



New small office on Land at Millham Farm Lostwithiel, PL22 0JA



Prepared August 2021

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1. Introduction

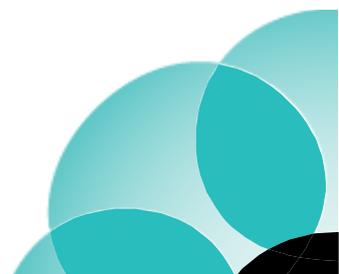
Millham Farm is located to the east of Lostwithiel and is made up of a farm house (The Cottage) an outbuilding which have been converted to a dwelling (Copperbarn) and other outbuildings and 7 acres of land.

There are a number of existing vacant building but to bring them back to use at this stage would be unviable.

2. Proposed development

We propose a small single storey office of 10 x 3m footprint on the farm which will allow for more sustainable working practices for a member of each households living on the farm in order to reduce the journey to work and allow for a separation of home and the working environment. It will also allow for the Situ8 Planning team, 3 out of the 5 live in Lostwithiel, the opportunity to walk or cycle to work.

If anyone should decide to visit the office via car we are providing a parking space however they will be strongly advised to cycle or use public transport or walk. But since lockdown our working



practices at Situ8 have changed significantly with the team preferring to work from home and occasionally hot desk if needed. This is why we only propose a desk for 4 people in total.

Our clients who use Situ8 services have also changed their requirements as we meet them on their site and any follow up meetings take place virtually. We therefore do not envisage any additional traffic visiting the site as our experience tells us through our St Austell based office that we do not rely upon or experience passing trade. Should clients wish to visit the office there is ample parking available and we can offer a pick-up service from the nearby train station or they can safely walk the 950m distance.

We aim to use a local company they have produced the attached plans and elevations.

The method of construction and aspirations of Husk Living;

- Husk Living is a new business run by husband and wife team, excited to be building their prototype models within the Lostwithiel community.
- All of our HUSKs are built to last with high specification materials as standard. The timber framed shell is insulated using premium spray foam insulation for superior thermal and acoustic properties. Our windows are double glazed units within a slimline aluminium frame. The roof is finished in an EPDM rubber membrane, which is highly-efficient, long lasting and virtually maintenance free.
- Environmentally conscious design with no concrete. All HUSKs are installed on a screwpile foundation system, which are essentially giant screws drilled into the ground, upon which a timber ring-beam is built to support the HUSK. We work with an expert subcontractor to test sites for suitability for this system (95% of sites are suitable), and the screw piles are installed in a single day, with no diggers, no concrete, and no waiting time for the concrete to set. Screw piles are an excellent solution for the environment, for tricky access, and for sloping sites alike. They are also removable, so you could even take your HUSK with you if you move house!
- They use locally sourced materials where possible and who aim to offer local jobs as the business grows.
- The method of construction would use SIPs or Structurally Insulated Panels use timber panels from sustainable sources with an insulating foam core. This gives a high strength to weight ratio allowing large sections of your building to be fitted at once, speeding up the time required on site.
- The result is a building system that is extremely strong, energy efficient and cost effective. Building with SIPs saves on time, money and labour and avoids a lot of the traditional building waste.
- Crane-in option for suitable sites relieves the stress of 'having the builder's in' - plug and play concept allows you to use the HUSK the day it is installed

- We aspire to be known for producing modern, high quality garden structures in Cornwall with excellent customer service

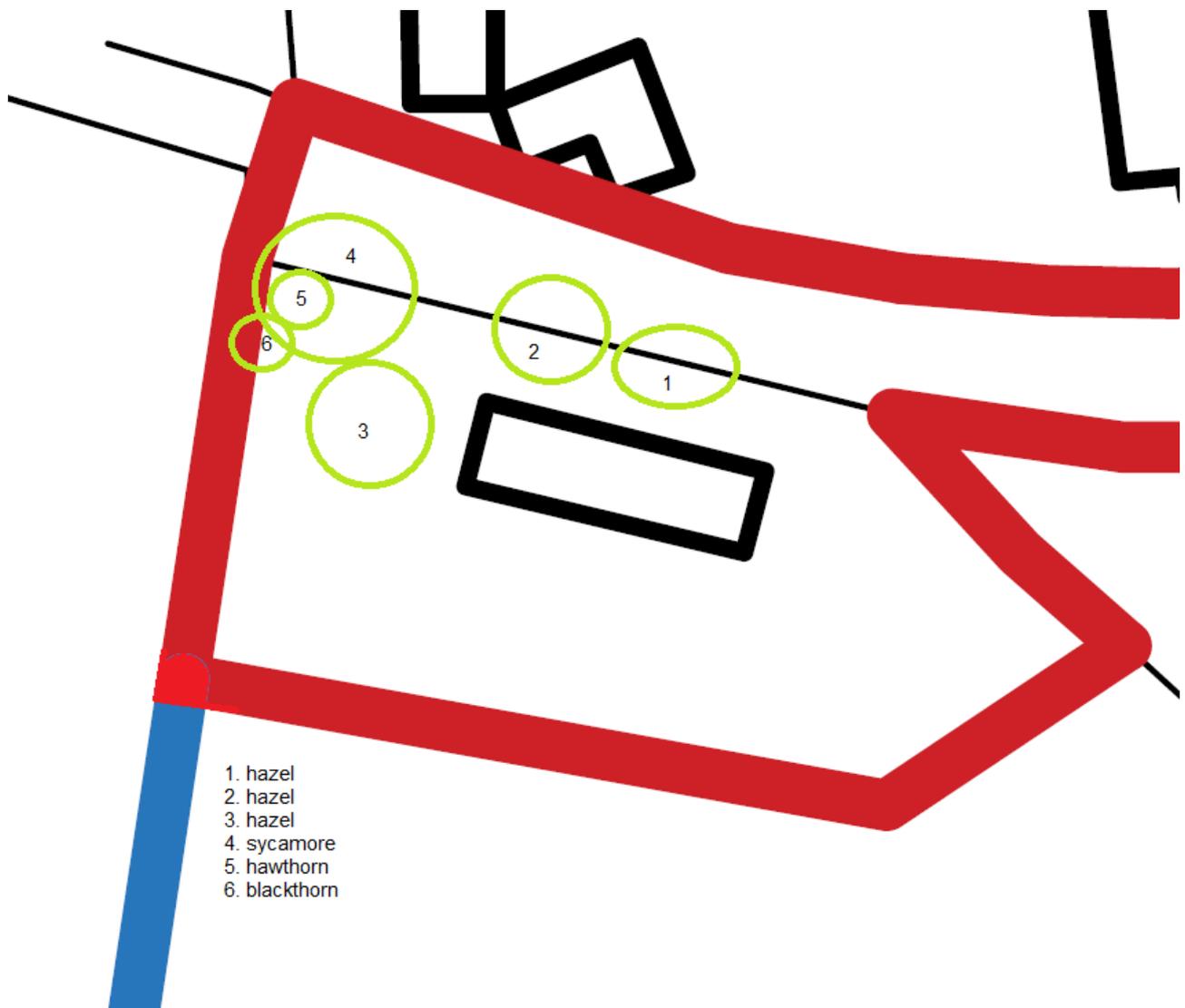
In addition we will be installing solar panels to harness one of the most effective sources of renewable energy. The carbon footprint of PV panels is small, particularly as the material used are becoming increasingly recycled. We have proposed them on the only inclined roof of the development which is due south.

All windows are south facing to optimise solar gain and there are no windows proposed on the northern elevation to eliminate any electric light spill onto the public footpath on that northern side.

Services – the office would be on mains water, any sewage would discharge to the existing cesspit we will be using rainwater harvesting and exploring grey water re-use in any toilet facility proposed.

3. Ecology and Trees

The boundary trees along the northern boundary are not protected via a Tree Preservation Order. There will be no shading caused by the trees onto the building as there are no windows on the northern elevation. We have sited the building on the lowest part of the field which is flat and approx. 3m away from the base of the hazel trees and existing hedges. We propose screw piled foundations, to minimise impact upon the root system of existing trees. To confirm these trees are to be coppiced on a regular basis and provide an important source of materials which will be used in hazel screens which are to be used elsewhere on the farm. We will retain all trees along this northern boundary and even in their coppiced state they will provide a good source of screening along this boundary. No trees are to be felled and no hedges are proposed to be removed as part of this proposal.



Tree Survey

The site has been historically covered in brambles and topped each year by the farmer to prevent further spread of the brambles onto the valuable grass land. The grassed field to the south will continue to be cut for hay and hazel will continue to be coppiced.

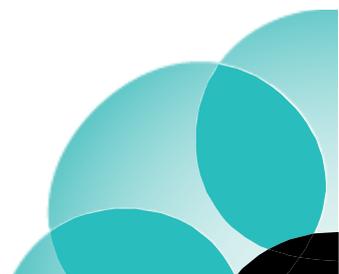
The site does not provide a suitable habitat for any protected species and the land has been recently topped during haymaking, as per previous years. There is no external lighting proposed and all windows face south away from existing trees and hedges. Should an ecology survey be required we can provide one.



2001 Evidence of brambles



2005 indicates the location of the brambles

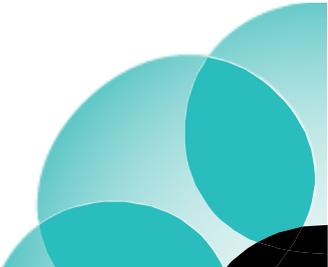




2009 *bramble coverage*



2019 *Bramble coverage*



4.Planning policy

Cornwall Local Plan 2010 - 2030

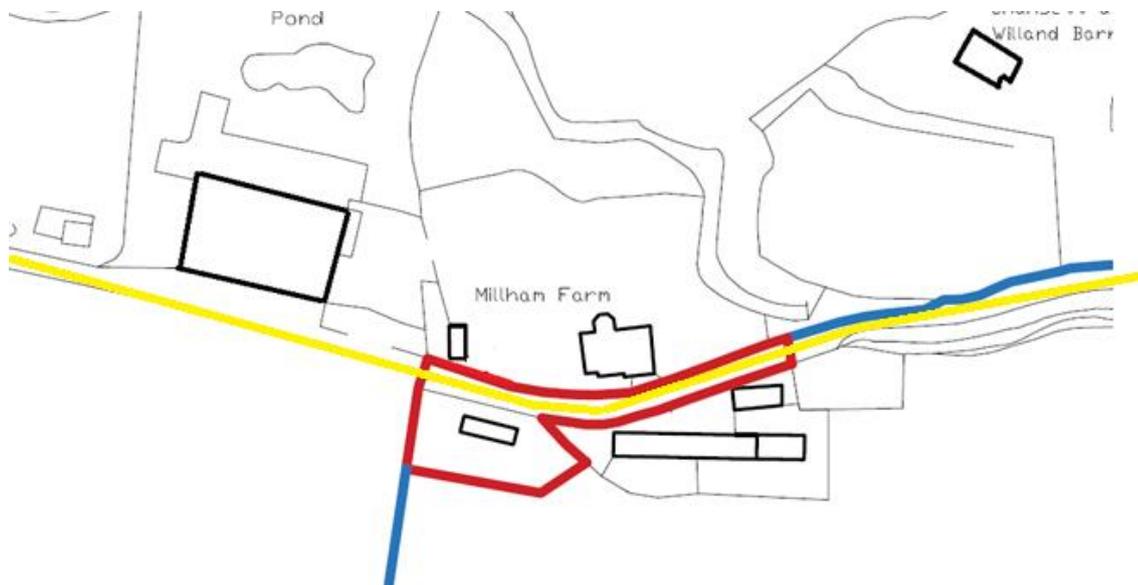
Policy 4: Shopping, services and community facilities. We consider that the proposed office use is consistent with the scale and function of the town centre with the introduction of a new local small business to the town of Lostwithiel. Three of its team live in the town already and the other two are within 7 miles of this location. The facility proposed will enhance the services currently provided in the town and will assist in strengthening its economy. Situ8 Planning Consultancy would be the only planning consultancy in the town and would be in close proximity to the town centre.

Policy 5: Business and Tourism business use,

c) in the countryside and smaller rural settlements be of a scale appropriate to its location. The small single storey office building (10 x 3m) will allow the nearby team members to reduce their travel distance to work and explore the opportunity of using a sustainable and energy efficient method of new build using a local company and labour.

This proposal also allows for the relocation of an existing business from St Austell to Lostwithiel thereby supporting the local economy of Lostwithiel. Indeed this will see the return of a company which started out in the town in 2006.

The site would be well served by public transport in close proximity Main line Lostwithiel train station 950m walk along a public byway country lane and onto a footpath at Cott Rd and into the town centre.

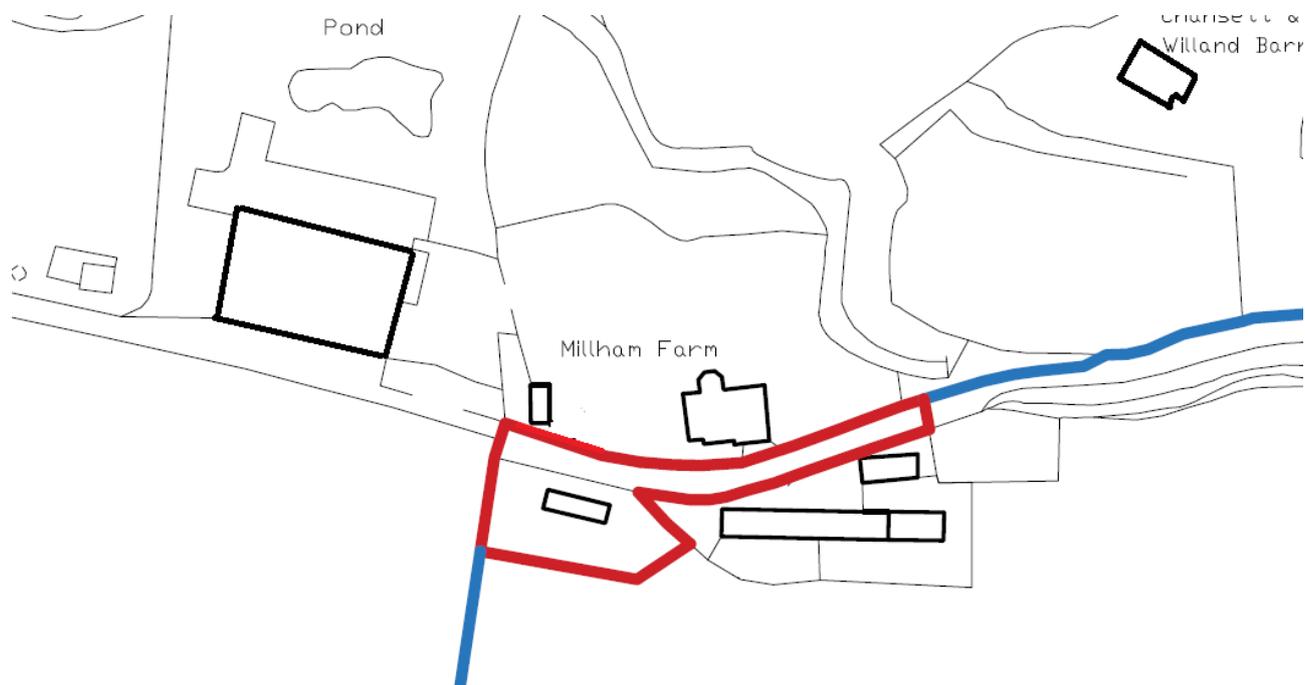


The site located on a public byway Public Byway (The public have a right of way on foot, horseback, bicycle or vehicle. This includes horse-drawn carriage, motorcycle or other motor vehicle indicated by the yellow line.) and Millham Lane is regularly used by walkers. Connected to a footpath on Cott Rd.

Policy 12 – This Design policy reflects the NPPF intentions and supports this proposal in terms of its high quality sustainable design which has a light footprint on the earth and is reversible.

Policy 16 -The proposal maximise the opportunity to encourage staff members to cycle and walk to the office.

Policy 23: Natural environment - Development must take into account and respect the sensitivity and capacity of the landscape asset. The site is within the Area of Great Landscape Value. As such we have discretely located the building at the bottom of the hillside adjacent to other buildings on Millham Farm. (see existing buildings) we consider that the development embraces local distinctiveness and character in terms of its agricultural appearance and protects where possible, the natural environment through the use of reversible screw pile foundations and single storey design.



Policy 27 Transport and accessibility. Locate development and / or incorporate a mix of uses so that the need to travel Infrastructure 2.205 An appropriate and balanced mix of new development is essential for the long term prosperity of Cornwall. The Local Plan shapes where new development should be located and also manages the pressures relating to speculative proposals through policy. It will facilitate in new jobs, homes, services and thereby support social, economic and environmental objectives. The impact of will be minimised and the use of sustainable transport modes can be maximised by prioritising safe access by walking, cycling and public transport to minimise car travel; The need to travel is minimised by this proposal given the close proximity from home to work for most members of the team. It will operate much like a home office and we offer a restive condition ensuring it remains as a Situ8 office unless otherwise agreed by the LPA. We propose to encourage walking and cycling for all members of the team. Drop off pick up bespoke service from the train station if required or it is an 8 mins walk to the office.



Emergency Climate Emergency DPD

Policy RE1 - Renewable and Low Carbon Energy

1) Proposals for renewable and low carbon energy-generating and distribution networks, will be supported in the context of sustainable development and climate change, where: a) they contribute to meeting Cornwall's target of 100% renewable electricity supply by 2030; and b) they balance the wider environmental, social and economic benefits of renewable electricity, heat and/or fuel production and distribution.

3) Solar energy development proposals, including both building mounted and standalone ground mounted installations and extensions or repowering of solar installations will be supported where they are focussed on previously developed land and away from best and most versatile agricultural land unless exceptionally justified. **We propose a 14 KW solar roof mounted array and battery for night time storage, especially useful if working into the evening. To be installed by Mole Energy.**

14.7.6 – to demonstrate the suitability and sustainability of its location through ready access to other services and facilities by walking or cycling. **Over the 50% of the team live next to or nearby the proposed office.**

Policy SEC1 – Sustainable Energy and Construction

2a. New Development – Non-Residential Development proposals for non-residential development

should demonstrate how they achieve BREEAM 'Excellent'. We aim to achieve this and agree with the principles of the construction methods, locally sourced materials, and efficiency of the utilities and water use proposed which are expected.

5. Water - non-residential development with a floor space of 1,000 m² or more should incorporate water reuse and recycling and rainwater harvesting measures. Whilst we don't trigger this policy we will be using rainwater harvesting and exploring grey water re-use in any toilet facility proposed.

6. Materials and Waste All development proposals should minimise use of materials and creation of waste and promote opportunities for a circular economy through:

a) Prioritising the use of previously developed land and buildings, whilst maintaining and enhancing local character and distinctiveness; we propose a small agricultural style building, on land which is currently scrub having been shaded by brambles for many years and does not form part of the pasture land to the south.

b) Reuse and recycling of appropriate materials that arise through demolition and refurbishment, including the reuse of non-contaminated excavated soil and hardcore within the site; we propose lightweight screw pile foundations and will not be excavating any soil.

c) Prioritise the use of locally sourced and/or sustainable materials and construction techniques that have smaller ecological and carbon footprints; agreed

d) Using locally distinctive, resilient, low maintenance materials that are appropriate for Cornwall's damp maritime climate, for example locally won materials such as slate and granite (particularly for areas that will be harder to maintain once the building is occupied) as described in the Cornwall Design Guide; we propose a palette of locally sourced timber and corrugated iron cladding.

e) Considering the lifecycle of the development and surrounding area, including how they can be adapted to meet changing community needs and how materials can be recycled at the end of their lifetime; Agreed

f) Providing adequate space to enable and encourage greater levels of recycling across residential and non-residential developments. Agreed

Lostwithiel Neighbourhood Plan 2018

Policy BE3. Home-Based Enterprise In so far as planning permission is required, home-based enterprises will be supported where there will be no adverse or undesirable impact on nearby residents or on the appearance of the building in which the enterprise is carried out. **Whilst we are applying for a B1 office use we are nevertheless providing for existing team members who live nearby to the site either on the farm or in the town. We welcome a condition which ties the building to Situ8 Planning Consultancy.**

A planning condition which stipulates that 'The commercial use of the development hereby permitted shall be limited solely to the business known as Situ8 Planning Consultancy' in order that the Council can retain control future occupancy and use of the building.

5. Conclusion

We trust that the information given within this report and the attached plans demonstrate that we are very keen and committed to providing a quality small office building which meets the needs of a local business.

We have endeavoured to take account of all the relevant planning policy. We have proposed a sensitively designed development which takes account of the important local land designation together with the local vernacular.

We trust that you will support this proposal, and we look forward to implementing the scheme in the near future.