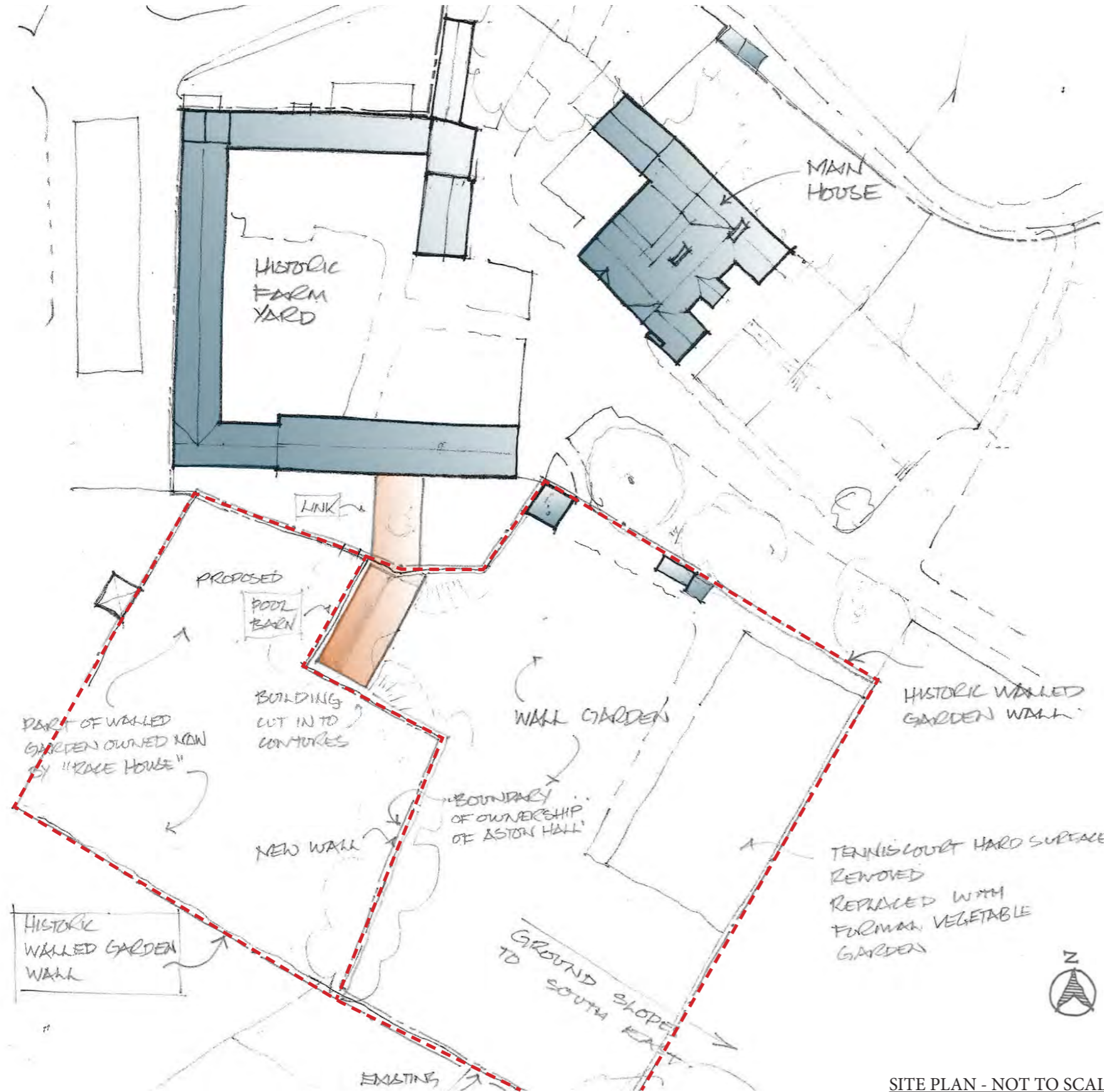
Walled Garden: Area 05

HISTORIC & CURRENT LAYOUT

The walled-garden is an important element in the overall setting of the historic estate. Unfortunately the majority of the land has been sold off, including part of the walled garden and its related historic gazebo.

The proposal includes the re-landscaping of the walled-garden as this part of the land offers generous South views towards the valley. The removal of the hard surfaced tennis, and the addition of a formal vegetable garden, aim to reintroduce typical historic elements that would have composed an estate such as Aston Hall.

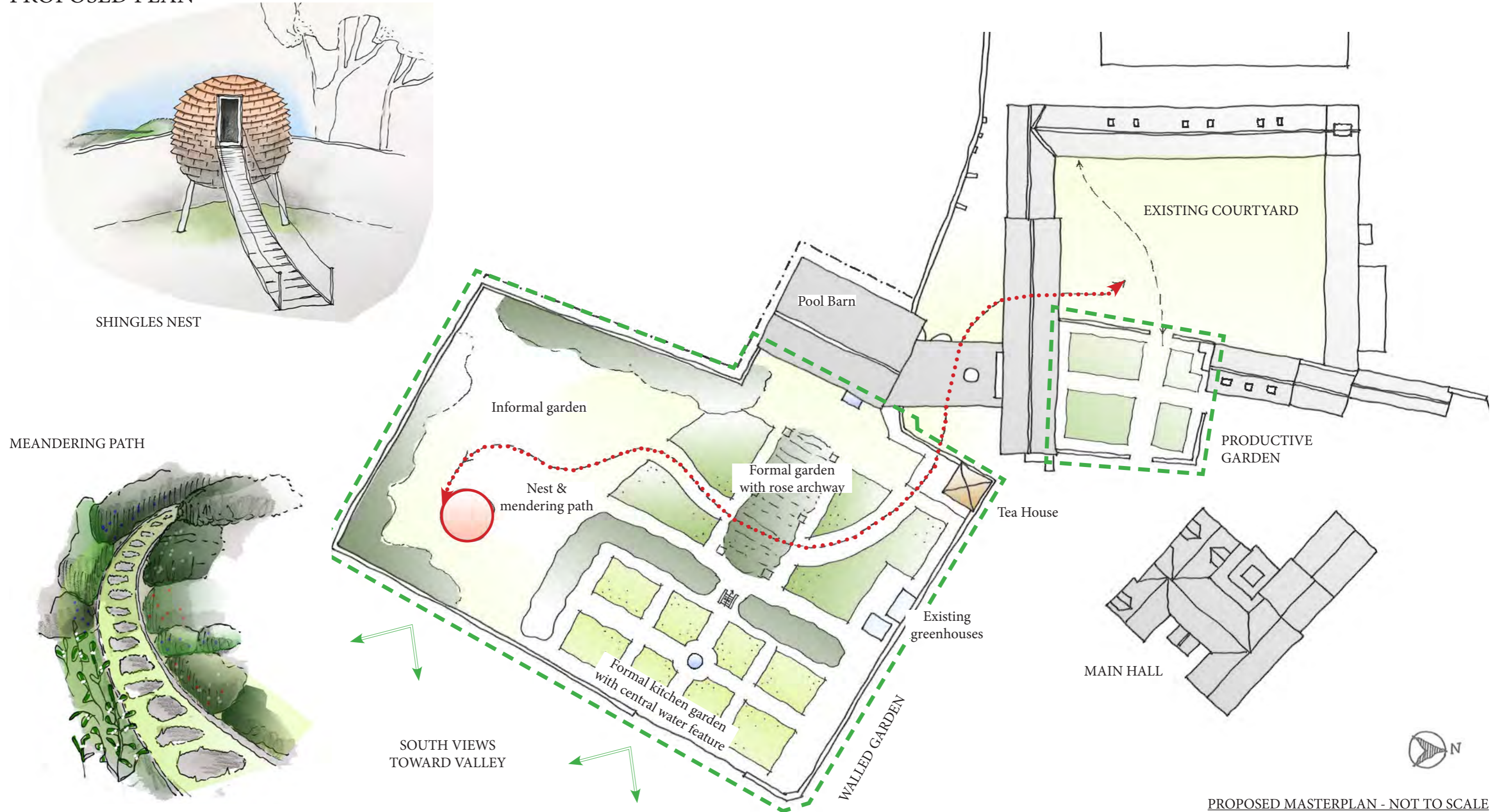
See next page for landscaping.



SITE PLAN - NOT TO SCALE

Walled Garden and Barn Courtyard: Areas 04 & 05

PROPOSED PLAN



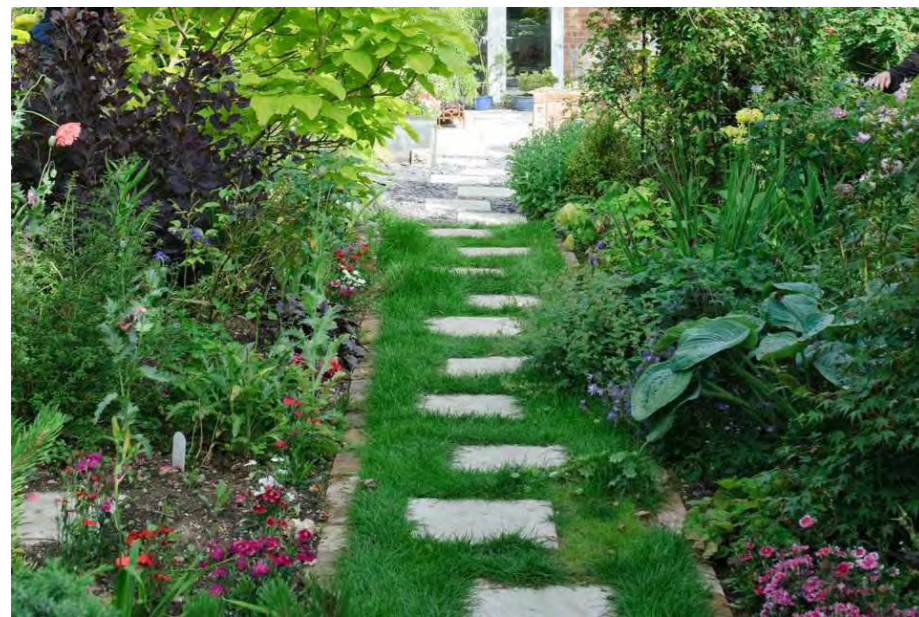
Walled Garden: Area 05

MOOD BOARDS



FORMAL WALLED GARDEN

With geometric layout, flower beds and edges.



MEANDERING PATH

It is a simple path embedded into the lawn for children to explore. It is a fluid organic line that breaks the geometry of the formal garden.



SHINGLES NEST

It is proposed as a feature to the South-West of the walled garden to overlook the valley and the panorama above the existing garden wall.



Walled Garden: Area 05

MOOD BOARDS



ROSE ARCHWAY

To frame views towards the valley and the new pool barn.



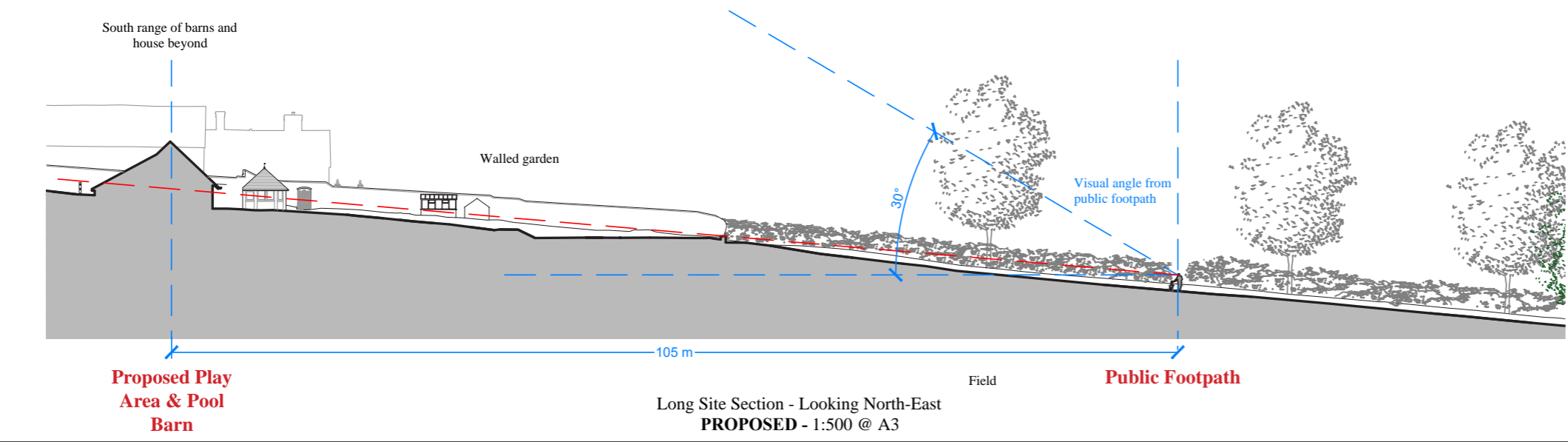
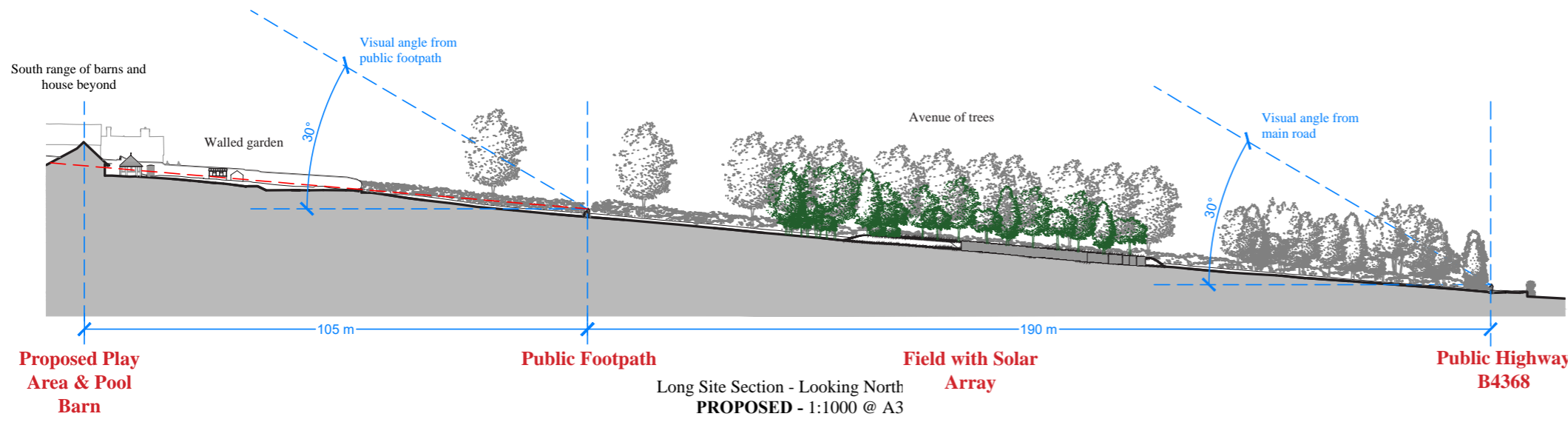
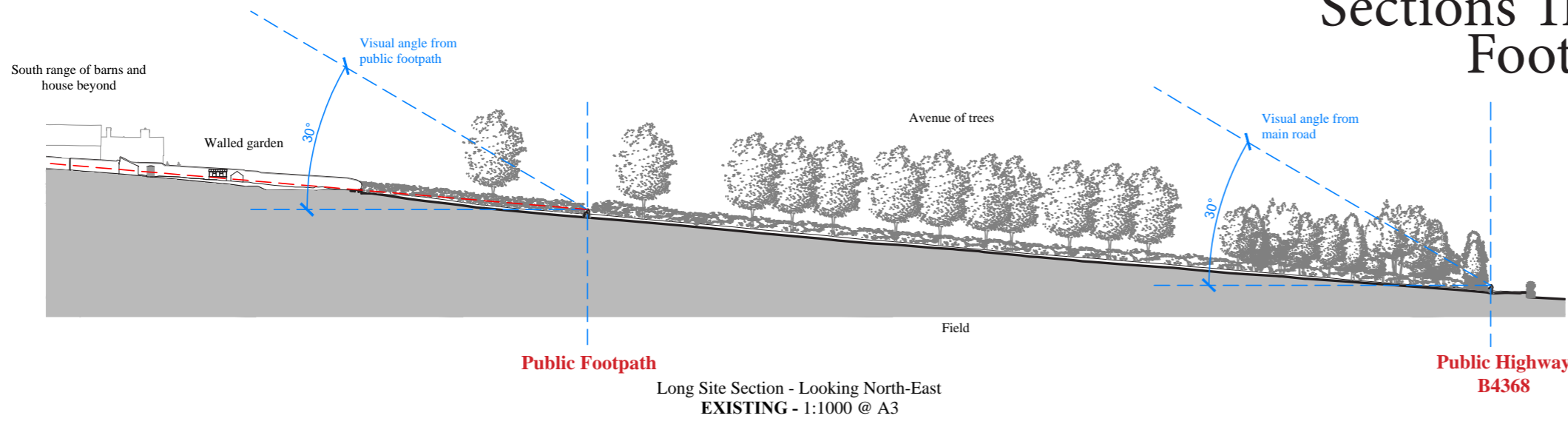
FORMAL KITCHEN GARDEN

To replace the existing hard surfaced tennis court facing South.

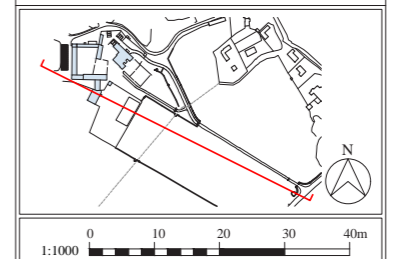
The proposal include the making good of the existing conservatories, the planting of espalier fruit trees and the creation of a geometric layout with central water feature.



Sections Through Site Across Public Footpath and Public Highway

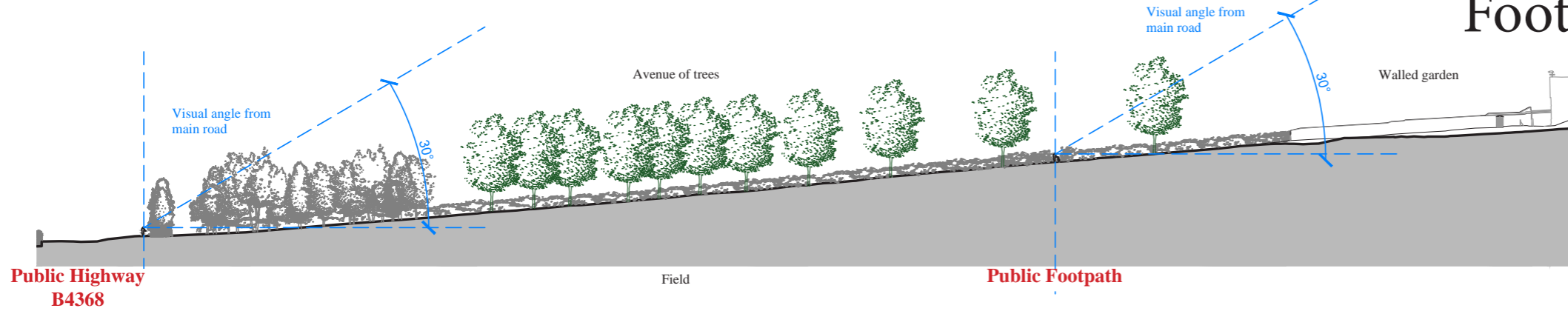


- Drawing Notes:
- Surveyed and drawn by James Brennan Associates Chartered Surveyors for Arrol Architects Ltd & GQA - Issue date December 2020 & July 2021.
 - Survey grid is OS GPS & levels are related to ordnance survey GPS datum. Units are meters.
 - Survey accuracy with a scale of 1:500.
 - To be read in conjunction with all PLBC drawings and information.
 - To be read in conjunction with all Arboricultural drawings and documentation.

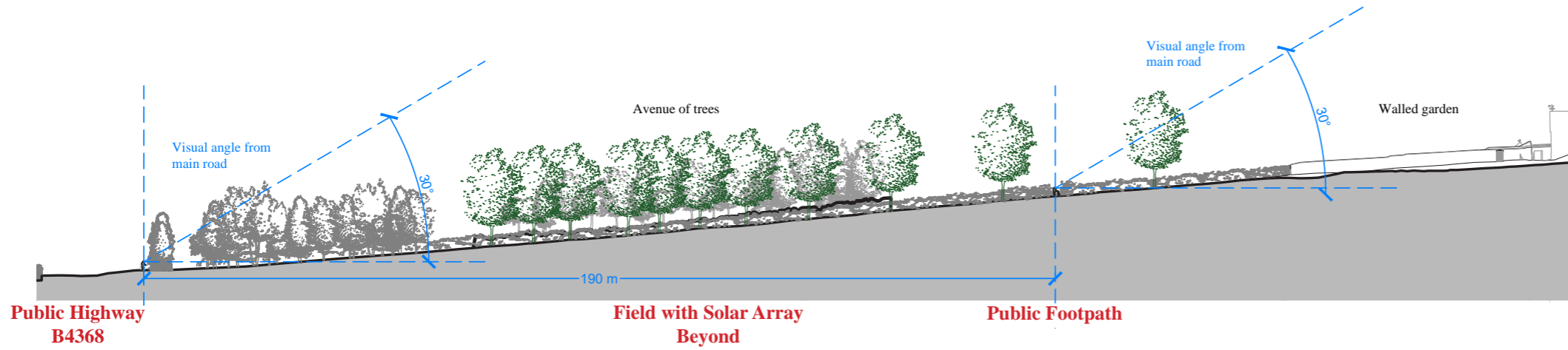


PLANNING ISSUE			
Rev	By	Date	Description
Drawing Number 9801 PLBC (0) 204			Rev ~
Project Aston Hall Barns Job No. 9801			
Title Site Sections Looking North-East: Existing and Proposed			
Drawn DL	Checked GQ		
Date 09 2021	Scale 1:1000/500 @ A3		
Giles Quarme Architects Historic Building Architects & Consultants			
7 Bishops Terrace London SE11 4UE		020 7582 0748 www.quarme.com mail@quarme.com	

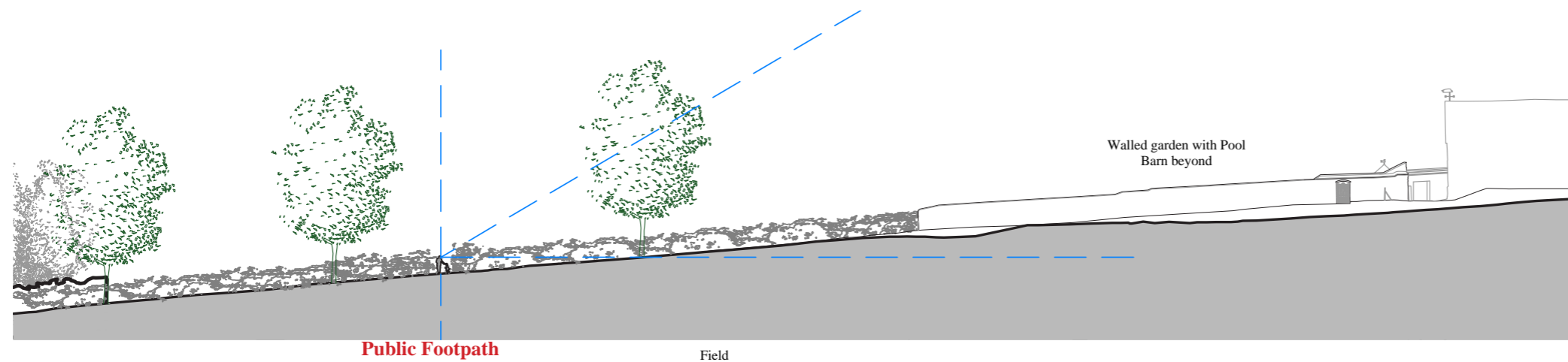
Sections Through Site Across Public Footpath and Public Highway



Long Site Section - Looking South-West
EXISTING - 1:1000 @ A3

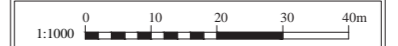
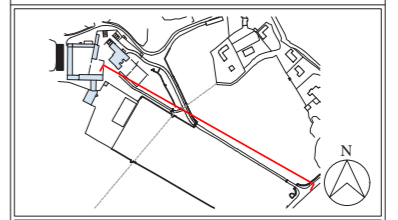


Long Site Section - Looking South-West
PROPOSED - 1:1000 @ A3



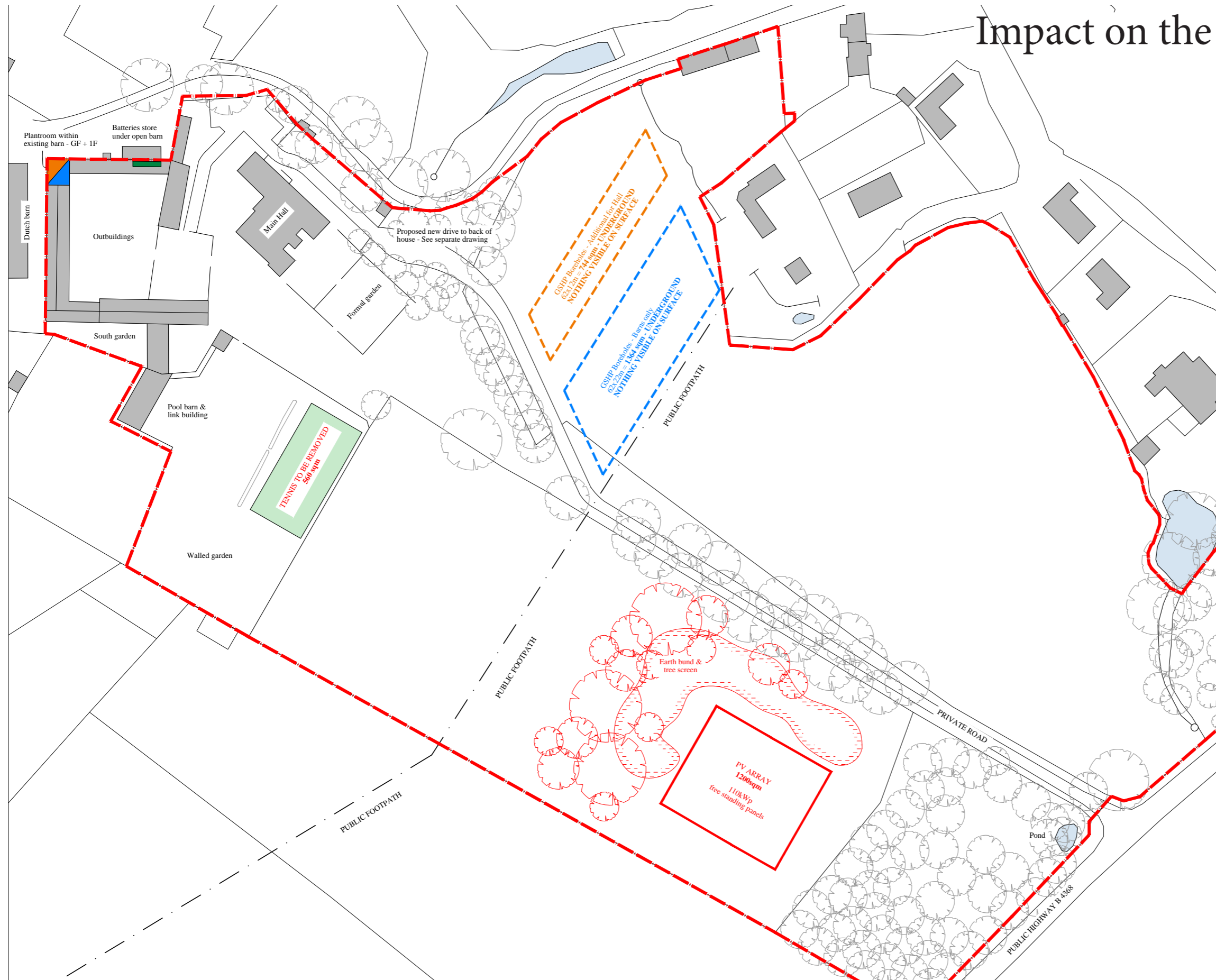
Long Site Section - Looking North-East
PROPOSED - 1:500 @ A3

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PLANNING ISSUE	
Rev	By Date Description
Drawing Number	Rev
9801 PLBC (0) 205	~
Project	
Aston Hall Barns	
Job No. 9801	
Title	
Site Sections Looking South-West: Existing and Proposed	
Drawn DL	Checked GQ
Date 09 2021	Scale 1:1000/500 @ A3
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Impact on the AONB and Proposed GSHPs and PV Array



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- Survey grid is OS GPS & levels are related to ordnance survey GPS datum.
- Units are meters.
- Survey accuracy with a scale of 1:500.
- To be read in conjunction with all PLBC drawings and information.

Part of this plan is not surveyed but deducted from OS map.

KEY

- Property boundary
- Plantroom for barns only
Circa 9x4m - Clear H 2.7m
- GSHP Barns only
Closed loop collectors in bore holes
62x22m = 1364sqm
- PV array
1200 sqm (37.5x32m)
110kWp free standing panels
- Additional plantroom for Hall
Circa 8x4m - Clear H 2.7m
- GSHP Additional for Hall
Closed loop collectors in bore holes
62x12m = 744sqm
- Batteries store
Circa 8x4m - Clear H 2.7m

PLANNING ISSUE

Rev	By	Date	Description

Drawing Number: 9801 PLBC (0) 100

Project: Aston Hall Barns
Job No. 9801

Title: GSHP & PV:
Ground installations for Barns & Hall

Drawn: GB	Checked: GQ
Date: 08 2021	Scale: 1:1000 @ A3

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