

PROPOSED CONSTRUCTION OF FIRST FLOOR EXTENSION WITH DORMER WINDOWS AND ASSOCIATED WORKS TO PROVIDE ADDITIONAL LIVING ACCOMODATION

Supporting Statement

Land at: Lanhendra, Glenside Gardens, Lanner, TR16 5TT

On Behalf of: Mr Chris Vargas and Ms Carly Matthews

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Prepared by JS Planning Studio

t: 07397756851

e: jsplanningstudio@gmail.com

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1.0 SUMMARY

JS Planning Studio (the 'agent') and Mor Architecture have been commissioned by Mr Chris Vargas and Ms Carly Matthews (the 'applicants') to progress a householder application for the construction of a first-floor extension with dormer windows and associated works at 'Lanhendra', Glenside Gardens, Lanner, TR16 5TT (the 'application site').

The proposal comprises the construction of a first-floor extension over the existing bungalow that will raise the roof ridge height by 1.73m, incorporating a pitched slate roof with roof lights to the rear (north) and dormer windows to the front (south). Timber cladding is proposed on the upper floor and a chimney flue on the front roof slope. Two bedrooms will be retained on the ground floor and the first floor will incorporate two additional bedrooms with storage and family bathroom, more conducive to the needs of a growing family.

This Statement provides a review of the site history and local designations as well as full details of the proposed development. It has been identified that the proposal will result in a sympathetically designed proposal that respects surrounding residential amenity, will

enhance the design value of the existing building and would be consistent with the relevant policies contained within the development plan, comprising the Cornwall Local Plan 2010 – 2030 and the Lanner Neighbourhood Plan, the guidance contained within the National Planning Policy Framework 2021 and relevant supplementary planning guidance.

It is respectfully requested that the application be supported however should any further information be required to ensure that the application may be considered positively, it is requested that JS Planning Studio is contacted in the first instance.

2.0 THE APPLICATION SITE

The application site, as outlined in red in the attached Location Plan, is located within a residential area within Lanner, within the jurisdiction of Lanner Parish Council.

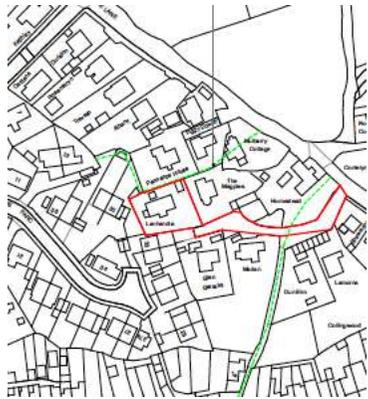


Figure 1. Extract Location Plan



Figure 2. Extract Google Earth images (2021)

The site comprises the host dwelling, known as Lanhendra, a single storey property of rendered block construction under artificial slate roof, constructed circa 1980s. It is located at the end of Glenside Gardens and has its own private gated driveway, large, enclosed garden to the front and strip of garden to the rear with stone retaining wall and planting. Side boundaries comprise high fencing and landscaping.

The site slopes to the south, toward the single storey properties at Penmayne Parc and the terraced properties along Lanner Hill. There is a variety of dwelling types in the locality, from two storey cottages to more recent bungalows.



Figure 3. Dwelling driveway



Figure 4. Front (S) elevation and enclosed garden



Figure 5. Rear (N) elevation and boundary



Figure 6. Rear (N) of dwelling and western boundary



Figure 7. Rear elevation looking east



Figure 8. Side (W) elevation



Figure 9. Front (S) elevation



Figure 10. Front Garden and southern boundary

3.0 PLANNING CONSTRAINTS AND DESIGNATIONS

The site is not located within any specific statutory designated landscapes. The site does not comprise nor is it located in proximity to any listed buildings or non-designated heritage assets. The site is located within the Fal and Helford Special Area of Conservation Zone.

A number of public footpaths existing in proximity to the site, with footpath 216/22/4 to the north being an anomaly (no longer present). The subject property is located in Flood Zone 1 of the Environment Agency's flood risk mapping, being at the lowest risk of flooding but is within an area Susceptible to Ground Water Flooding.

4.0 RELEVANT PLANNING HISTORY

A search of Council's online planning register had been undertaken to understand the site's planning history. There are no specific applications of relevance on either the subject site nor in the surrounding area. It is noted that the adjacent property to the east, 'The Magpies' has a large flat roof dormer extension and a number of dwellings in the vicinity have submitted householder applications for extensions and additions over the years.

5.0 THE PROPOSED DEVELOPMENT

At present the property comprises two small bedrooms, with limited storage and space for a growing family. The proposal seeks to provide much needed additional bedrooms and a family bathroom on the first floor by incorporating a first floor extension. The proposal seeks to raise the existing roof ridge by 1.73m, with a first floor addition above the existing protruding lounge set at a lower level than the main roof ridge height.

Stairs are proposed off the hallway on the ground floor toward the rear of the property, into an upstairs landing with cupboard space. Two bedrooms are proposed at either end of the property with dormer windows to the south (front) and windows to the side (east and west). Two roof lights are proposed above the landing.

The first-floor treatment will comprise weatherboard cladding, to provide variation in materials and design interest. A natural slate roof covering will also improve the aesthetic of the building. New uPVC windows/doors are proposed to match the existing.

No alterations are proposed to the existing access arrangements or to landscaping or boundary treatment.

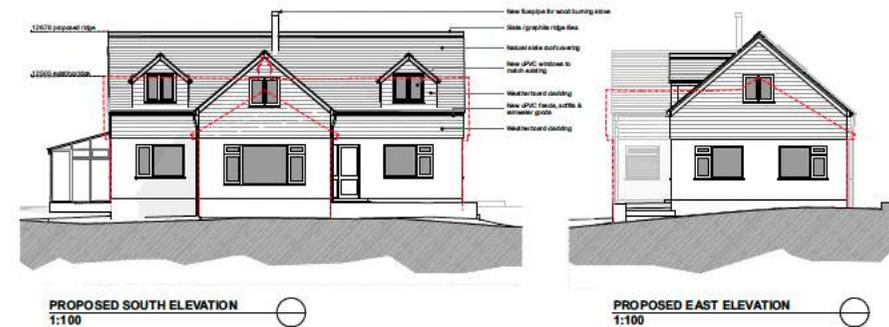


Figure 11. Proposed front (S) and side (E) elevation

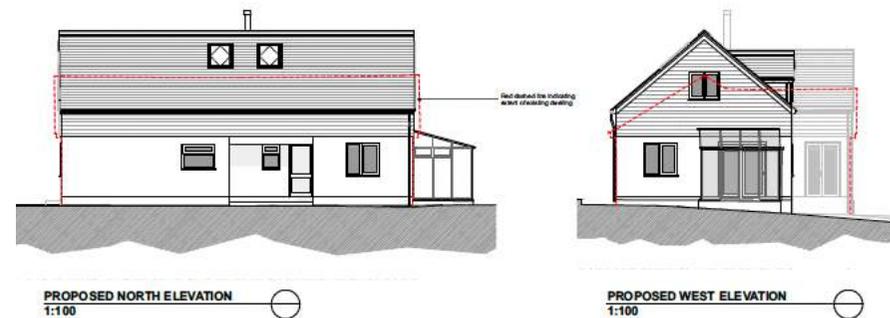


Figure 12. Proposed rear (N) and side (W) elevation

6.0 THE STATUTORY DEVELOPMENT PLAN

6.1 Legislative Context

Section 38(6) of the Planning and Compulsory Purchase Act 2004, Section 70(2) of the Town and Country Planning Act 1990 and Paragraphs 2 and 47 of the NPPF recognise that '*Planning law requires that applications for planning permission be determined in accordance with the development plan, unless material considerations indicate otherwise*'.

The statutory development plan for the site consists of the Cornwall Local Plan, whilst material considerations in this instance comprise national policies set out within the National Planning Policy Framework (NPPF) 2019 and relevant Supplementary Planning Documents (SPDs).

6.2 Cornwall Local Plan 2010 – 2030

The relevant development plan is the Cornwall Local Plan (CLP) 2016 – 2930. This document provides a positive and flexible overarching planning policy framework for Cornwall and sets out Cornwall's housing and employment targets.

The CLP was adopted in 2016 and sets out the vision and development control policies that are applicable to Cornwall. The CLP policies of most relevance to the proposal are as follows:

Policy 1 – Presumption in favour of sustainable development

Policy 2 – Spatial strategy

Policy 12 – Design

Policy 13 – Development Standards

Policy 21 – Best use of land and existing buildings

Policy 23 – Natural environment

Policy 26 – Flood risk management and coastal change

Policy 27 – Transport and accessibility

Policy 1 asks that Council takes a positive approach that reflects sustainable development and that Councils work together with applicants to ensure proposals are approved wherever possible and to secure development that improves the economic, social and environmental conditions in the area. Paragraph 1.29 asks that

development should ensure the protection and, where possible, the enhancement of the environmental quality and assets of Cornwall, safeguarding landscape and biodiversity values.

Policy 2 looks at the spatial strategy and requests that proposals: respect and enhance quality of place; provide solutions to current and future issues; and generate and sustain economic activity.

Policy 12 looks at design and seeks to ensure that development demonstrates a design process that has clearly considered the existing context, reflects local character whilst promoting local distinctiveness, however will not prevent or discourage innovative design. It also seeks to ensure proposals do not result in any unneighbourly impacts such as overlooking or loss of privacy.

Policy 13 focusses on development standards and seeks to ensure sufficient internal space for every day activities are provided, as well as appropriate parking and access.

Policy 21 refers to the best use of land and existing buildings, provided they are not of high environmental or historic value.

Policy 23 relates to the natural environment and seeks for development proposals to sustain local character and distinctiveness. Point 2 specifically relates to Cornish landscapes and advises that development should be of an appropriate scale, mass and design that

recognises and respects landscape character of both designated and undesignated landscapes.

Policy 26 of the CLP relates to climate change and flood risk management and seeks to ensure that development should be sited, designed and of a type that increases flood resilience; minimises or reduces flood risk on site and in the area and replicates natural ground water surface water flows and decreases surface water run off.

Policy 27 relates to transport and accessibility and requests that all developments provide safe and suitable access for all people and not significantly impact on the local or strategic road network.

6.3 Neighbourhood Development Plan

A neighbourhood plan attains the same legal status as a local plan, once it has been approved at referendum. The application site falls within the jurisdiction of Lanner Parish Council, who have formally produced the Lanner Neighbourhood Development Plan 2017 – 2030 (NDP). The vision of the NDP is to 'Maintain and enhance the characteristic features which define our particular sense of place and local distinctiveness as well as create a sustainable and resilient community where people want to live, work and thrive.

Section 13 – Design and Character explains that 'Any development will be expected to conform to the design standards set in the Cornwall

Design Guide 2013 or its successors'. Policy 6 relates to Principles for Design and Character in Development and states that proposals for new development will be assessed against, amongst other things, how it will integrate into existing surroundings; should use good quality materials that complement the existing palette of materials used within the parish; the development should be visually attractive through good architecture and appropriate landscaping; should be restricted to two storeys; and should avoid apparent excessive bulk of houses by careful design of roof elevations.

7.0 MATERIAL CONSIDERATIONS

7.1 National Planning Policy Framework (NPPF)

The National Planning Policy Framework (NPPF) was updated in July 2021 and sets out the Government's overarching planning policies for England and how these should be applied and is a material planning consideration.

At the heart of the NPPF is the achievement of sustainable development and, in order to achieve this, the '*planning system has three overarching objectives*': economic; social and environmental.

Paragraph 11 states that '*Plans and decisions should apply a presumption in favour of sustainable development*' and, for decision-making, this means: '*approving development proposals that accord with an up-to-date development plan, without delay*'.

Paragraph 47 identifies that planning law requires that applications for planning permission be determined in accordance with the development plan, unless material considerations indicate otherwise. Decisions on applications should also be made as quickly as possible, and within statutory timescales unless a longer period has been agreed by the applicant in writing.

Section 11 seeks to make the most effective use of land with paragraph 119 stating that decisions should promote an effective use of land in meeting the need for homes and other uses, whilst safeguarding and improving the environment and ensuring safe and healthy living conditions.

Under the heading 'Achieving well-designed places', Paragraph 130 advises that, amongst other things, decisions should ensure that developments:

- a) function well and add to the overall quality of the area, not just for the short term but for the lifetime of the development;

- b) are visually attractive as a result of good architecture, layout and appropriate and effective landscaping;
- c) are sympathetic to local character and history, including the surrounding built environment and landscape setting, while not preventing or discouraging appropriate innovation or change;
- d) establishes a strong sense of place;
- e) optimises the potential of the site to accommodate and sustain an appropriate amount and mix of development;
- f) create places that are safe, inclusive and accessible with a high standard of amenity for existing and future users.

Section 14 looks at climate change and flooding, with paragraph 159 stating that inappropriate development in areas at risk of flooding should be avoided. Paragraph 167 advises that LPAs should ensure that flood risk is not increased elsewhere; developments are appropriately flood resistant and incorporate sustainable drainage systems; any residual risk can be safely managed and safe access and escape routes are included where appropriate.

Section 15 seeks to conserve and enhance the natural environment and requires development to protect and enhance valued landscapes and to recognise the intrinsic character and beauty of the countryside.

7.2 Supplementary Planning Guidance

7.2.1 Cornwall Design Guide 2013

The Cornwall Design Guide was adopted on 13 March 2013 and whilst not specifically an SPD, it is a '*significant consideration in the planning process*'. The purpose of the document is '*to help inform the design of new development and ensure all factors of good design are recognised and incorporated*'.

Section 2.9 relates to design and details and seeks to ensure that development is informed by the character of the area in which it is proposed. It seeks to identify whether there are any architectural or landscape features that give a place a distinctive sense of character and states that distinctiveness can also be delivered through new designs that respond to local characteristics in a contemporary way. Section 3.2 looks at site and context appraisal and advises that proposals should consider the existing site features and how they will be retained/enhanced as well as the relationship between buildings and open spaces/gardens.

Section 4 looks at creating sustainable communities and offers advice in respect to sustainable construction methods and protection of amenity.

Section 7 relates to building design and provides advice on building form and character. Section 7.2 looks at re-use of existing buildings and materials and investing in energy saving technologies. Section 7.3 looks at the built form and character whilst Section 7.4 gives advice on buildings in their plots and plot layout. It also discusses maximising solar gain. 7.6 considers the use of sustainable natural resources and providing a palette of colours to reflect traditional materials and colourings.

7.2.2 Draft Design Guide

Cornwall Council has recently published a draft Design Guide that aligns with the National Design Guide and embeds key elements of Building for Life 12 and Building with Nature Standards. As this document is yet to be formally adopted by Council, it is afforded limited weight however, as much of the principles in respect to effective site layout and achieving good design contained within its predecessor, many of the principles are reinforced here.

7.2.3 Domestic Alterations and Extensions Guide (version 4 updated 25/1/2017)

Whilst not specifically an SPD, this document provides guidance in for householder applications and is to be used to outline general principles and guidelines and 'facilitate good design'.

With respect to proposals within historical and landscape designations, the document states this does '*not mean that such areas are frozen in time [...]. The Council accepts that change is often necessary to accommodate the demands of modern living. The challenge is to enhance the characteristics of these areas, as with all developments, through good design*'.

It provides guidance in respect to establishing the context, layout and proportions, scale, building form and materials and details the importance of details and distinguishing features.

8.0 CONSULTATION

Given the scale and nature of the proposal it was not considered necessary to formally seek the views of the local wider community. The applicants have spoken informally with immediate neighbours to advise them of their intentions to create a more useable family home.

9.0 PLANNING ASSESSMENT

Detailed consideration of the size and layout of the site, the context of the existing dwelling, including constraints and opportunities, as well as the requirements for improved accommodation have resulted in a sympathetically designed extension, that maximises the floor plan.

To achieve the first-floor accommodation, the increase in the ridge height has been kept as minimal as possible to achieve the required internal head height. The resultant building height remains in keeping with the scale and form of surrounding properties and will not appear incongruous or out of place. The protruding gable extension at the front of the building will provide some architectural interest to the existing frontage and is set at a lower level than the existing roof ridge, consistent with guidance contained within the Cornwall Design Guide. A sensitive material palette will be used, with painted render to match the existing, weatherboard cladding to provide some variation to materials and traditional, natural slate roof.

The alterations will essentially provide a good sized bathroom, storage space and two, much-needed bedrooms on the first floor to accommodate the applicants and their family. By virtue of its traditional form and proportions, design and finishes, the proposal will respect both

the host building and its surrounding context and will enhance the design value of the existing building. Further, it will preserve the character of the surrounding area and will not dominate or result in overdevelopment of the site.

On this basis the proposal accords with the guidance contained within the Cornwall Design Guide, Policies 12 and 13 of the CLP, Policy 6 of the Lanner NDP and Paragraph 131 of the NPPF, in particular. It also accords with the guidance contained within Cornwall Council's document '*Domestic alterations and extensions guide*'.

10.0 OTHER MATERIAL CONSIDERATIONS

10.1 Residential Amenity

As the proposal seeks to raise the ridge height of the existing building and provide windows on the first floor, detailed consideration of the potential impact to adjoining residential amenity, in terms of loss of privacy and overlooking, has been carefully considered during the design phase. The front of the site comprises a large front garden that slopes to the south. The boundary of the site comprises timber fencing and dense shrubs/trees.



Figure 13. Southern boundary and roof of 33 Penmayne Parc



Figure 14. Northern boundary



Figure 15. northern boundary of 'Glen Gerraint' to south



Figure 16. Dormer extension to east at 'The Magpies'

There are a number of two storey buildings within the vicinity (Fig 14 and 16) and given the nature of built development there is inevitably a degree of overlooking between properties. The properties immediately to the south at Penmayne Parc are oriented east to west with both front

and rear gardens. Given the distance of the dwelling from the boundary, intervening boundary treatment and orientation of the dwellings to the south and their primary garden areas, the proposal will not result in any significant impact to adjoining amenity to these dwellings. Windows to the east and west will look toward the side elevation of adjoining properties. Roof lights are proposed to the north and given the nature of the topography here and boundary treatment, this will not impact on the amenity of the dwelling to the north 'Pennance House'. The proposal therefore will not impact on the surrounding residential amenity in terms of overlooking, noise or loss of sunlight or outlook.

The proposal will provide two additional bedrooms and family bathroom and significantly improve the way in which the existing building functions, without impacting on surrounding amenity. The proposal is consistent with Policy 13 of the CLP, Paragraph 131 of the NPPF and the intentions of the Cornwall Design Guide, in particular.

10.2 Flooding and Drainage

The site is located in Flood Zone 1 and within an area susceptible to ground water flooding. Therefore any new development should ensure that there is no further increase risk of flooding to the site or surrounding

area. The proposal will not significantly increase impermeable surface areas on the site and all rainwater will be channelled to guttering and downpipes to the existing drainage system, therefore there will be no additional risk of surface water either within the site or to surrounding areas. All foul and surface water is currently directed to mains sewer.

10.3 Ecology

The proposal will not impact on any trees or vegetation on the site. The proposal seeks minor alterations to the existing dwelling and would be unlikely to impact any protected species or the like.

10.4 Access

The proposal will not alter the existing access arrangements to the highway or area of parking or turning available to the dwelling.

11.0 Conclusion

This application seeks permission for sympathetically designed extensions to the dwelling, to provide additional accommodation on the first floor. The proposal has been designed to take consideration of

the opportunities of the site; the scale and proportions of the host building; as well as the location of surrounding properties and their principal garden areas and living spaces. Due to its size, design and location in relation to neighbouring properties, it is considered that the proposal will have no significant impact upon the residential amenities of the occupiers of these properties, through any overbearing relationship, overshadowing or loss of privacy.

Through sensitive design and use of high-quality materials, the proposal will enhance the design value of the existing building, whilst paying regard to the character and appearance of surrounding development.

In light of the above policy and material considerations, the proposal can rightly be viewed as being in accordance with the policies contained within the development plan, including the CLP and Lanner NDP, and the overarching guidance contained within the NPPF. It also pays regard to the guidance contained the Cornwall Design Guide. The development should therefore be approved, having regard to the statutory determination obligation prescribed by Section 38(6) of the Planning and Compulsory Purchase Act 2004.