EXISTING 'LEAN-TO' ROOF.

- THE 'LEAN-TO' ROOF TO THE SINGLE STOREY LATER 'OUTSHOT' EXTENSION USED FOR LAVATORY/UTILITY PURPOSES IS COVERED WITH GLOSS PANTILES WHICH ARE DETERIORATING AND LEAKING.
- A SEARCH FOR MATCHING TILES HAS FAILED TO SOURCE A MATCHING SIZE AND INTERLOCKING PATTERN TO PERMIT REPLACEMENT OF THE EXISTING ROOF COVERING.
- WE THEREFORE PROPOSE TO STRIP AND DISPOSE OF THE EXISTING PANTILES COVERING AND SYSTEM, AND REPLACE WITH FELT, BATTENS AND 'ONDULINE' UNDERLAYER TO CREATE A VENTED COLD ROOF COVERED WITH PLAIN HAND MADE CLAY TILES.
- THE EXISTING CEMENT FLAUNCHING AT THE ABUTMENT WITH THE WALLING IS TO BE REPLACED APRON LEAD FLASHINGS CHASED AND POINTED WITH LIME MORTAR IN BED JOINTING.

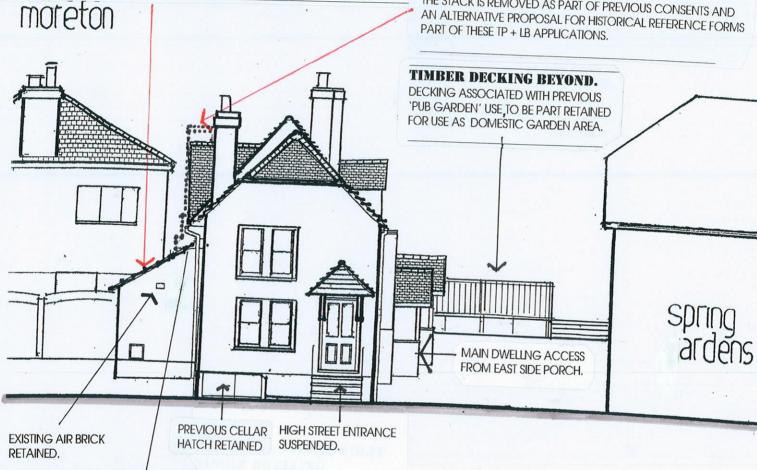
SCALE BAR: 1/100

61

ORIGINAL FAILED CHIMNEY STACK BEYOND

DOTTED LINE INDICATES ORIGINAL BRICK STACK LARGELY SCREENED FROM VIEW.

THE STACK IS REMOVED AS PART OF PREVIOUS CONSENTS AND



REPLACE PITCHED ROOF.

EXISTING FAILED PANTILE COVERED PITCHED ROOF TO SIDE EXTENSION TO BE REPLACED WITH HAND MADE PLAIN TILE COVERING WITH ONDULINE UNDERLAY.

SUMMARY OF WORKS ON SOUTH SIDE

- BUILDING FRONTAGE REDECORATED.
- STEPS AND ORIGINAL PUB ENTRANCE AND SIGNAGE RETAINED
- ENTRANCE DOOR SEALED WITH DIRECTION NOTICE TO EAST SIDE ENTRANCE.
- CELLAR HATCH RETAINED.

12 - PROPOSED SOUTH ELEVATION SCALE 1/100

PROPOSED: REINSTATEMENT AND ALTERATIONS

: GENERAL WOLFE. WESTERHAM. TN16 1RO.

FOR : MR PHILIP SAUNDERS



PHOTOGRAPHS TO BE READ IN CONJUNCTION WITH DRAWING 12



THE GENERAL WOLFE PUBLIC HOUSE SIGN IS RETAINED.

HIGH STREET ENTRANCE RETAINED WITH DISCREET ADVISORY NOTICE



TIMBER DECKING BEYOND.

DECKING ASSOCIATED WITH PREVIOUS 'PUB GARDEN' USE TO BE PART RETAINED FOR USE AS DOMESTIC GARDEN AREA.



HIGH STREET ENTRANCE RETAIN

HIGH STREET ENTRANCE RETAINED WITH DISCREET ADVISORY NOTICE

RIGHT OF WAY

EXISTING RIGHT OF WAY RETAINED TO ADJACENT DWELLING

SUMMARY OF WORKS ON SOUTH SIDE

- BUILDING REDECORATED SIMILAR COLOUR TO ORIGINAL
- STEPS AND ORIGINAL PUB ENTRANCE AND SIGNAGE RETAINED
- ENTRANCE DOOR LOCKED WITH DIRECTION NOTICE TO DWELLING ENTRANCE ON EAST SIDE
- CELLAR HATCH RETAINED.









SCALE BAR: 1/100 O 6M

AS NOTED ABOVE - LBC AND PP ARE PREVIOUSLY GRANTED FOR PROPOSAL TO URGENTLY REMOVE THE FAILED 20TH CENTURY CHIMNEY STACK ON THE WEST ELEVATION, AND PROTECTION OF THE RETAINED STRUCTURE WITH A RAKING 'BUTTRESS'. THE DEFECTIVE FALLING STACK HAS BEEN CAREFULLY DISMANTLED AND STOCK BRICKS SALVAGED AND CLEANED FOR RE-USE. THE BUILDING IS INVESTIGATED AND CONSIDERED STABLE ÂND AN IMPROVED PROPOSAL IS PREPARED AND INCLUDED AS PART OF THE CURRENT APPLICATIONS FOR REFURBISHMENT MAINTENANCE WORKS

WE PROPOSE A 1'0"" HIGH BRICK PLINTH AT GROUND FLOOR LEVEL TO ACCURATELY REFLECT THE FOOTPRINT OF THE PREVIOUS DEFECTIVE STACK. A BRICK PIER IS THEN PROPOSED TO BE ERECTED ON THE PLINTH, BEING TIED TO THE TIMBER FRAMED/SHEATHED INSULATED STRUCTURE. THE PROFILE OF THE PIER WOULD MATCH THE RECORDED 'PROFILE' OF THE PREVIOUS STACK WITH SLOPING BEDDED CLAY TILES 'SHOULDERS'. THE 'STACK' WOULD EXTEND TO UNDERSIDE OF EAVES WITH LEAD APRON FLASHING DRESSED DOWN OVER BEDDED TILED RAKING TOP.

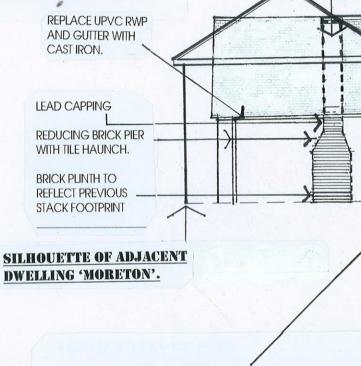
ORIGINAL FAILED CHIMNEY STACK BEYOND

DOTTED LINE INDICATES THE PREVIOUS REDUNDANT DERELICT STACK. (SCREENED BY 'MORETON'), REMOVED UNDER PREVIOUS LB AND TP CONSENTS.
THE HISTORICAL PRESENCE OF THE REMOVED STACK IS NOW PROPOSED TO BE REFLECTED WITH SALVAGED BRICK PLINTH SUPPORTING BRICK PIER WITH TILE HAUNCH AND REDUCED PIER 'TOPPED WITH CODE 5 LEAD CAPPING.

EXISTING GENERAL WOLFE SINGLE DWELLING

EXTRACT FANS IN KITCHEN AND SHOWER ROOM TO

PASS THROUGH ROOF VOID AND DISCHARGE THROUGH REPLACEMENT ROOF COVERINGTO CLAY VENT OUTLET.



REPLACE OBSCURE GLASS WITH CLEAR GLAZING

REPLACE WINDOWS.

TIMBER WINDOWS TO BE REPLACED WITH SALVAGED 'CRITTALL' METAL WINDOWS WITH PUTTY GLAZING TO SECURE REPLACEMENT CLEAR GLASS.

SEARCH TO CONTINUE FOR FURTHER CRITTALL REPLACEMENT FOR REMAINING TIMBER CASEMENT. (TO BE FITTED WHEN AVAILABLE).

ACCESS DOOR/OPENING

EXISTING DOORWAY SERVES EXISTING DROP INTERNAL FLOOR 'WELL'.
RAISE DOOR LINTOL TO EAVES LEVEL TO PROVIDE FULL HEIGHT ACCESS.
OVERHAUL AND REFIT EXISTING TIMBER BOARDED DOOR AND FRAME.

EXISTING 'LEAN-TO' ROOF.

- THE 'LEAN-TO' ROOF TO THE SINGLE STOREY LATER 'OUTSHOT' EXTENSION USED FOR LAVATORY/UTILITY PURPOSES IS COVERED WITH GLOSS PANTILES WHICH ARE DETERIORATING AND LEAKING.
- A SEARCH FOR MATCHING TILES HAS FAILED TO SOURCE A
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- WE THEREFORE PROPOSE TO STRIP AND DISPOSE OF THE EXISTING PANTILES COVERING AND SYSTEM, AND REPLACE WITH FELT, BATTENS AND 'ONDULINE' UNDERLAYER TO CREATE A VENTED COLD ROOF COVERED WITH PLAIN HAND MADE CLAY TILES.
- THE EXISTING CEMENT FLAUNCHING AT THE ABUTMENT WITH THE WALLING IS TO BE REPLACED APRON LEAD FLASHINGS CHASED AND POINTED WITH LIME MORTAR IN BED JOINTING.

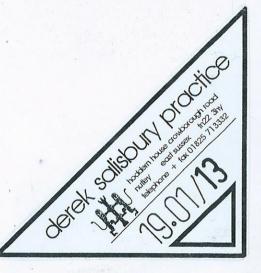
13 - PROPOSED WEST ELEVATION SCALE 1/100

: GENERAL WOLFE. WESTERHAM. TN16 1RQ.

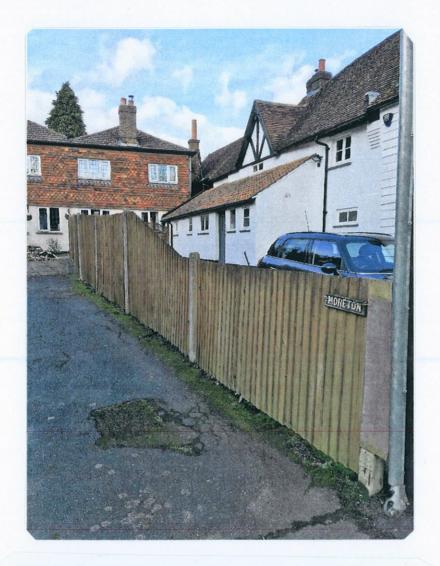
PROPOSED: REINSTATEMENT AND ALTERATIONS

FOR : MR PHILIP SAUNDERS

AT



HIGH STREET



VIEW TO WEST BOUNDARY FENCE FROM HIGH STREET

- THE EXISTING CLOSE BOARDED FENCE IS PROPOSED TO BE MODIFIED TO PROVIDE AN ENHANCED SETTING AND ENCLOSURE TO ADJACENT PROPERTIES.
- THE LOW LEVEL FRONT SECTION IS TO BE REPLACED WITH STEEL ESTATE STYLE FENCING BACKED WITH A BEECH HEDGE TO SOFTEN THE PUBLIC VIEW FROM THE HIGH STREET..
- THE RAKING SECTION AND HIGH LEVEL SECTION BEYOND IS TO BE RETAINED AND OVERHAULED.
- THE LAYOUT IS INDICATED ON DRAWING NUMBER 03

SUMMARY OF WORKS TO WEST ELEVATION

- PART REPLACEMENT / REFURBISHMENT CLOSE BOARDED TIMBER FENCE TO PROVIDE PRIVACY TO GARDEN BEYOND.
- PART EXISTING HARDSTANDING RETAINED FOR VISITORS' PARKING.
- PART EXISTING HARDSTANDING REMOVED TO PROVIDE SOFT LANDSCAPING.
- DEFECTIVE SINGLE STOREY PANTILE ROOF TO BE REPLACED.
- REPLACE TIMBER CASEMENTS WITH 'CRITTAL STYLE' STEEL WINDOWS.
- CLEAR GLAZE KITCHEN WINDOWS.
- RAISE EXISTING KITCHEN DOOR ABOVE ENTRANCE 'WELL'.
- DEFECTIVE STACK (SCREENED BY MORETON) TO BE REMOVED AND REPLACED WITH BRICK PLINTH AND PIER TO REFLECT ORIGINAL LOCATION/PROFILE OF DEFECTIVE STACK (NOW REMOVED).

PHOTOGRAPHS TO BE READ IN CONJUNCTION WITH DRAWING 13



WEST CAR PARK AREA

ONTO THE LAWN AREA...





EXISTING 'LEAN-TO' ROOF.

THE 'LEAN-TO' ROOF TO THE SINGLE STOREY LATER EXTENSION SIDE EXTENSION IS COVERED WITH GLOSS PANTILES WHICH ARE DETERIORATING AND LEAKING.

A MATCHING INTERLOCKING TILE CANNOT BE FOUND AND WE PROPOSE TO STRIP AND DISPOSE THE EXISTING PANTILES ROOFING, AND REPLACE WITH PLAIN HAND MADE CLAY TILES WITH 'ONDULINE' UNDERLAYER TO CREATE A COLD ROOF COVERING. THE EXISTING CEMENT FLAUNCHING AT THE ABUTMENT WILL BE REPLACED WITH APRON LEAD FLASHINGS CHASED AND POINTED WITH LIME MORTAR.



REPLACE WINDOWS

TIMBER WINDOWS TO BE REPLACED WITH SALVAGED 'CRITTALL' STYLE STEEL WINDOWS WITH CLEAR GLAZING FITTED WITH PUTTY GLAZING.
WINDOW SEARCH TO CONTINUE TO BE FITTED WHEN AVAILABLE.

PHOTOGRAPHS TO BE READ IN CONJUNCTION WITH DRAWING 13

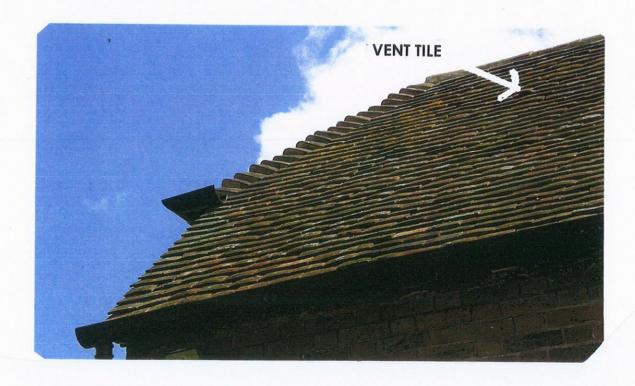


VENT TILE

PLAIN CLAY VENTILATION TILES BY SPICER OF BETHERSDEN

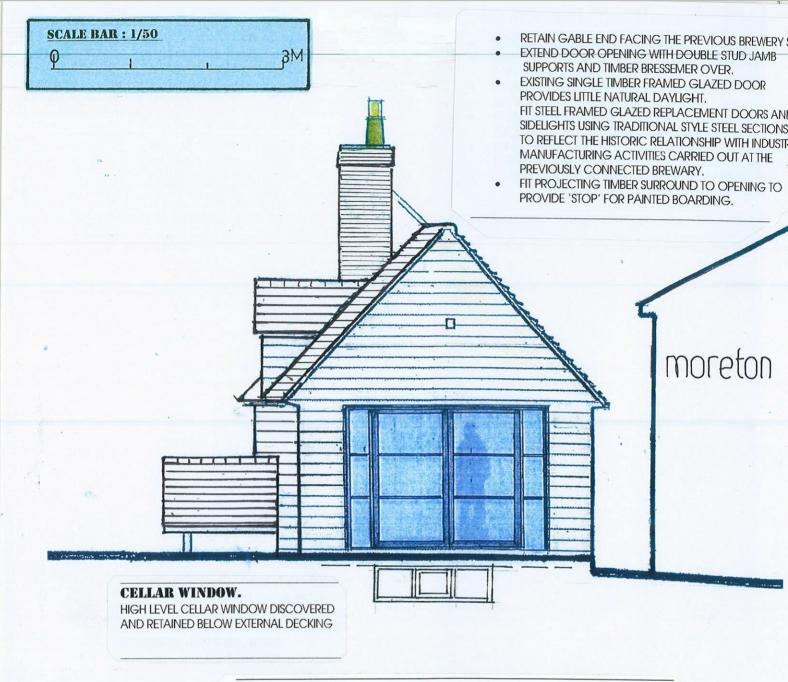
HAND MADE CLAY VENTILATION ASSEMBLY COMPRISES TWO 'BASE COURSE' TILES WITH SEMI-CIRCULAR CUT-OUTS TOPPED WITH 'EYEBROW VENTILATION' TILE FIXED DIRECTLY ABOVE THE CUT-OUTS. VENT PIPES ARE CONNECTED AND SEALED TO THE EYEBROW TILE.

PLAIN CLAY TILE ASSEMBLY PROVIDES A DISCREET IN-LINE/IN-COURSE OUTLET WITHIN CLAY TILE ROOF COVERING.









PROPOSED REPLACEMENT ACCESS DOORS + SIDELIGHT

EXISTING DOMESTIC STYLE ACCESS DOOR TO TERRACE TO BE REPLACED WITH STEEL FRAMED DOORS (7' WIDE) AND SIDELIGHTS (1' WIDE) CONSTRUCTED WITH INDUSTRIAL STYLE SECTIONS, DOUBLE GLAZED, COLOUR COATED. PROJECTING PAINTED TIMBER STOP LININGS AND DRIP TO 'MASTER' WEATHERBOARDING. UNIT TO BE INSTALLED WITHIN TIMBER FRAMED, WEATHERBOARD CLAD GABLE WALL. INDUSTRIAL AESTHETIC AND STYLE APPROPRIATE FOR USE TO REFLECT CONNECTION TO HISTORICAL BREWERY PREVIOUSLY LOCATED ON ADJACENT SITE TO THE NORTH AND PPROPRIATE FOR USE IN LISTED BUILDINGS.

AS DRURY CASEMENTS OR EQUAL (CRITTALL STYLE).

14 - PROPOSED NORTH ELEVATION SCALE 1/50

PROPOSED: REINSTATEMENT AND ALTERATIONS

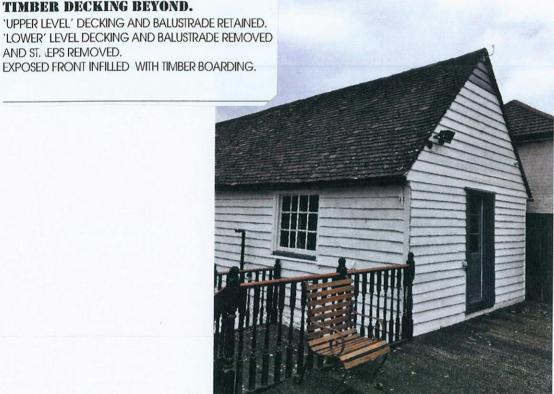
AT : GENERAL WOLFE. WESTERHAM. TN16 1RQ.

FOR : MR PHILIP SAUNDERS



PHOTOGRAPH TO BE READ IN CONJUNCTION WITH DRAWING 14

TIMBER DECKING BEYOND.

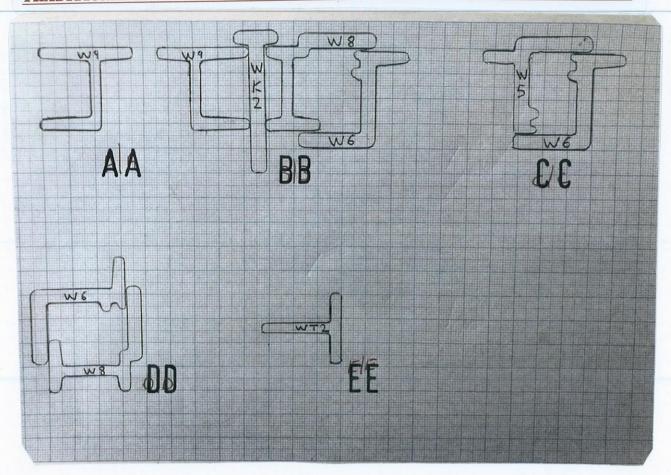


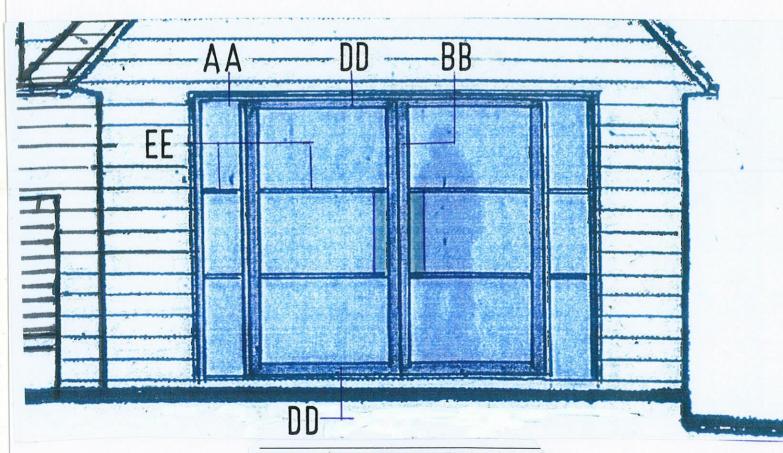
PREVIOUS BREWERY SITE. EXTEND THE EXISTING DOOR OPENING WITH DOUBLE STUD JAMB SUPPORTS AND TIMBER BRESSEMER OVER. THE EXISTING SINGLE TIMBER FRAMED GLAZED DOOR PROVIDES LITTLE NATURAL DAYLIGHT. FIT STEEL FRAMED GLAZED REPLACEMENT DOORS AND SIDELIGHTS USING TRADITIONAL STYLE STEEL SECTIONS TO REFLECT THE HISTORIC RELATIONSHIP WITH INDUSTRIAL MANUFACTURING ACTIVITIES CARRIED OUT AT THE PREVIOUSLY CONNECTED BREWERY.

RETAIN TIMBER BOARDED GABLE END FACING THE

FIT PROJECTING TIMBER SURROUND TO OPENING TO PROVIDE 'STOP' FOR PAINTED BOARDING.

TRADITIONAL STEEL SECTIONS TO BE READ IN CONJUNCTION WITH DRAWING 14





DRURY CASEMENT WINDOWS

ELEVATION BASED ON TRADITIONAL SIZES AND PATTERNS PROVIDED BY DRURY CASEMENTS.

ELEVATION TO BE READ IN CONJUNCTION WITH DRAWING 14





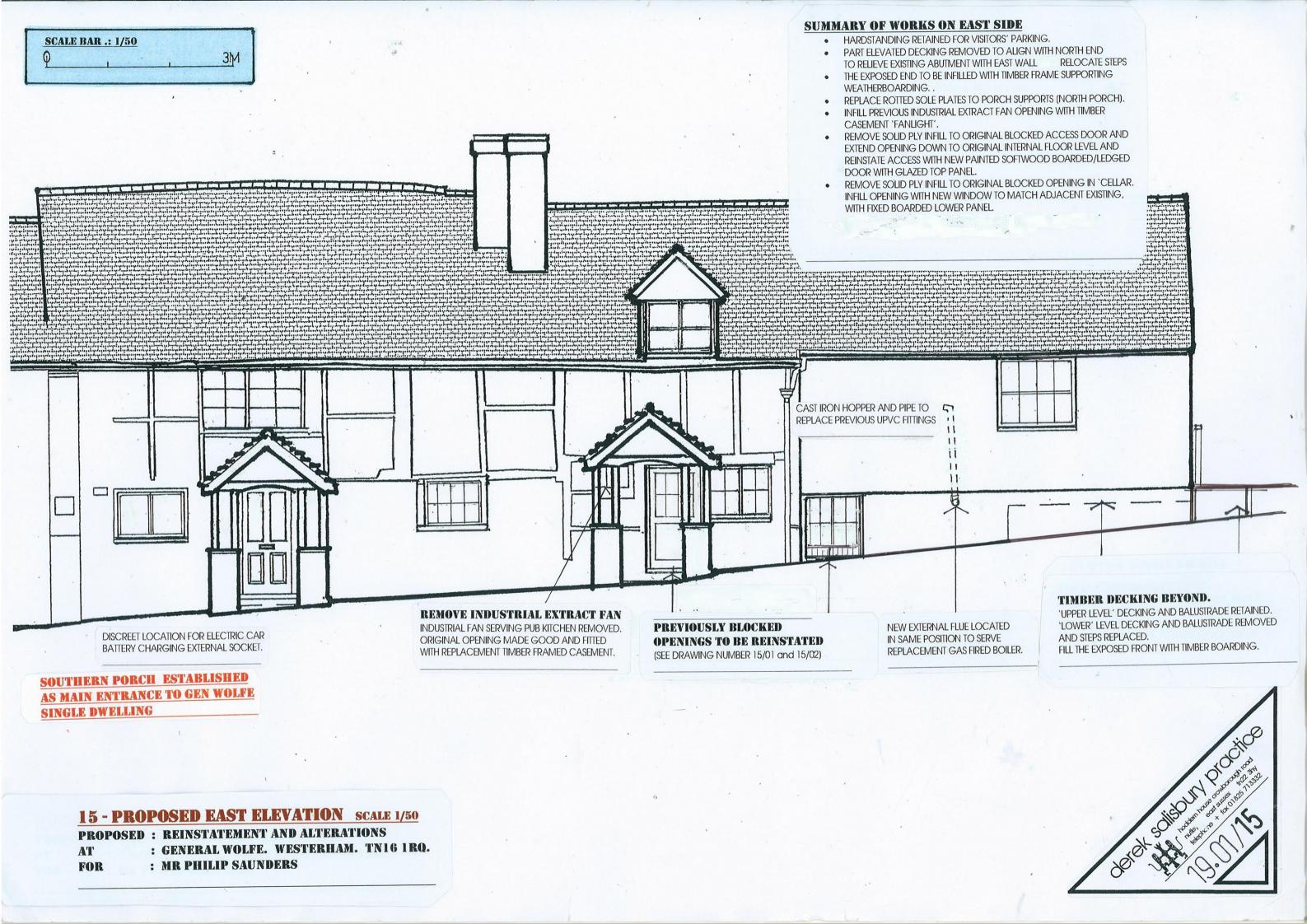
DRURY CASEMENT WINDOWS

TYPICAL INSTALLATION ELEVATIONS CONSTRUCTED WITH STANDARD TRADITIONAL STEEL ELEVATIONS.









PHOTOGRAPH TO BE READ IN CONJUNCTION WITH DRAWING 15

TIMBER DECKING BEYOND.

'UPPER LEVEL' DECKING AND BALUSTRADE RETAINED.
'LOWER' LEVEL DECKING AND BALUSTRADE REMOVED AND STEPS REMOVED.
FILL THE EXPOSED FRONT WITH TIMBER BOARDING.



EXISTING NORTHERN PORCH.

PREVIOUS BLOCKED DOOR OPENING IS PROPOSED TO BE REOPENED AND INFILLED WITH GLAZED /BOARDED DOOR.

ADJACENT PREVIOUS INDUSTRIAL EXTRACT FAN SERVING THE PREVIOUS PUB KITCHEN REMOVED AND OPENING RETAINED AND INFILLED WITH FLUSH FRONT PAINTED TIMBER CASEMENT.

ROTTED SOLE PLATE SUPPORTS TO PORCH POSTS REPLACED.



PHOTOGRAPH TO BE READ IN CONJUNCTION WITH DRAWING 15



EXISTING NORTHERN PORCH.

PREVIOUS BLOCKED DOOR OPENING IS PROPOSED TO BE REOPENED AND INFILLED WITH GLAZED /BOARDED DOOR.

ADJACENT PREVIOUS INDUSTRIAL EXTRACT, FAN SERVING THE PREVIOUS PUB KITCHEN REMOVED AND OPENING RETAINED AND INFILLED WITH FLUSH FRONT PAINTED TIMBER CASEMENT.

