



Ringshall Grange

Suffolk IP14 2HZ

Planning and heritage Statement

Installation of new wastewater treatment plant, adjustment of rainwater goods,

Installation of new fencing and proposed electrical vehicle charging point

Rev A

## 1.0 Planning and Heritage Statement - About the Listed Building

# Ringshall Grange IP142HZ

## Planning and Heritage Statement

Applicant: Mrs Laura Ormerod (owner)

Installation of new waste water treatment plant, adjustment of rainwater goods, Installation of new fencing and proposed electrical vehicle charging point

Design team:

Architects: Haigh Architects

Civil and drainage installation:

Suffolk Landscaping and Masonry & Brand Plumbing

Electrical: Doyle Electrical

Landscape Architect and project manager: Laura Ormerod  
MALA CMLI

Background and Consultation:

Ringshall Grange has been in its current ownership by myself (Laura) and my husband Stephen since February 2016. We have had a very good relationship with the heritage team at Mid Suffolk District Council from day one, who have provided invaluable support on any planned improvement works. Including to date; installation of a fire safety sprinkler system, installation of CCTV and re pointing of the original Georgian red brick facade.

Initially we had William Wall as our case officer who visited site as soon as we purchased Ringshall Grange in 2016 and provided us with in depth consultation from the offset on how we might proceed with various planned improvements in the most heritage sensitive way.

When William Wall departed the team, Tegan Chenery

became our case officer and we have had several very productive discussions and site meetings with Tegan as we make plans for future, sensitive improvements to Ringshall Grange.

Tegan has been fully consulted as we have prepared this application and full email exchanges are available upon request.

In addition, adjacent neighbours/land owners have been consulted and have shown full support for the replacement of our septic tank.

### 1. Special Architectural or historic interest

A former rectory which is Grade II Listed as being of Architectural or Historical Interest, Ringshall Grange was built in three distinct parts. The earliest, which dates back to 1560 in the reign of Elizabeth I. The house is formed of 3 wings. Each part retains numerous original features and has its own very distinct character. The Georgian and Victorian wings have high ceilings, sash windows and open fireplaces and the Tudor wing has cosy rooms, wood panelling, exposed beams and delightful quirk and charm. The house was requisitioned as the East Anglian headquarters of the American Air Force during the Second World War, whose officers, along with many troops were stationed at the house.

### 2. Setting

Ringshall Grange sits down a long private drive, off a country lane, in 13.5 acres of private grounds. The Manor house stands within a large medieval moat, which encircles the house. There are two acres of woodland and a historic belvedere mound, from which there are stunning views across the valley. The gardens are laid predominantly to lawn

### 3. Fabric

Ringshall Grange is constructed of a heavy Tudor timber frame with exposed internal beams, wattle and dorb and lath and plaster under a peg tiled roof. In the early 18th century, a substantial grand red brick Georgian extension was added and then a later 19th Century a Victorian wing. The exterior of Ringshall Grange is predominantly Suffolk Red bricks and slate roof. The Tudor wing has sadly been rendered with a concrete based render and painted cream at some point in the early 20th century. Downpipes and gutters are predominantly original cast iron with one or two plastic cast iron look-alike pipes.

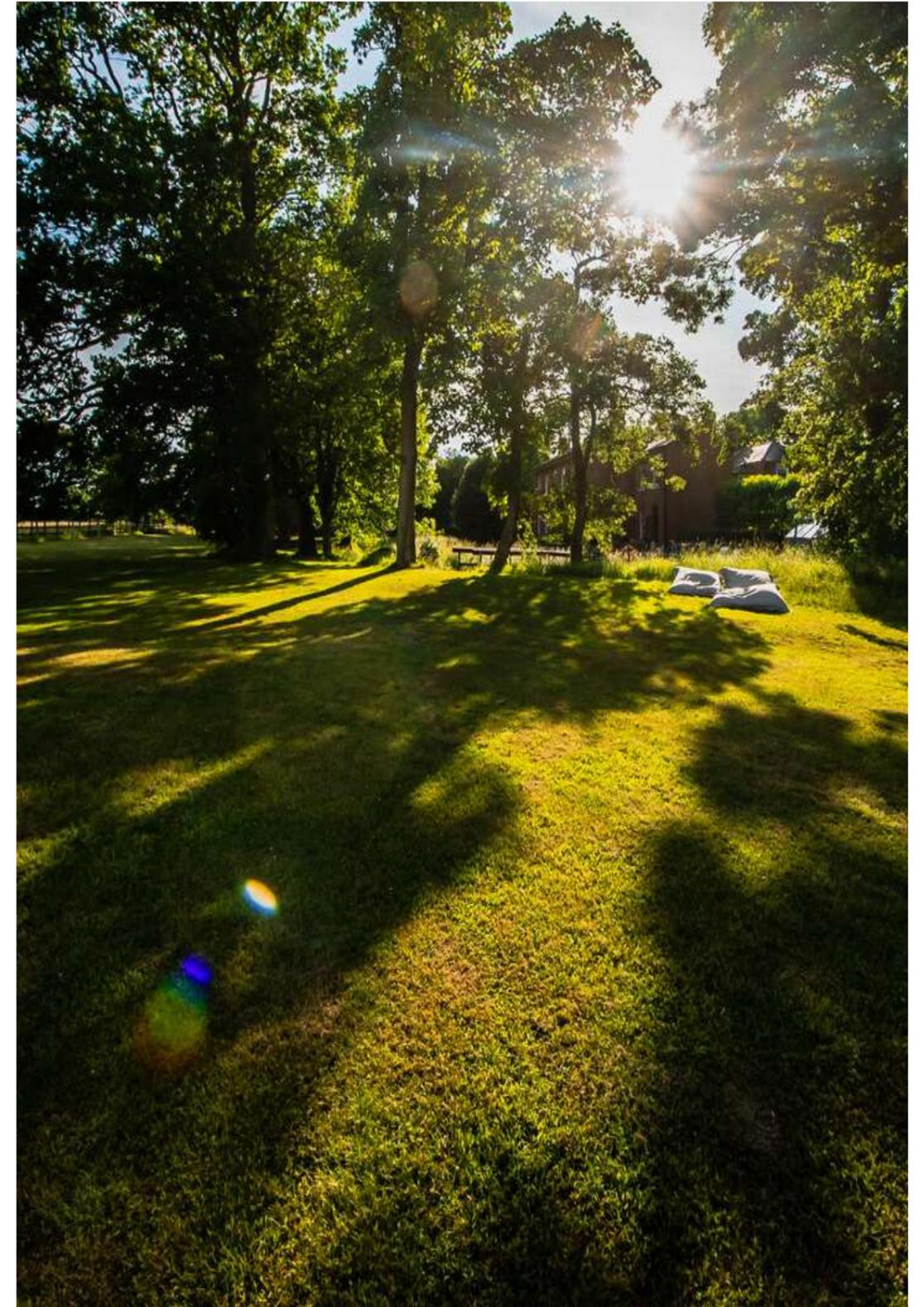
### 4. Features

The Moat that surrounds the house and the mature trees and open parkland to the South of the house Ringshall Grange form a very unique setting. In addition the somewhat unusual combination of Tudor, Victorian and Georgian architecture create a very unique and imposing house and setting. The following pages of photos aim to illustrate the setting visually.

Ringshall Grange,  
Existing Site Photos



Existing views of Ringshall Grange from the South East lawn outside of the moat



Ringshall Grange,  
Existing Site Photos



Existing aerial view of Ringshall Grange from the South West



Existing views of Ringshall Grange from the South West lawn outside of the moat

Ringshall Grange,  
Existing Site Photos



Existing views of Ringshall Grange from the East

Ringshall Grange,  
Existing Site Photos



Existing views of Ringshall Grange from the North outside of the moat

Ringshall Grange,  
Existing Site Photos



Existing views of Ringshall Grange from North West Outside of the moat

Ringshall Grange,  
Existing Site Photos



Existing views of Ringshall Grange from West inside the moat

Ringshall Grange,  
Existing Site Photos



Existing views of Ringshall Grange from West inside the moat



Existing aerial view of Ringshall Grange

## 1.1 Planning and Heritage Statement - About The Proposals / Justification and mitigation

## 5. Principles

The following pages aim to explain three relatively minor, planned improvement at Ringshall Grange. All of which we hope will be supported as they are for environmental and health and safety reasons. These include the replacement of the existing septic tank with a new, environmentally friendly water treatment plant. The installation of some fencing to the inside of the moat to improve safety for children and the installation of an electrical vehicle charging point. We have developed these proposals to be as sensitive as possible to the historic and architectural importance of Ringshall Grange. The following sections explain in more detail our approach to materials and design in order that we will hopefully enhance and improve Ringshall Grange whilst minimising any potential impact.

## 6. Justification

We believe the three proposals are necessary for health and safety reasons and to upgrade and update the building to be suitable for use in the 21st century and to ensure its continued suitability as a residence.

## 7. Mitigation

Every effort has been made to mitigate any potential impact on the building, its setting and wildlife. We have consulted with heritage specialist architects Haigh architects throughout the development of these proposals. The approach is explained in more detail in the following pages.

## 1.2 Installation of new wastewater treatment plant and adjustment of rainwater goods

## Ringshall Grange IP142HZ

### Installation of new wastewater treatment plant, adjustment of rainwater goods

Please read in conjunction with accompanying architects elevations and plans and manufacturers literature for the wastewater treatment plant.

Drawing numbers:

221055-2-002-ExistingElevations

221055-2-002-ProposedElevations\_RevA

221055-2-003-ExistingRoofPlan

221055-2-004-ProposedRoofPlan

WPL Diamond Brochure - New

Ringshall Grange operates throughout the year as a furnished holiday let accommodating up to 23 guests. We wish to upgrade the existing septic tank system to a new state of the art water treatment plant. This will be much more ecologically friendly than the existing septic tank system which requires regular pumping. We have engaged reputable local firm Binders LTD who have consulted and advised us on the most suitable and environmentally friendly system possible.

We proposed to locate the new plant in the same locality as the existing tank. We are advised that it is a similar size and that by doing so we will minimise ground works and have very minimal adjustments to pipework, allowing us to utilize the existing network of underground drains and pipes that collect the wastewater from Ringshall Grange and take it through a pipe under the northern moat bridge and into the wooded area to the North. The new tank may require the removal of one or two semi mature self seeded sycamore. Hence we have planned the works to be carried

out outside of bird nesting season.

The following location plan shows the proposed location of the treatment plant. We hope this is acceptable as it is not visible from the house and yet is easily accessed for servicing. Adjacent landowners have been consulted and are fully supportive of the plans.

The existing septic system currently accepts the rainwater from the roof of Ringshall Grange as well as all waste and grey water. The downpipes are currently collecting both rainwater and the waste water and combining them. This means our tank has to be pumped extremely regularly. The new system however is unable to accept rainwater so we propose to sensitively adjust the existing downpipes from the property and add a few additional downpipes to collect the rainwater, we then proposed to drain the rainwater from the roof of Ringshall Grange directly into the adjacent moat, thus separating it from the wastewater. This will require a few new below ground pipes to connect the rainwater into the moat. We are well aware of the potential for archaeology and would therefore propose to carry out an archaeological watching brief or similar and ensure excavations are carried out slowly and by hand where possible or where a mini digger may be required to use a toothless bucket and excavate very slowly in thin layers, ceasing works immediately and consulting heritage should anything be found that could be of archaeological interest. Laura (applicant and owner)

is a chartered landscape architect who has experience working on archaeologically sensitive sites and will be on site supervising at all times during works.

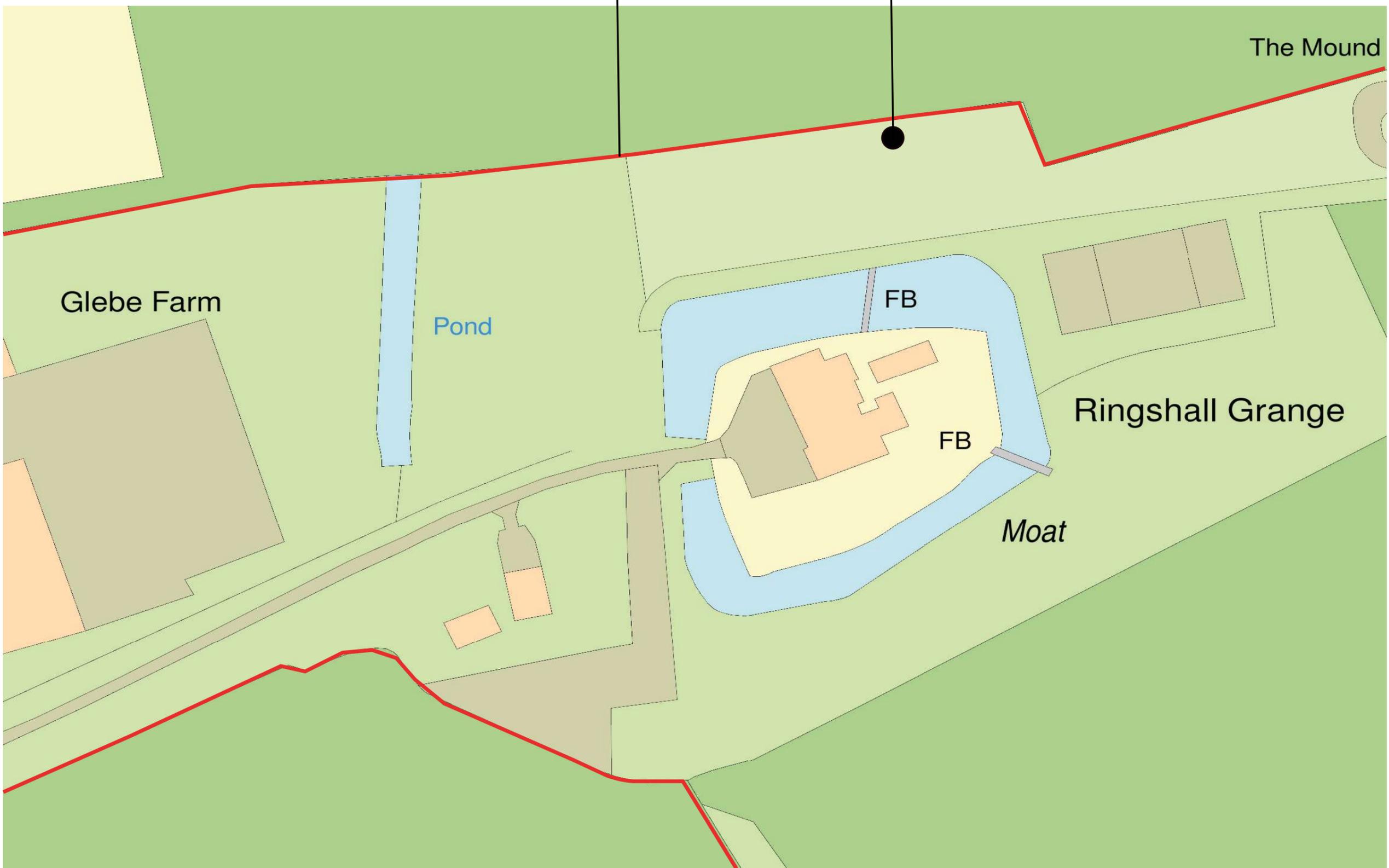
We propose to use the existing underground pipe network to drain the wastewater into the tank, thus minimising the need for any extra excavations.

Below ground we propose to use new plastic pipes, which wont be visible and above ground we plan to source reclaimed cast iron downpipes to match existing in style and diameter and re paint all in black to match old and new.

As previously mentioned, Tegan Chenery from heritage has been fully consulted and has shown support for the proposals subject to the further information included with this application.

Proposed location of new waste water treatment plant adjacent to Northern property boundary. As per existing location of septic tank.

Site boundary shown in red



Proposed location of new wastewater treatment plant. Not to scale. To be read in conjunction with scale plans accompanying this application

## 1.3 Proposed Fencing

## Proposed fencing

As previously mentioned Ringshall Grange operates as a furnished holiday letting. We specialise in family groups and in addition we as owners have a 3.5 year old son and a 7 month old baby. We proposed to sensitively fence the inside of the moat with heritage style estate fencing at a standard 1.0-1.2m high with matching gates. This is to increase safety on site for children and toddlers. The moat is currently mostly unfenced other than a small area of informal post and rail fencing. We proposed to remove this and replace with the new metal fencing to provide visual consistency throughout.

There are 3 main exit doors from the house and we are concerned that a child could easily wonder out of one unsupervised and have a potential water accident. Hence the proposals include a fencing layout that segments the lawned and vehicle areas into 3. We believe this will reduce the risk of a child wondering out of sight around the corner and falling into the water.

We have consulted with Tegan Chenery on this proposal and she has shown support for the style of fencing proposed and the concept of fencing the inside of the moat. She however did comment that fencing of the outside of the moat wouldn't be acceptable so we haven't proposed that. The advantage of this type of fencing is that it is relatively lightweight so any visual impact would be minimised. It is of a style in keeping with the heritage vernacular and has a huge advantage of not requiring any foundations but just pushing into the ground making it sensitive to the heritage setting. The fencing could be easily and quickly removed at a later date should that be

required.

Childproof latches will be designed into the gates to increase safety



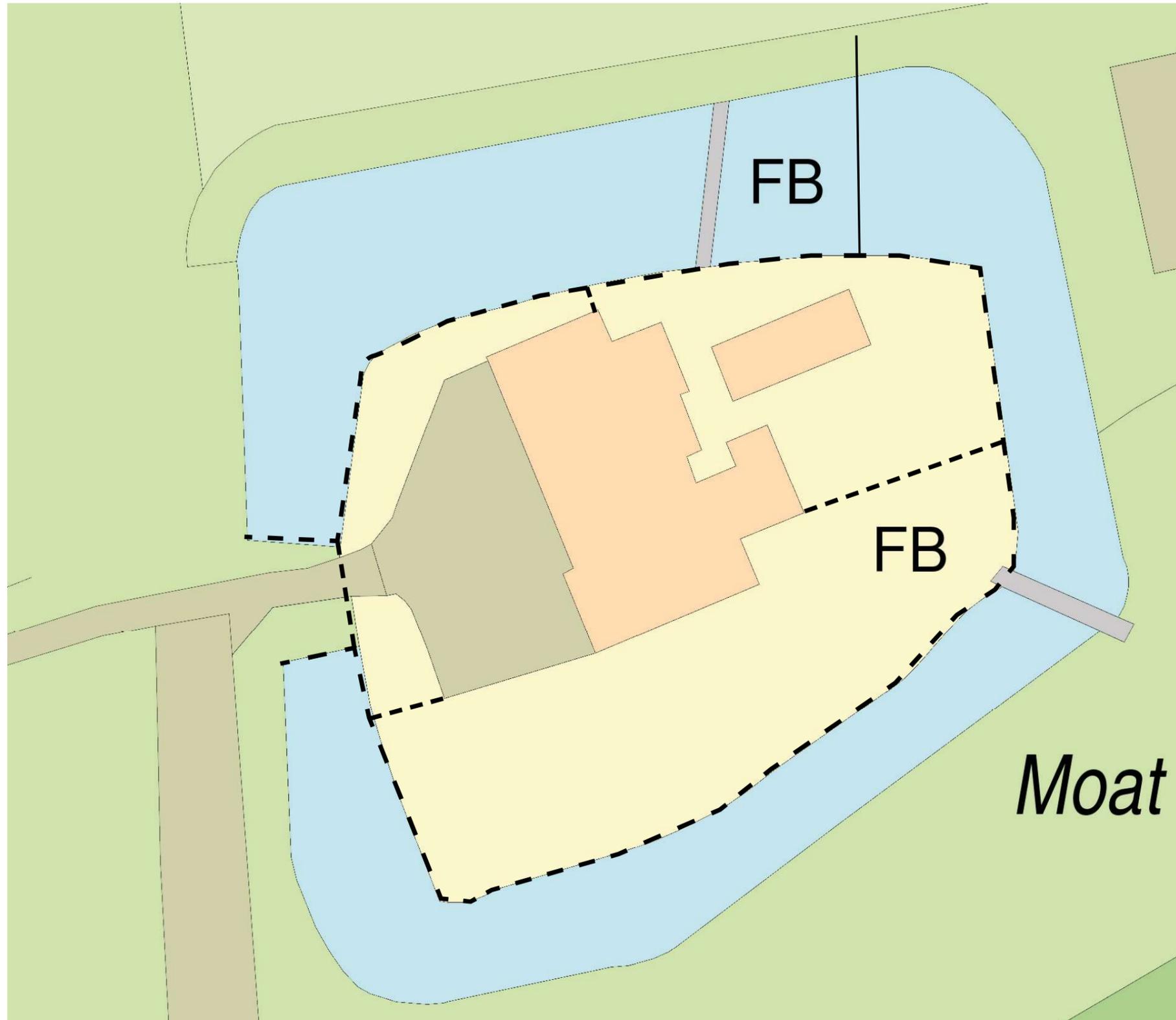
Proposed style for gates to moat pedestrian bridges and between fencing areas



Proposed style for gates to moat vehicle bridge

# Proposed Fencing

Extend of proposed fencing and gates shown in dashed black line



Proposed Fencing. Not to scale. To be read in conjunction with scale plans accompanying this application

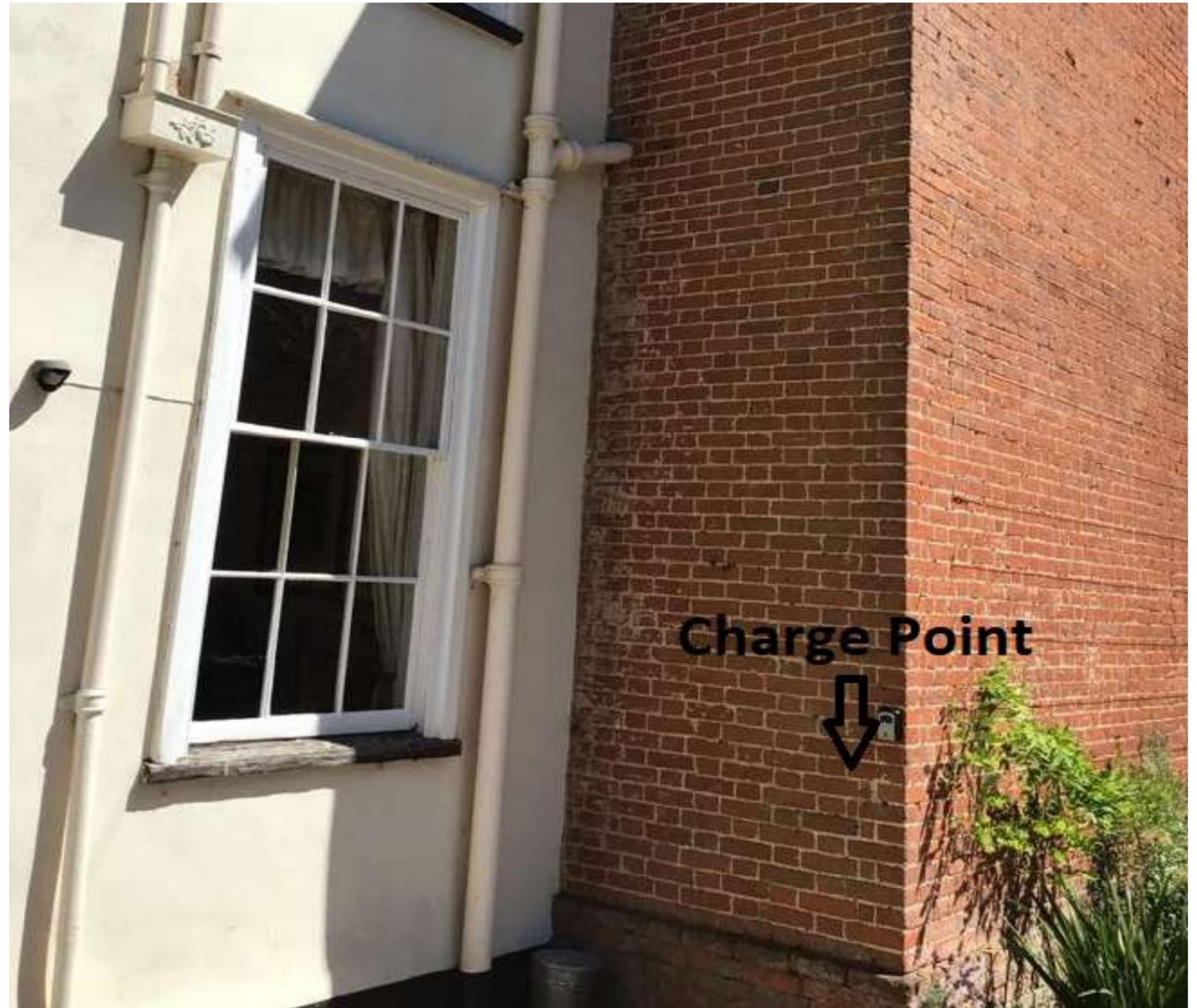
## 1.4 Proposed vehicle charging point

## Proposed vehicle charging point

Please read in conjunction with accompanying literature for the electric vehicle charging point.

Document:  
EO+Mini+Pro+2+Data+Sheet

We would like to propose to install a new electric vehicle charging point at Ringshall Grange to be mounted on the Western elevation adjacent to the car parking area. This is simply to increase our Eco credentials and allow us and our guests to charge electric vehicles. We have worked with our electricians to identify and propose the smallest possible socket on the market. Thus minimising any visual impact on the historical facade. We hope this will be supported given its positive environmental impact.



Proposed location for electric vehicle charging point



- + Integral 6mA DC leakage detection, no Type B RCD required.
- + Adjustable maximum charging current for lower rated supplies.
- + Integrated Load Management (Optional extra).
- + Solar matching functionality (Optional extra).
- + 3-year product warranty with options to extend.
- + Controlled by EO Smart Home app on iPhone or Android (see back page for more details).

### **Features**

- + The world's smallest smart charger: 175mm x 125mm x 125mm.
- + Universal socket or Tethered (black only).
- + Power Ratings: Single Phase up to 7.2kW.
- + Available in four colours: Black, White, Silver & EO Blue.