



## Planning Statement

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Erection of first floor side extension and alterations to existing dormers  
Heather Cottage, Penmans Hill, Chipperfield, WD4 9DJ

October 2021

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## 1.0 INTRODUCTION

### 1.1.0 Background

This report relates to an application for a householder planning application for the erection of a first floor side extension and alterations to existing dormers at Heather Cottage, Penmans Hill, Chipperfield.

### 1.20 Scope

1.2.1 This document comprises an overarching Planning Report. Sections 2 to 4 consider the physical, economic, social and historical context of the site, identifying the relevant local, regional and national planning policy framework; and Section 5 sets out the details of the proposal. All these sections inform the evaluation of the proposal in Section 6 against the identified planning policy framework. The overall conclusions are set out in Section 7 and which are summarised below at paragraph 1.3.0.

### 1.3.0 Summary

1.3.1 The proposal is for a modest extension that would not be disproportionate and are therefore not inappropriate development in the context of paragraph 145 of the NPPF.

1.3.2 The proposed first floor extension would be similar in design and scale to the approved extension under 13/1970/FULL, with a hipped crown roof, inset from the ridgeline.

1.3.3 The proposed alterations to the existing dormers from a flat roof to a pitched roof would be in keeping with the character and design of the original dwelling.

1.3.4 The proposed extension would not be readily visible and would not impact the character and appearance of the streetscene.

1.3.5 The proposals would not result in a detrimental impact to future or neighbouring occupiers in terms of light, privacy or amenity.

## 2.0 SITE & CONTEXT ANALYSIS

### 2.1.0 Location

2.1.1 The application site, shown in Figure 1 below, is located in a semi-rural setting to the north of Penmans Hill, within the hamlet of Belsize.

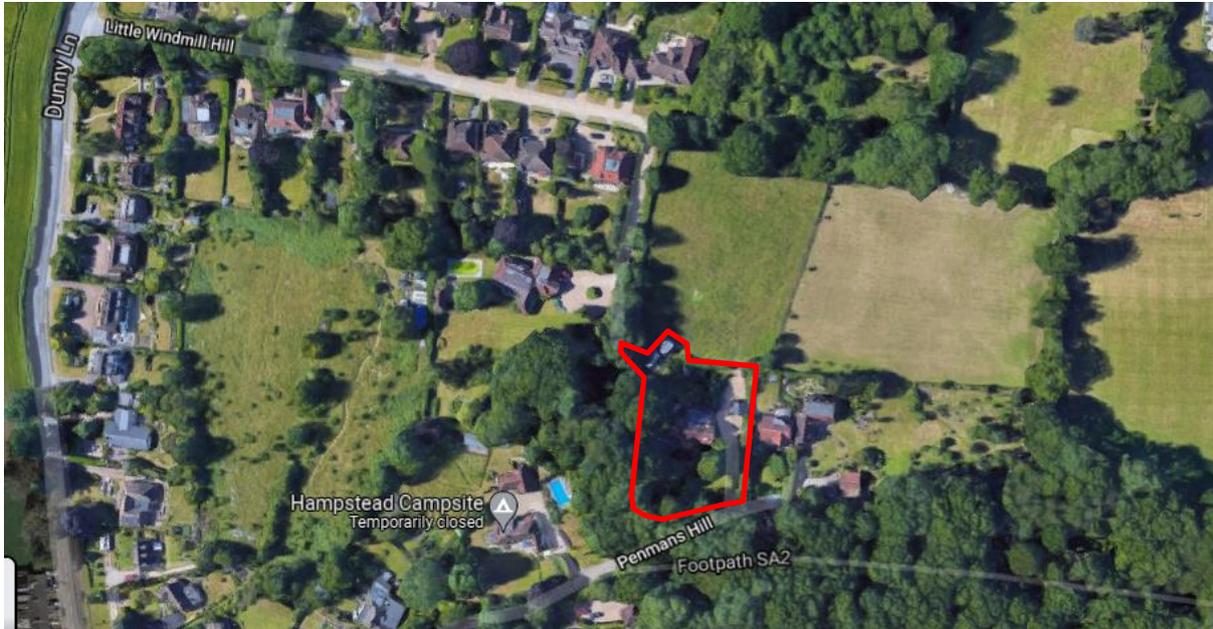


Figure 1 - Site location

### 2.2.0 Application Site

2.2.1 The application site currently consists of a detached chalet style dwelling with first floor accommodation, as well as stable blocks and other outbuildings within the curtilage of the site.

### 2.3.0 Planning Constraints

2.3.1 The Three Rivers proposals map, shown in Figure 2 below, shows that the application site is located within the Green Belt as well as within the designated settlement boundary of Belsize. The site is not within a Conservation Area, not within Flood Zones 2 or 3, nor are there any Listed Buildings on or adjacent to the site.

### 2.4.0 Access

2.4.1 There is existing vehicle access to the site from Penmans Hill. This access serves an existing driveway which runs northwards to an existing carport and the current parking area to the front of the dwelling.

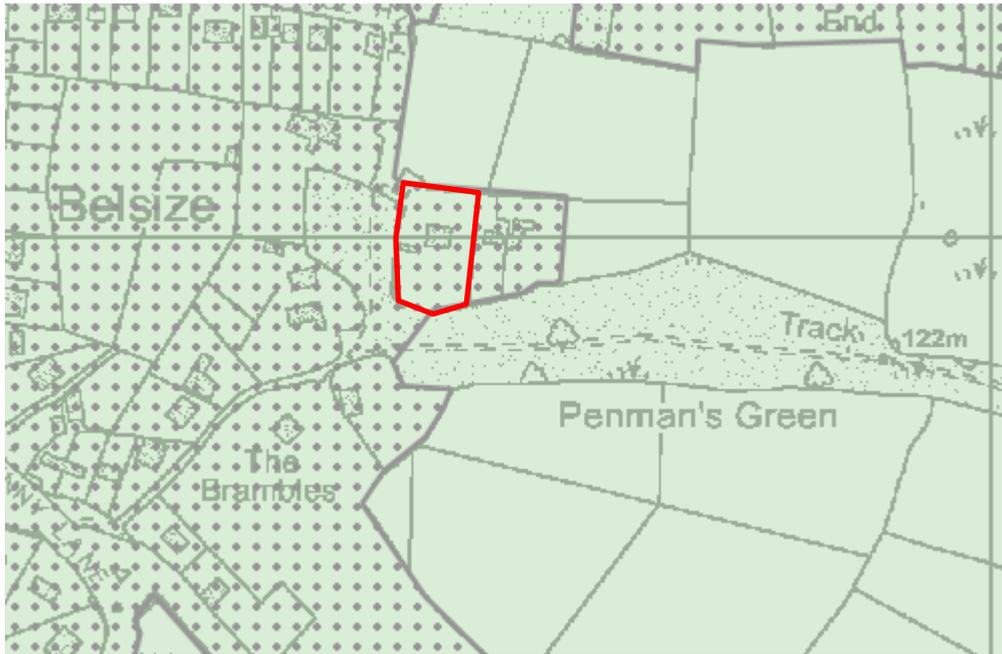


Figure 2 - Site within Three Rivers interactive proposals map

### 3.0 RELEVANT PLANNING HISTORY

#### 3.1.0 Application Site

3.1.1 The relevant history of the application site is summarised in Figure 3.1.0 below.

LPA Ref	Proposal	Outcome
13/1970/FUL	Erection of roof extension to rear to create additional first floor accommodation served by rooflights	Approved
10/1880/FUL	Erection of roof extension to rear to create additional first-floor accommodation served by rooflights	Approved
06/0129/FUL	Single storey rear extension with rear dormer windows, erection of double carport	Approved

#### 3.2.0 Implemented consents

3.2.1 Although the site has an approved consent for three applications, only application reference 06/0129/FUL has ever been implemented. Application references 10/1880/FUL and 13/1970/FUL were both approved however neither were ever implemented and the 3-year expiration to begin works as set out in Condition no.1 of both consents has passed.

## 4.0 POLICY CONTEXT

### 4.1.0 National Policy / Guidance

4.1.1 The NPPF (2021) sets out the Government’s planning policies for England. Chapters 2 (Achieving sustainable development), 11 (Making effective use of land), 12 (Achieving well-designed places), and 13 (Protecting Green Belt Land) are relevant to this application.

### 4.2.0 Three Rivers Core Strategy (2011)

Policy No.	Title
CP1	Overarching Policy on Sustainable Development
CP11	Green Belt
CP12	Design of Development

### 4.3.0 Three Rivers Development Management Policies (2013)

Policy No.	Title
DM1	Residential Design and Layout
DM2	Green Belt
Appendix 2	Design Criteria

## 5.0 DESCRIPTION OF DEVELOPMENT

### 5.1.0 Use

5.1.1 The proposals would seek to retain the existing residential use on the site. The proposed extension to the existing dwelling would allow for a better standard of accommodation at first floor.

### 5.2.0 Layout

5.2.1 The proposed works would have no impact on the overall site layout. The proposed development is for an extension to the first floor of the side elevation. There would be no changes to the ground floor, whilst the proposed first floor would be extended, with other internal alterations, which would result in the revised first floor having four bedrooms, 2 of which would be ensuite, and a bathroom. The proposed first floor plan is shown in Figure 3 below.

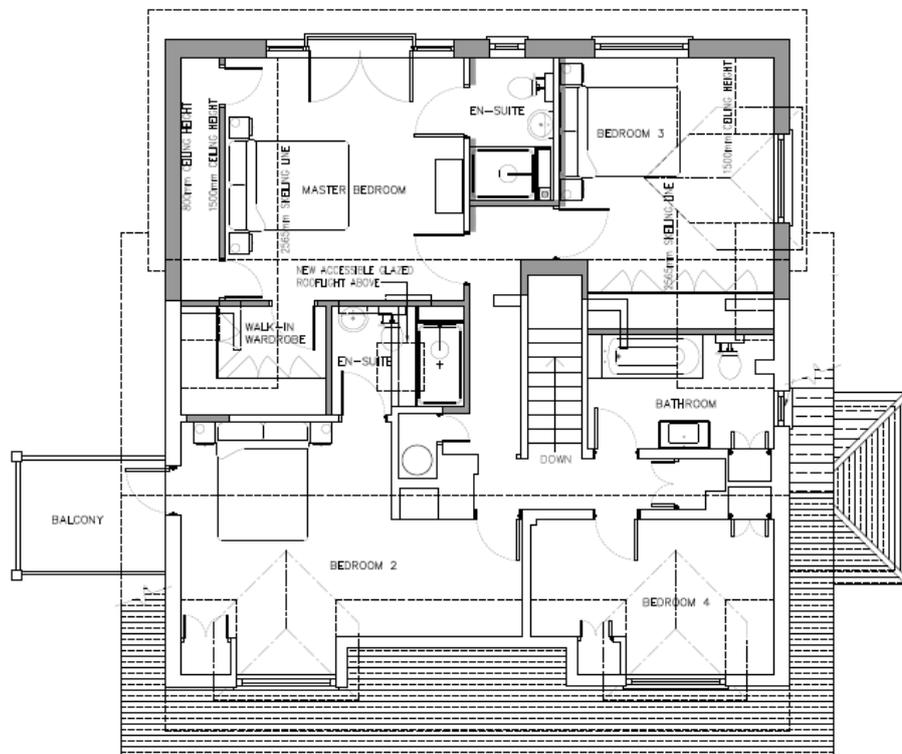


Figure 3 - Proposed first floor plan

### 5.3.0 Appearance & Scale

5.3.1 The proposals would include crown roof extension at first floor over the existing extension approved under 06/0129/FUL. The proposed extension would be inset from the ridge, and would also have a dormer window on the east elevation. The proposals would also include changes to the existing dormer windows on the north elevation of the property in the form of having a hipped roof to replace the existing flat roof. The extension would be constructed with traditional materials to match the existing dwelling. These materials would include clay

roof tiles, clay hung tiles, and UPVC windows. The proposed front and side elevations are shown in Figures 4 and 5 below.



Figure 4 - Proposed front elevation



Figure 5 - Proposed side elevation

#### 5.4.0 Landscaping

5.4.1 The proposals would have a minimal effect on the existing landscaping within the site.

#### 5.5.0 Access & Parking

5.5.1 There would be no changes to the access to the site or the existing parking situation.

## 6.0 PLANNING CONSIDERATIONS

Based on the analysis set out in Sections 2 to 5, I consider that the application proposal raises the following issues, which I will consider in turn below:

1. Principle
2. Layout & Design

### 6.1.0 Issue No 1: Principle

6.1.1 Paragraph 137 of the NPPF states that the fundamental aim of the Government's Green Belt policy is to prevent urban sprawl by keeping land permanently open and it identifies the essential characteristics of Green Belts as being their openness and their permanence. To this end paragraph 147 states that inappropriate development is, by definition, harmful to the Green Belt and should not be approved except in very special circumstances.

6.1.2 Notwithstanding this, paragraph 149 confirms that whilst the construction of new buildings in the Green Belt should be regarded as inappropriate, there are number exceptions to this, and which includes the following:

*“the extension or alteration of a building provided that it does not result in disproportionate additions over and above the size of the original dwelling”*

6.1.3 This concurs with Policy DM2 of the Development Management Policies which states *“the construction of new buildings in the Green Belt is inappropriate with certain exceptions, some of which are....b) Extensions to Buildings Extensions to buildings in the Green Belt that are disproportionate in size (individually or cumulatively) to the original building will not be permitted. The building's proximity and relationship to other buildings and whether it is already, or would become, prominent in the setting and whether it preserves the openness of the Green Belt will be taken into account.”* The Councils superseded document 'Supplementary Planning Guidance No.3, Extensions to Dwellings in the Green Belt' provides specific interpretation of 'disproportionate additions', stating that extensions should not cumulatively increase the floor space of the original dwelling by more than 40%. Although this document has since been superseded and is therefore not given material weight, it still provides an indication on what should be considered a disproportionate addition in the Green Belt and is a view that has been upheld on a number of appeals.

6.1.4 The previous approved application under 13/1970/FUL gave calculations in relation to the dwelling and the proposed extensions, however it is considered that the figures used by the Officer, which were ascertained from previous applications, were incorrect. To my calculations, the original dwelling had a floor area of 84.8m<sup>2</sup> at ground floor and 58.3m<sup>2</sup> at

first floor. The calculations in on the previous application consider the first floor as an extension, however the is no planning history, reports or further documented evidence to suggest this. This therefore means the original dwelling had a floor area of 143.1m<sup>2</sup>. As part of the approved and implemented consent under 06/0129/FUL, the ground floor had floorspace of 15.96m<sup>2</sup> in the form of the family room and store attached to the main dwelling, that was demolished and no taken in the Officers figures. This means the proposed 39.22m<sup>2</sup> extension would be offset by the 15.96m<sup>2</sup> figure, thus meaning the extension under 06/0129/FUL only resulted in a net increase of 23.26m<sup>2</sup> in floor area. For this proposed application, the resulting first floor would be increased in floor area by 40m<sup>2</sup>. This 40m<sup>2</sup>, combined with the net increase of 23.26m<sup>2</sup> of floor area from the 06/0129/FUL would result in a total increase of 63.26m<sup>2</sup> in floor area from the original dwelling. This equates to an increase of 44% in floor area.

- 6.1.5 Although the proposed extension would be marginally over the 40% floor space increase of the original dwelling, the previous approval under 13/1970/FUL, with incorrect calculations, deemed a 137% increase was acceptable. The Officer reached this conclusion due to a number of reasons. One reason was because the proposed extension at first floor would infill over the existing dwelling at ground floor beneath, something which too is the case for the application proposals. Another reason was that *'the proposed roof form would be 0.8m lower than the existing roof form'*. The result of this is that *'the proposed crown roof would not be visible from the front of the property and will be seen against the larger bulk of the chalet roof as seen from the side or rear of the dwelling'*. This too is the case for the application proposals. The final reason given by the Officer is *'The most noticeable view of the proposed roof would be from the area directly adjacent to the dwelling which would be from neighbouring properties to the east, Woodruff and Lamington House, and heavily screened by woodland to the west.* Again, as shown in Figure 1, the application site is remotely located, with heavy landscaped, dense woodland surrounding it, along with large separation distances on all sides of the boundaries. These reasons led to the Officer reaching the following conclusion *"while an overall increase in footprint considerably in excess of the 40% guideline is proposed, it is not considered that the proposed first floor extension would significantly exacerbate the prominence of the existing dwelling. As such, the proposed development is not considered to result in any actual harm to the visual openness of the landscape."* As the application proposals would meet of the same rationale for allowing an increase over the 40% figure, it is therefore considered that this would apply for the application proposals also.
- 6.1.6 Further to the above, in order to preserve the openness of the Green Belt in the future, the applicant would be open a Condition that would result in the removal of Permitted Development rights for further extensions to the dwelling, as per the previously approved unimplemented applications.

#### 6.1.7 **Conclusion**

For the reasons set out above, it is considered that the proposed extension would not be inappropriate development in the Green Belt as set out in the NPPF, and therefore there is no objection against the principle of development.

#### 6.2.0 **Issue No 2: Layout & Design**

6.2.1 The proposed first floor extension would be similar in design and scale to the approved extension under 13/1970/FULL, with a hipped crown roof, inset from the ridgeline. The main difference between the approved scheme and the proposed is the dormer on the east elevation and the projection of the extension being flush with the existing build line of the ground floor extension.

6.2.2 Policy CP12 of the Core Strategy relates to the 'Design of Development' and states that the Council will expect all development proposals to have regard to the local context and conserve or enhance the character, amenities and quality of an area. This proposal meets this high standard of design as it:

- Conserves the local character of the area as the scale, appearance and design of the extension, and alterations to the dormers, are characteristic of the local area and street scene.
- Protects residential amenities of the existing dwelling as well as neighbouring properties as there is no negative impacts of blocking light, overlooking, or an offensive scale of the proposals.
- Makes efficient use of the land as there is no increase in the footprint of build development on the site, yet it increases the number of bedrooms and habitable floorspace, whilst also maintaining a complementary design that is not readily visible from public viewing.
- Designed to reduce opportunities for crime and anti-social behaviour as the new windows on extension would allow for passive surveillance of the paddock to the rear of the site.
- Incorporates a visually attractive frontage as the alterations to the existing dormers through the addition of a hipped roof, instead of a flat roof, compliments the host dwelling.
- The use of matching building materials to the host dwelling preserves the character of the area to a high standard.

6.2.3 Policy DM1 refers to Design Criteria set out in Appendix 2 of the plan. I will consider this issue with regard to the headings in this Appendix.

#### 6.2.4 Privacy

The only dwelling that borders the application site is Woodruff, located to the east. This dwelling is located circa 18m from the proposed extension, with a significant amount of mature landscaping in between. It is therefore considered that the proposed extension would not cause harm to the privacy of neighbouring occupiers.

#### 6.2.5 Amenity Space

The proposed extension would increase the resulting number of bedrooms in the dwelling by 1, which would require an increase in amenity space. However the site contains large areas of amenity space and would comfortably exceed the figure required.

#### 6.2.6 General Criteria for Extensions

The proposed extension would not be visible from the street scene, therefore could not be considered to be excessively prominent. Even if the extension were visible, the drop down from the existing ridge line shows the extension is subservient in appearance. The proposed extension would also be in keeping with the character of the original dwelling and others within the vicinity, as well as not resulting in a loss of light or overlooking to neighbouring occupiers.

#### 6.2.7 Visual impact

The proposed extension would be modest in design and not be readily visible from public viewing. The only visible impact of the proposals would be the alteration of the existing flat roof dormers to a pitched roof, however this would be an improved design as it would be more in keeping with the original dwelling. Therefore this would not have a detrimental impact on the character and appearance of the street scene.

#### 6.2.8 **Conclusion**

To conclude this issue, the proposal is for modest first floor extension and alterations to existing dormers which would not impact the character and appearance of the streetscene and would ensure acceptable living conditions for existing neighbours and future occupiers. The proposal would therefore accord with the provisions of the NPPF, Core Strategy Policy CP12 and Development Management Policy DM1.

## 7.0 CONCLUSIONS

### 7.1.0 Background

7.1.1 This report relates to a planning application for a first floor side extension and alterations to existing dormers at Heather Cottage, Penmans Hill, Chipperfield. The proposal is promoted in the following circumstances:

- The proposal is for a modest extension that would not be disproportionate and are therefore not inappropriate development in the context of paragraph 145 of the NPPF.
- The proposed first floor extension would be similar in design and scale to the approved extension under 13/1970/FULL, with a hipped crown roof, inset from the ridgeline.
- The proposed alterations to the existing dormers from a flat roof to a pitched roof would be in keeping with the character and design of the original dwelling.
- The proposed extension would not be readily visible and would not impact the character and appearance of the streetscene.
- The proposals would not result in a detrimental impact to future or neighbouring occupiers in terms of light, privacy or amenity.