

Repoint chimney and repair as Works Item 2.15



Photo 5 - Existing Roof/Chimney Interface condition

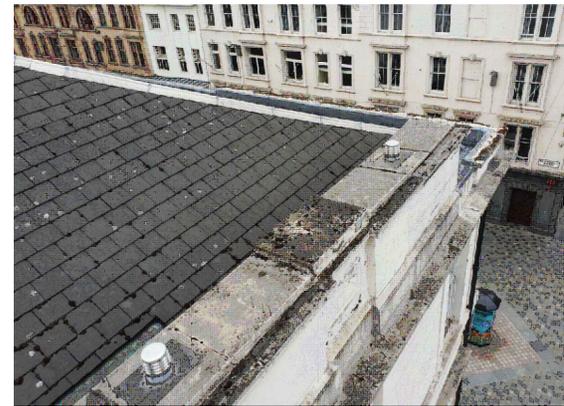


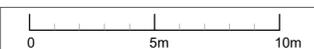
Photo 6 - Existing Roof - Hip, concealed gutter and parapet vent condition



Photo 7 - Existing Roof - Hip and concealed gutter condition

ROOF PLAN

SCALE BAR 1:200



NOTES

All repair works to be carried out in accordance with GCC - CITY DEVELOPMENT PLAN SG9: Historic Environment

Brickwork

2.22 Brickwork Repair - Where walls are constructed of brick, repairs should be carried out in matching brickwork taking care to match imperial sizing of brick units where required, rather than modern, smaller metric bricks. **Pointing repairs should match the original in every respect including materials, width and profile.**

Roofs

2.27 Repair of Existing Roof Fabric - In Glasgow, the traditional roofing material is Scottish slates, although slates from other sources such as from Wales and Cumbria have also been used. Other traditional materials include pantiles, Rosemary tiles, lead (including lead on flat roofs), copper in domes and on the roof of decorative turrets and zinc ridges/flashing.

2.28 Where traditional materials have been used on the roof, these should always be used when re-roofing/repairs are undertaken.

2.29 Planning Permission and/or Listed Building Consent will be required where an alteration from the existing material is proposed or the roof is to be re-slatted in its entirety. Where roofs are slatted, owners will be encouraged to reuse the existing natural slates.

2.30 Matching new or second hand natural slates should be used on Listed Buildings taking care to match the diminishing course patterns or replicate any decorative details such as fish scale slates around turrets etc. On unlisted buildings in Conservation Areas, matching new natural slates or second hand slates should be used.

2.31 Where roofs of Listed Buildings and unlisted buildings in Conservation Areas were originally slatted but subsequently recovered in another material, any future re-roofing of these buildings should revert back to the use of slates.

2.32 Roofs on Listed Buildings where the original material was not slate, e.g. Rosemary tiles, flat roofs with felt, lead, roofs with leaded/copper domes and turrets, should be repaired and/or replaced using the original material. Only in exceptional circumstances where an original material cannot be sourced, will consideration be given to an

alternative material. In the case of flat roofs on unlisted buildings in Conservation Areas, and in unobtrusive locations, alternative materials may be acceptable especially where a green roofing system is being proposed or where there is an unavoidable risk of metal theft.

2.33 Lead work should be checked and renewed as required.

2.34 Decorative roof features, such as iron finials, ornate ridge tiles, parapet balustrading, bargeboards, skews and crow-steps should be retained or replaced to match the originals. Replacement of original parapet balustrading with solid infill should be avoided.

2.35 Slate vents should not be used to the front/side/gable elevations of either Listed Buildings or buildings in Conservation Areas. Where vents are required, they should be of a flush grille design integrated within the slate coursing or of a proprietary lead ventilator type also occupying a single slate size, eaves (trickle vents) or as concealed roof ridge vents. Planning or Listed Building Consent will always be required for the insertion of vents.

2.36 Chimneys and Chimney Copes - Where repair works will result in an alteration to the appearance of the chimney, planning permission and/or Listed Building Consent will be required. Where a chimney has been damaged and needs to be rebuilt an application for Planning Permission/Listed Building consent will not be required if the chimney is rebuilt in the same materials and to the same design including chimney pots.

2.37 Original chimney heads, chimney stacks and chimney pots should be retained and reinstated. Care is needed to reproduce the original profile of the cornice and coping, as well as retaining, restoring or reinstating other original decorative features (e.g. scrolls).

2.38 The removal of a chimneyhead or stack may be acceptable if it can be demonstrated that it is structurally unsound and is accompanied by proposals for its reinstatement to match the original.

2.39 Repairs should be carried out in materials to match those originally used.

LEGEND

-  Slate roofs to be brushed down to remove moss growth.
-  Failed bitumen felt roofs. Replace with new 3 layer felt system as Works Items 5.1 to 5.4

Revision	Date	By	Chk
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PLANNING

Do Not Scale Dimensions from Drawings. All dimensions to be verified on site, and any discrepancy to be notified to KBA.

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Client Mileway	
Drawn by KBA	Checked by SB
Date 190821	Scale 1:200 @A3
Job Proposed Refurbishment Works 250-252 Sauchiehall Street Glasgow G2 3EQ	
Drawing Indicative Roof Plan	
KBA Job No. KBA1573	Drawing No. BL(41)003
Rev. -	
CAD Ref:	