

1479

DESIGN AND ACCESS STATEMENT



421 Barlow Moor Road Amended bin & cycle stores, parking, and landscaping

IN SUPPORT OF A FULL PLANNING APPLICATION SUBMISSION

REV: 0

DATE: 03.08.2021

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To be read in conjunction with DV Architects drawings:

- 1479 PL 0019 – Bin and Cycle Store Amendment - Site Location Plan**
- 1479 PL 0020 – Bin and Cycle Store Amendment - Site Plan as Existing**
- 1479 PL 0018 – Bin and Cycle Store Amendment – Previously Approved Site Layout**
- 1479 PL 0016 – Bin and Cycle Store Amendment - Site Plan as Proposed – REV 2**
- 1578 PL 0017 – Bin and Cycle Store Amendment - Elevations as Proposed – REV 1**

1.0 INTRODUCTION

This booklet has been produced by DV Architects on behalf of our client as a supporting document for a Full Planning Application for a bin and cycle store and associated landscaping and parking amendments at 421 Barlow Moor Road, Chorlton, Manchester.

The application site for this scheme is currently under development for residential use, as per planning application 124237/FO/2019. This application was approved with conditions on 2nd March 2020.

This application seeks to supersede the approved proposals to utilise an existing building as bin and bicycle storage, with new proposals to demolish the existing building, provide an alternative bin store and cycle store, provide additional parking within the footprint of the demolished building, and amend the landscaping proposals to suit. This is due to concerns over the structural integrity and safety of the existing building.

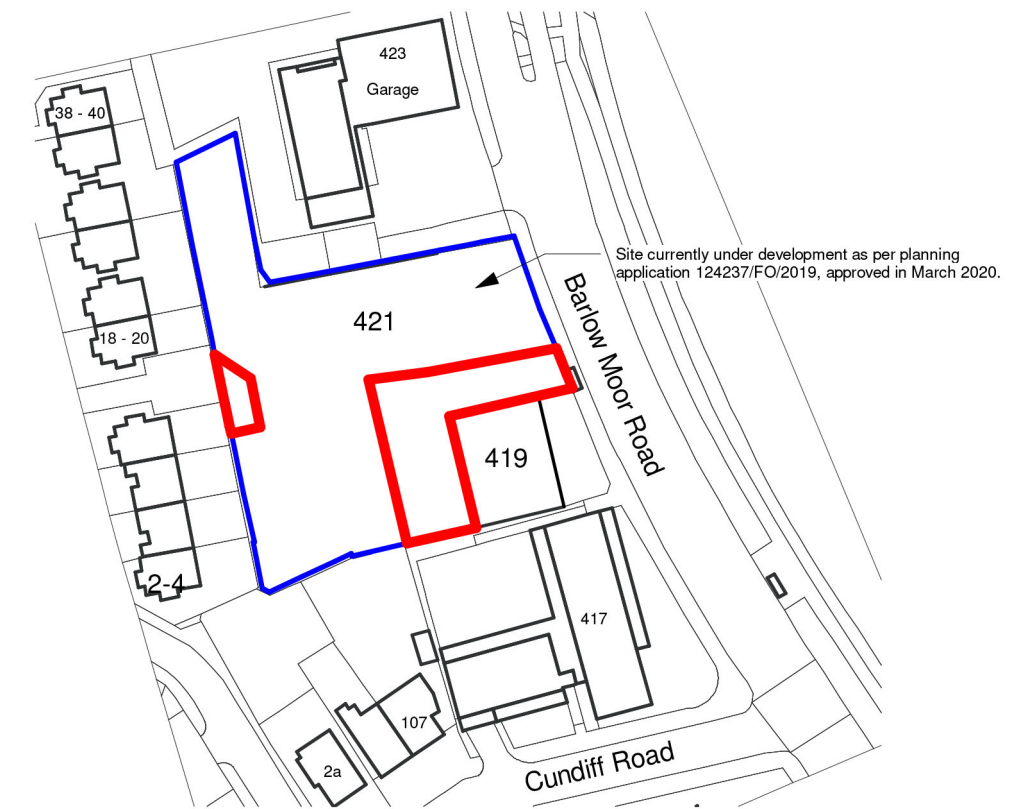
2.0 PLANNING

2.1 PRE-APPLICATION

No formal pre-application advice was sought from Manchester City Council.

2.2 PLANNING

This application seeks Full Planning Permission to demolish an existing fire-damaged building within the site of a previously approved residential development (124237/FO/2019) and to provide alternative bin and cycle store provisions, additional parking, and an amended landscaping proposals to reflect this demolition.



Site Location Plan

3.0 APPLICATION SITE

3.1 PREVIOUS APPLICATION

The previously approved residential development which is currently under construction is detailed within planning application 124237/FO/2019. This application was approved with conditions on 2nd March 2020. Subsequent applications relating to the discharge of conditions and the variation of a condition have since been submitted in relation to this application.

The previously approved scheme can be seen to the right. This included the provision of bin and cycle storage within the existing building, and the provision of 16 no parking spaces across the site.



Previously approved scheme. Site boundaries reflecting relevant areas for this application.

3.2 EXISTING BUILDING DEMOLITION

As previously mentioned, the previous application included provisions for the bin and cycle stores to be located within an existing building on site.

However, following further inspections undertaken by Structural Engineers, serious and severe doubts as to the structural safety and integrity of this existing building have been cast.

The building has previously been damaged by a fire, which has resulted in structural issues.

An excerpt of a structural report prepared by Ridge and Partners LLP on behalf of Southway Housing Trust can be seen below, exploring some of the structural issues.

The condition of this existing building can be seen in images to the right.

2.3.3. Internally the condition of the existing building is generally in a poor state. The following defects were noted,

- The internal roof space and structure has been severely damaged by fire.
 - Many of the timber purlins and rafters are heavily charred and have suffered a loss of section,
 - 1no. of the steel fan trusses has buckled – presumably from the heat generated from the fire,
- The bottom chord of the steel trusses have been removed and raised historically. This will have reduced the structural integrity of the trusses,
- The roof has several holes and will require replacement,
- The external wall adjacent the site access has moved laterally. This has caused a reduction in bearing of the mezzanine floor joist hangers and creating a risk of instability to the external wall,
- Many of the brickwork lintels/arches have failed leading to some cracking in the brick masonry above,
- The chipboard floor covering is very weak and there is a risk of local failure,

2.3.4. Externally the condition of the masonry was reasonable, with only a few minor defects noted. However, the external condition of the roof was poor. The following defects were noted,

- The roof ridge line has dropped and uneven which correlates with the condition of the internal roof space and structure,



Above: condition of existing mezzanine and roof

4.0 PROPOSALS

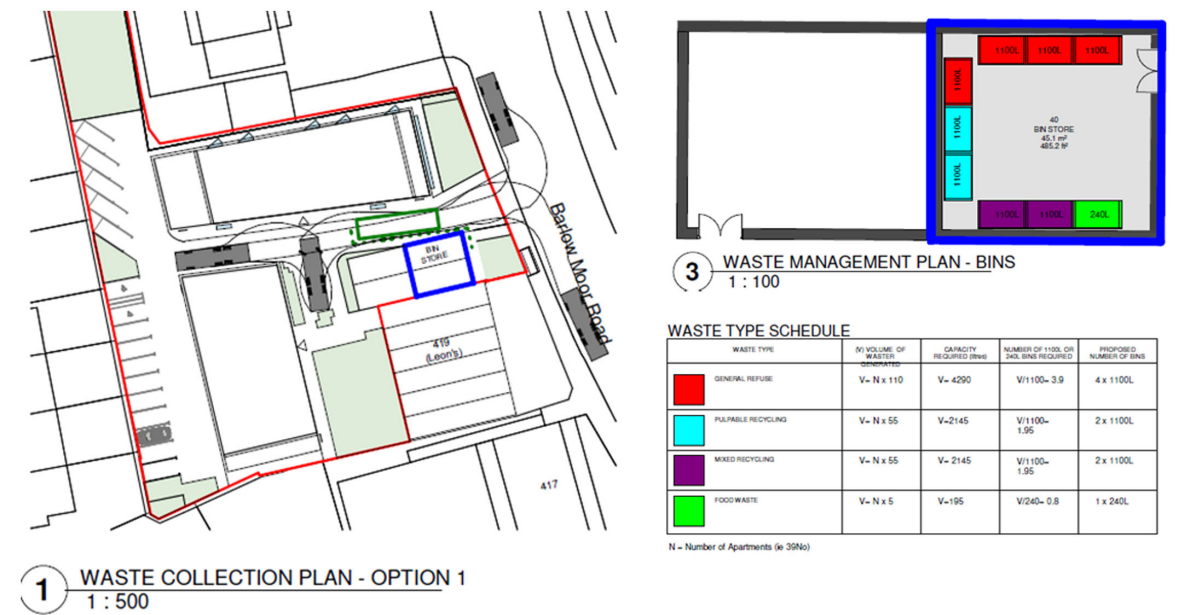
4.1 BIN STORE PROVISIONS

The alternative bin store provisions are proposed to be located in part of the demolished building footprint, in close proximity to the turning head for ease of collection. The bin store has been moved further into the site to allow for level access for easy removal of bins, and to prevent the bin store being highly visible from the street. This proposed location also decreases the walking distance residents must travel from each block to deposit their waste.

The proposals are to provide like-for-like bin capacity, leaving the waste removal strategy from the previously approved scheme untouched.

The proposed bin store is to be screened from view from the street or within the development by a combination of brick walls and timber screening. The bin store is to be open to the air for ventilation purposes but is to have a hit and miss timber canopy roof to obscure any view of the bins from above.

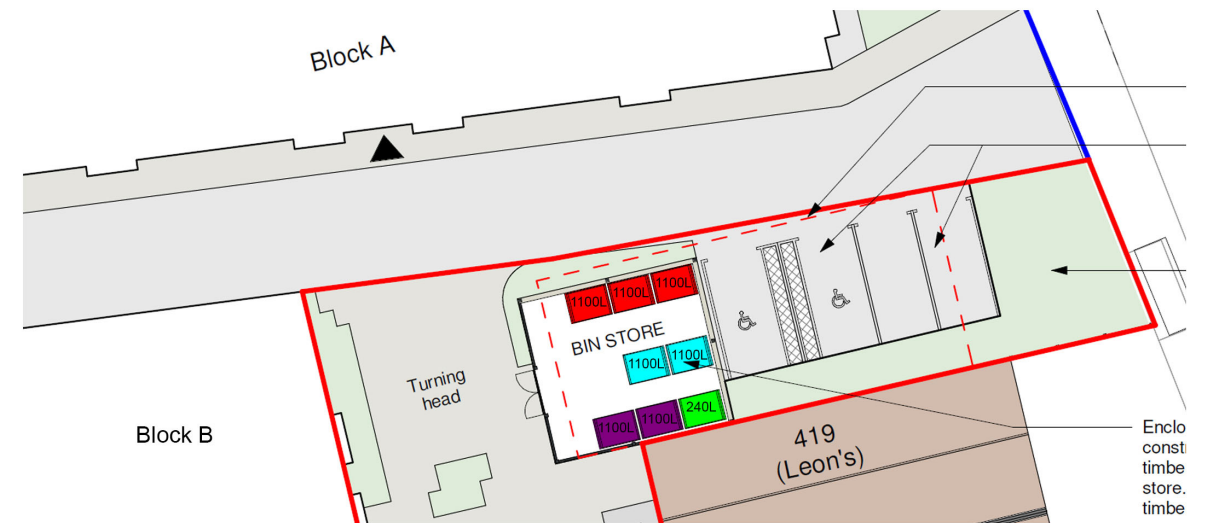
Details of the proposals can be seen to the right.



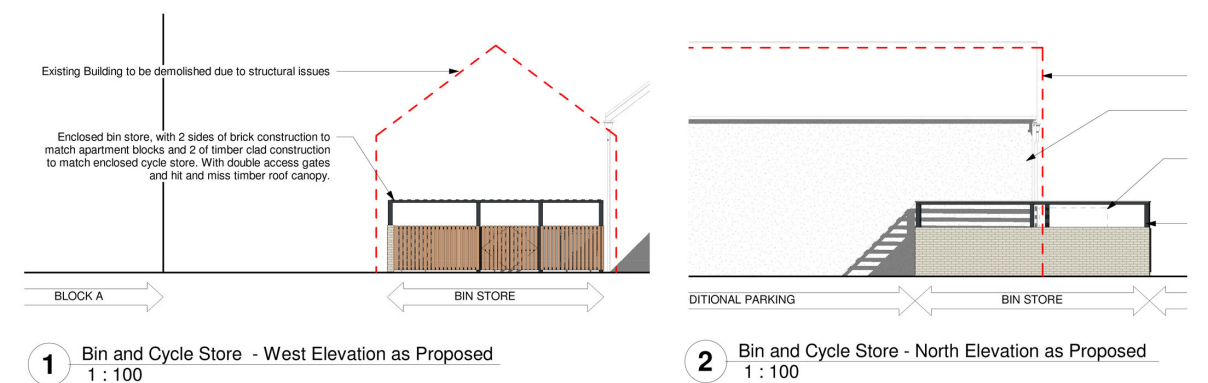
1 WASTE COLLECTION PLAN - OPTION 1
1 : 500

3 WASTE MANAGEMENT PLAN - BINS
1 : 100

Excerpt from previous approved application - previous waste collection plan.



Excerpt from proposed site layout. Turning head unchanged. Bin store located closer to turning head to easier collection and for level access. Bin capacity remains unchanged.



1 Bin and Cycle Store - West Elevation as Proposed
1 : 100

2 Bin and Cycle Store - North Elevation as Proposed
1 : 100

Proposed bin store elevations - 2 sides of brick (to match apartment blocks) and 2 sides of timber cladding to match cycle stores.

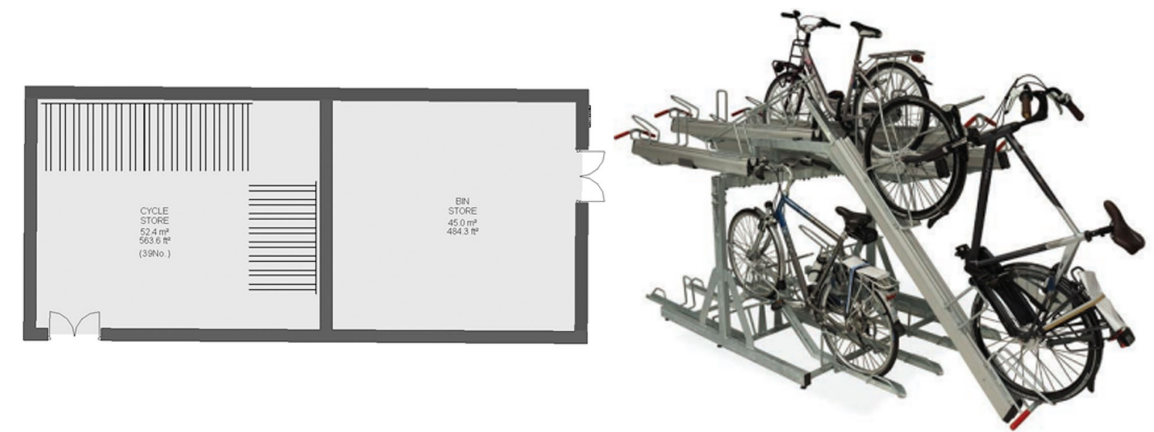
4.2 CYCLE STORE PROVISIONS

The alternative cycle store provisions are proposed to be located along the southeast boundary of the site, adjacent to the existing gable wall of the Leon's Fabric Store (419). Although the position of the cycle storage is further into the site than previously approved, this new location could be considered to add further security for the storage of cycles as it is within the centre of the site and is clearly visible from apartments and communal areas.

The proposals are to provide like-for-like cycle capacity (39 no.), leaving the cycle storage strategy unchanged from the previous scheme.

The proposed cycle stores are to be enclosed and covered stores, with timber clad sides and a metal roof. Access doors are to be sliding timber doors.

Details of the proposals can be seen to the right. Access panels are to be provided to the rear of the cycle stores to accommodate rainwater pipe maintenance.



Excerpt of previously approved cycle storage, utilising double tiered stacking racks.

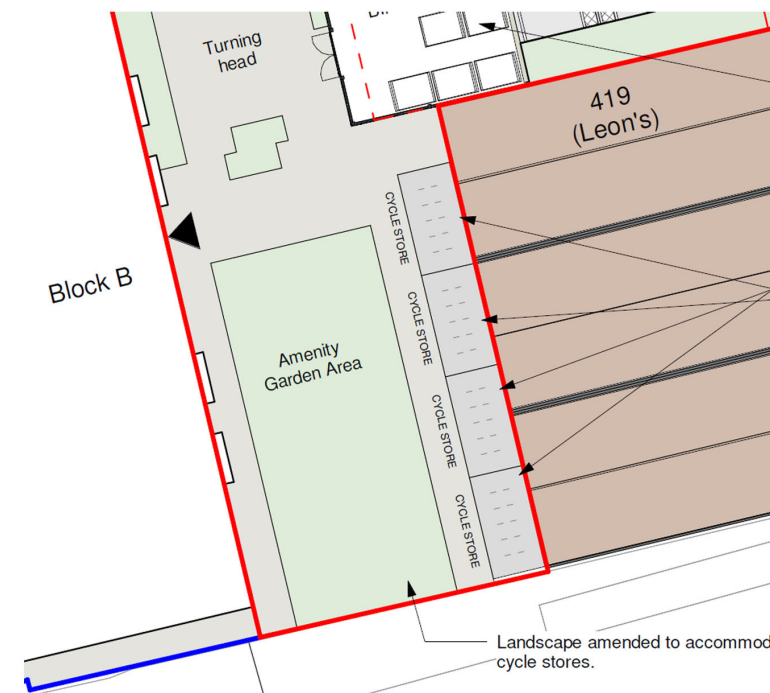


Illustration of typical proposed timber clad cycle store with sliding doors.

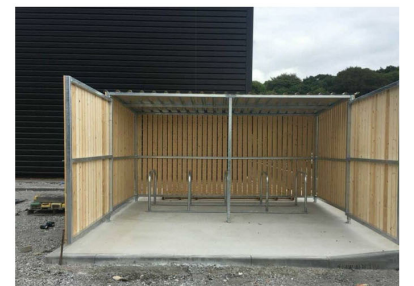
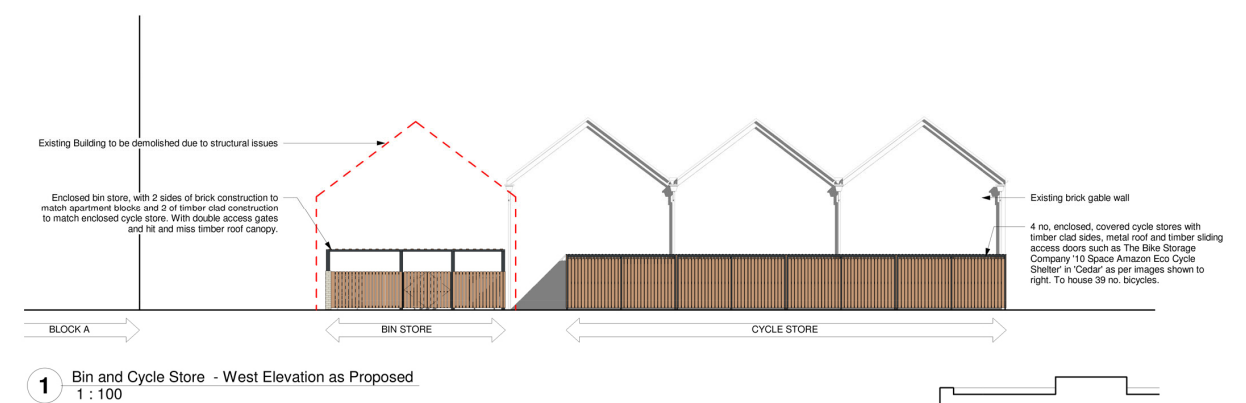


Illustration of typical proposed cycle store interior. Not representative of proposed access doors.

Above left: Excerpt of proposed cycle stores, lining the site boundary and easily accessible from amenity garden. Above right: Example of typical cycle store to be installed, with sheffield hoops and sliding doors.



Proposed Elevation illustrating placement of cycle stores and relationship to bin store.

4.3 PARKING PROVISIONS

The previously approved scheme provided 16 no. parking spaces, including 2 no. DDA parking spaces located along the western site boundary. As illustrated within drawing '1479 PL 0018 – Bin and Cycle Store Amendment – Previously Approved Site Layout', an excerpt of which is included in section 3.1 of this document.

The amended proposals utilise the space created by the demolition of the existing building to offer additional parking spaces. 4 no. additional parking spaces are proposed at the front of the site, including 2 no. DDA spaces which are to be relocated from the western site boundary to this location. This offers a shorter walking distance for anybody wishing to access the apartment blocks from the DDA spaces. The 2 no. DDA spaces along the western boundary are replaced with 3 no. standard parking spaces.

This brings the number of additional parking spaces up to 5 no. and the number of overall parking spaces within the scheme to 21 no.

Given the depressed parking rates currently offered within the approved scheme, these additional spaces will offer an important amenity.



Excerpt from '1479 PL 0016 - Bin and Cycle Store Amendment - Site Plan as Proposed - REV 2

4.4 LANDSCAPE PROPOSALS

The landscaping proposals for the scheme have been updated to reflect the amendments set out above. The updated scheme has sought to provide amenities within the communal space that is comparable with the landscaping scheme previously proposed, to prevent any negative impact on the residents.

An excerpt of the amended landscaping proposals can be seen to the right. This should be viewed in conjunction with Margaret Twigg Landscape Architect's full drawing, '479.03 Landscape Proposals to New Bin Store, Cycle Stores & Courtyard'.



Excerpt of Margaret Twigg Landscape Architect's drawing, '479.03 Landscape Proposals to New Bin Store, Cycle Stores & Courtyard'.

CONCLUSIONS

In conclusion, this application seeks permission for the demolition of an existing fire-damaged building within the site of a previously approved residential development (124237/FO/2019) and to provide alternative bin and cycle store provisions, additional parking and an amended landscaping proposals to reflect this demolition.

The demolition of the existing building responds to significant safety and structural concerns and also helps to open up the site to Barlow Moor Road. The alternative bin store location provides level access for the movement of bins in and out of the store, closer proximity to the turning head, and shorter walking distances for residents. Meanwhile, the alternative cycle store proposals offer a more secure location within the site and a more convenient method of storage. The landscaping proposals have been amended in response to these proposals but have sought to provide comparable amenities for residents. Furthermore, the additional parking proposed provides an important amenity and a more appropriate DDA parking location.



Bin Store as Proposed viewed from Barlow Moor Road. Refer to Margaret Twigg Landscape Architect's drawings for landscaping information.



Bin Store and Cycle Store as Proposed viewed from communal gardens. Refer to Margaret Twigg Landscape Architect's drawings for landscaping information.