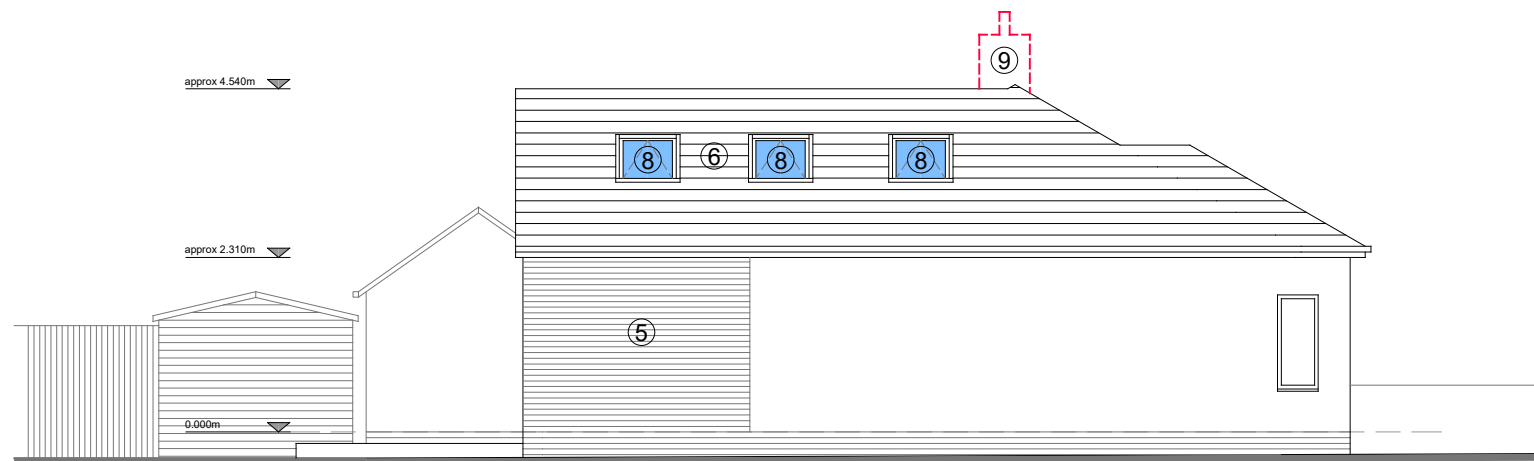


NOTES

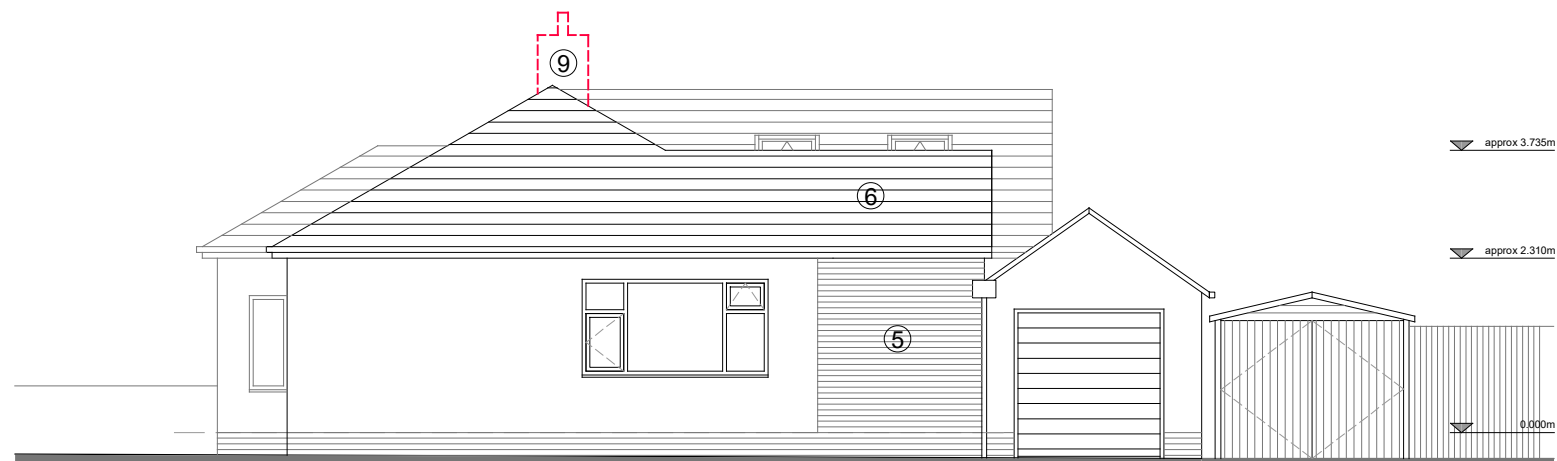
ALL DIMENSIONS AND LEVELS ARE TO BE CHECKED ON SITE
 ANY DISCREPANCIES ARE TO BE REPORTED TO THE ARCHITECT BEFORE ANY WORK COMMENCES
 THIS DRAWING SHALL NOT BE SCALED TO ASCERTAIN ANY DIMENSIONS WORK TO FIGURED DIMS ONLY
 THIS DRAWING SHALL NOT BE REPRODUCED WITHOUT EXPRESS WRITTEN PERMISSION FROM HUISDESIGN LTD.
 READ IN CONJUNCTION WITH ALL RELEVANT DRAWINGS, SPECIFICATIONS, CONSULTANTS, SPECIALISTS, SUBCONTRACTORS DRAWINGS/ SPECIFICATIONS.
 THESE DRAWINGS ARE FOR PLANNING AND BUILDING CONTROL PURPOSES ONLY.
 PARTY WALL ACT 1996.
 The Owner, should they need to do so under the requirements of the Party Wall Act 1996 has a duty to serve a party wall notice on any adjoining owner if the building works involves works on or to an existing Party Wall including:
 - Support beams
 - Insertion of DPC through wall
 - Raising of wall or cutting of projections
 - Demolition and rebuilding
 - Underpinning
 - Insertion of lead flashing
 - Excavation within 3M of an existing structure where the new foundations will go deeper than the adjoining foundations or within 6M of an existing structure where the new foundations are within a 45 degree line of adjoining foundations.
 A PARTY WALL AGREEMENT IS TO BE IN PLACE BEFORE ANY WORKS START ON SITE , IF REQUIRED.
 ASBESTOS PROPERTIES BUILT PRIOR TO 2000 SHOULD HAVE AN ASBESTOS SURVEY DONE PRIOR TO ANY WORK START ON SITE, IF REQUIRED.



Proposed North East Elevation
 scale 1:100



Proposed North West Elevation
 scale 1:100



Proposed South East Elevation
 scale 1:100

KEY

- ① New double glazed bi-folding doors
- ② New double glazed bi-folding windows
- ③ Feature glazed gable end
- ④ New double glazed single door
- ⑤ New facing brick to match existing
- ⑥ New pitched roof
- ⑦ New UPVC fascias and soffits
- ⑧ New velux rooflight
- ⑨ Chimney to be removed
- ⑩ New double glazed window

P1 16.08.2021 Planning Issue
 rev date/ints description

project
52 MILL LANE
 location
HESWALL - WIRRAL - CH60 2TQ

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drawing title
PROPOSED ELEVATIONS

dwg purpose
PLANNING ISSUE

scale 1:100 drawn AJS checked AJS
 @ sheet size A3 rev date 08.21

2021043 005 P1
 job number drawing number revision