

SPECIFICATION

Electrical installation. All new electrical work is to be designed, installed, inspected and tested in accordance with BS 7671 (I.E.E. Wiring regulations 18th edition). The work are to be undertaken alternatively by a suitably qualified person, with a certificate of compliance produced by that person to building control on completion of works

Contractor to be responsible for checking all dimensions on site prior to commencement.

Plan for building regulations & planning consents only

Foundations

New and existing foundations to be constructed in full accordance with BS 8004:1996. Subject to ground conditions and original foundation type, concrete to be at least 150mm thick and finished with a 10mm lean concrete with B28/3 mesh fabric applied with 50mm bottom cover. Foundations to be stepped below any adjacent drain invert with reinforced concrete lintels applied over as necessary with flexible and durable material between. Existing foundations to be repaired, consolidated or replaced as necessary. Suitability by local authority. Remedial foundations as necessary. Where building in the vicinity of trees NHBC Cl. 4.2 to be followed. Should existing foundations require additional works full details to be agreed with local authority prior to works proceeding.

External Walls
Outer leaf of 100mm hollow, to match existing 100mm cavity with 100mm thick leaf of full brickwork on the other side.
Cavity wall to include stainless steel wall ties to BS EN 845 used in full accordance with BS 5628:1985. Cavities to be closed around all external horizontal DPC. Mild steel galvanised straps 5mmx30mm to be incorporated at max. 2m centres and secured to roof wall plate and inner block leaf. The inner leaf shall be constructed in full accordance with the specification in existing wall adjacent to be void control cut and tie in or approved alternative with similar strength to existing wall. The existing wall shall be reinforced with stainless steel restraining strips of 5x30 galvanised mild steel to be secured over two centres minimum and to inner leaf at maximum 2m centres.

Lintels
Lintels via Corvic or similar approved used in accordance with manufacturers specification. Existing lintels subject to additional loading to be exposed and assessed for suitability prior to commencement.

Drainage
New storm drainage in approved 100mm half round gutters with 75mm external diameter and 100mm depth to be installed in full accordance with BS 5301:1985 extending all to BS 8301:1985 to existing system other roofing and tracing Four drainage (above ground) in UPVC approved system to BS 5572:1978 connected to UPVC approved below ground system to BS 8301:1985

Roof
Approved concrete interlocking tiles suitable for roof pitch to match existing to be applied to manufacturers specification on 23x50 battens on Kingspan 130mm Kingspan Kooltherm K7 with 37.5 K118 insulated plasterboard to soffit finished with lightweight plaster skim finish.
30x5 galvanised mild steel holding down straps to be secured to the roof structure over the insulation and over the existing roof structure. Restraints straps of roller and ceiling chord.

General
All works to current IET regulations as per clients requirements.
Heating systems to be checked/extended/modified as required to clients requirements by approved heating engineer in full compliance with current gas and building regulations.
All existing services to comply with current building regulations and British standards and materials to be accurately traced and isolated as necessary prior to commencement.
All other than only roof loading to be provided with 30 minutes fire protection prior to building regulation approval and planning consent as required.
New windows and doors to be in units with double glazed windows with min. term sealed air gaps (Average U value not exceeding 1.8 W/m2K) and to comply with current building regulations.
All glazing to be in full compliance with BS 6262:1982

Adjacent works on adjacent boundary.
All works on an adjacent boundary to be agreed for suitability prior to commencement, where additional loading applied and where applicable. Existing building fabric state and condition to be viewed upon exposure and repaired and rebuilt as necessary prior to any affected works.
All works on an adjacent boundary to be agreed for suitability prior to commencement and relevant to meter and supply/service positions. During operations the builder shall observe the requirements of the CDM Regulations and ensure safe safety of all times.
The elements of the Party Walls etc. Act 1996 are to be closely observed.

Refer to specification

Revisions

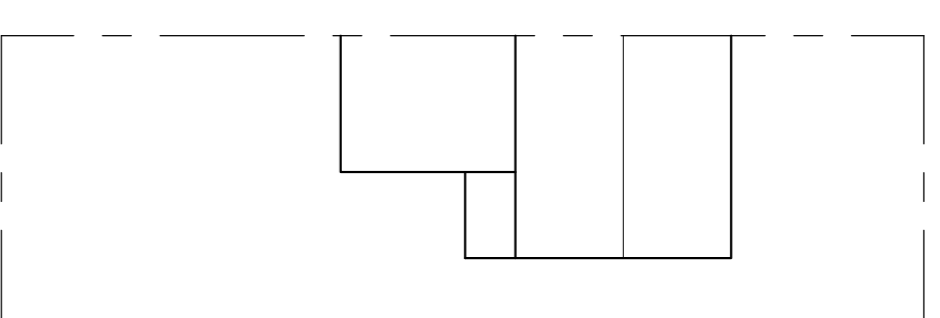
No.	Description	Date

Proposed Garden Room extension at
30 Cleves Avenue
Ferryhill
County Durham

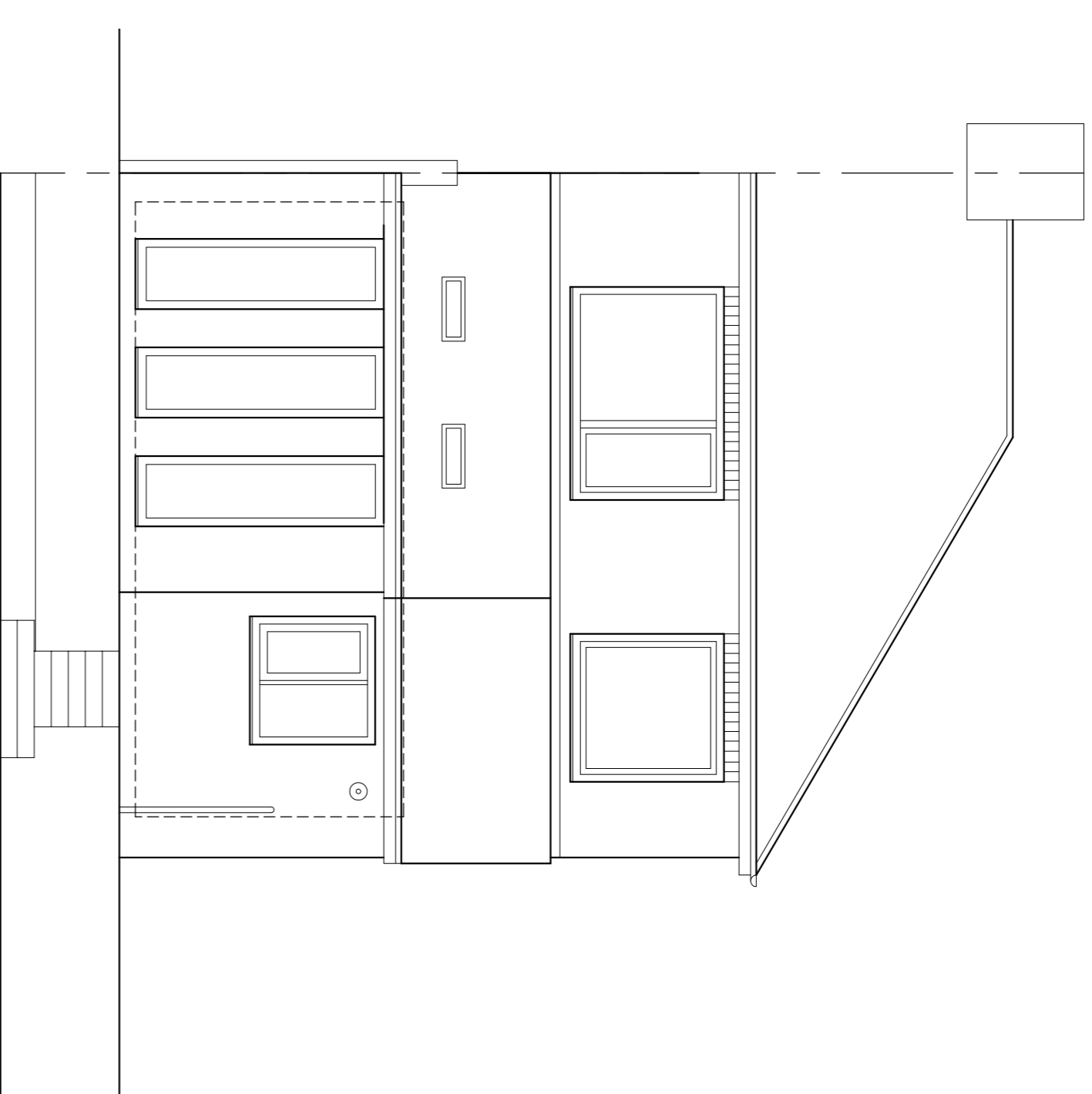
Plans and elevations as proposed

1.100/50

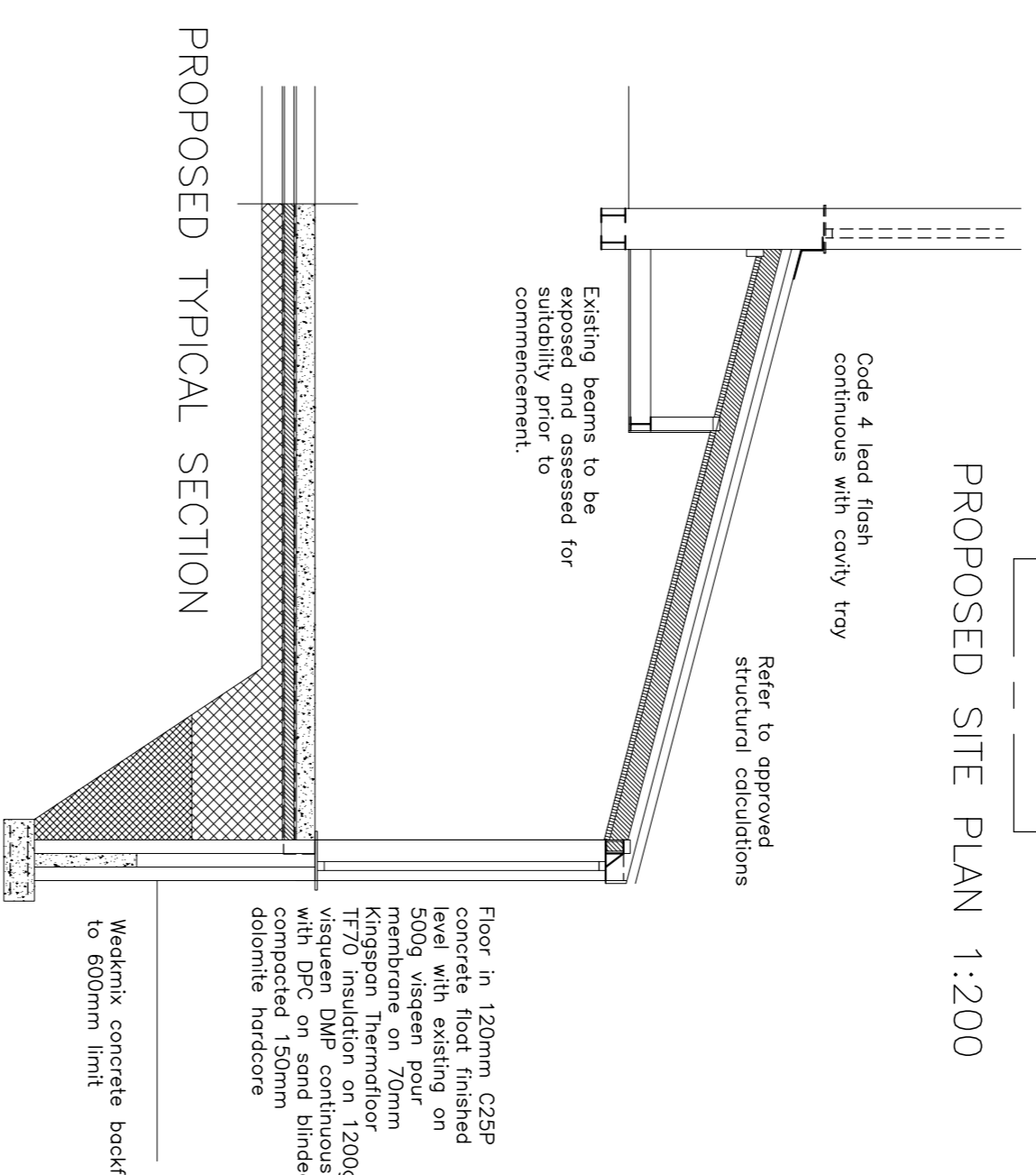
PBR2



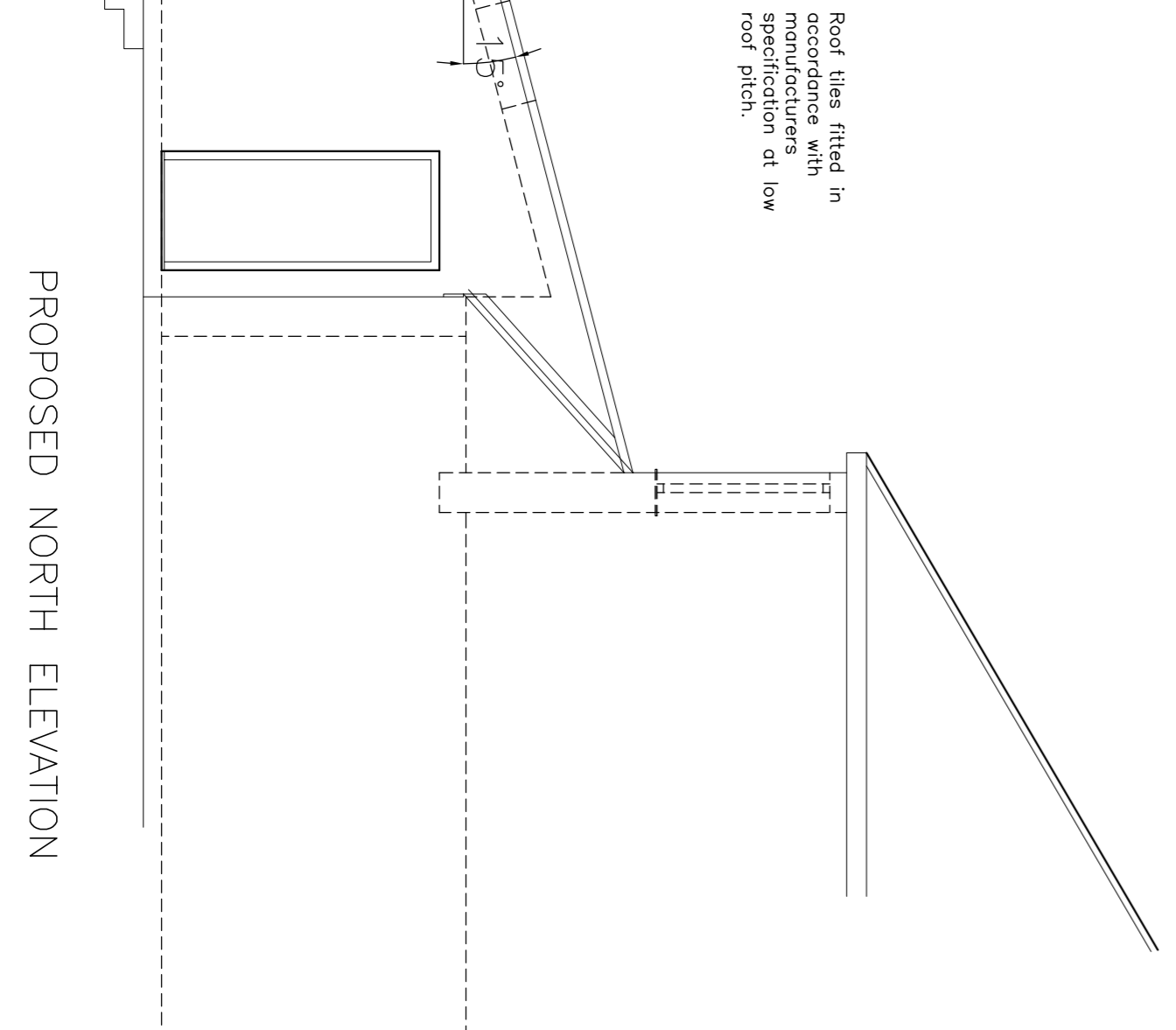
PROPOSED SITE PLAN 1:200



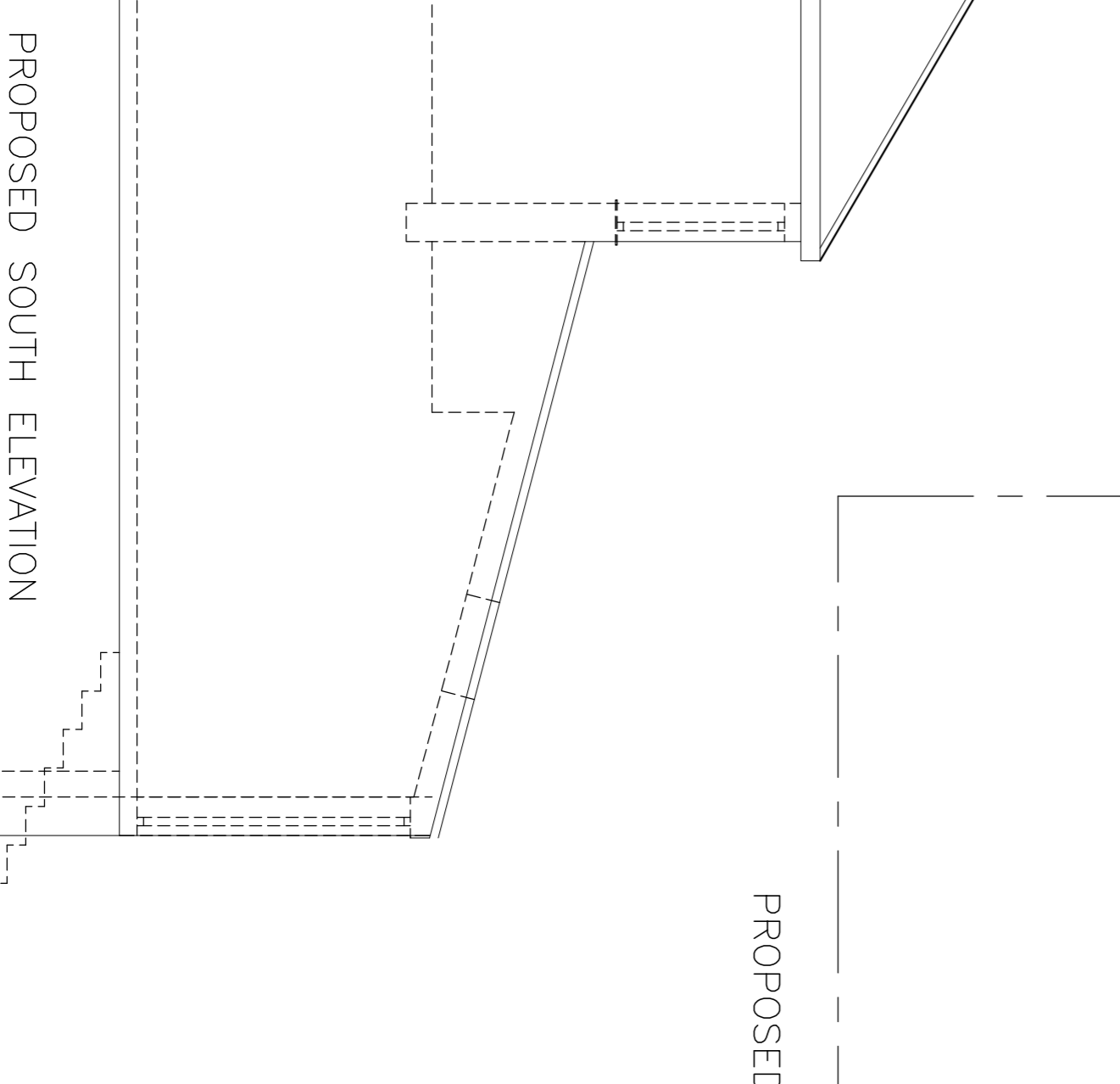
PROPOSED EAST ELEVATION



PROPOSED TYPICAL SECTION



PROPOSED NORTH ELEVATION



PROPOSED SOUTH ELEVATION

PROPOSED PLAN

Roof tiles fitted in accordance with manufacturers specification at low roof pitch.

Existing beams to be exposed and assessed for suitability prior to commencement.

Refer to approved structural calculations

Code 4 lead flash continuous with cavity tray

Floor in 120mm C25P concrete floor finished level with existing on membrane on 70mm Kingspan Thermofloor TR70 insulation on 120mm Kingspan Kooltherm K7 compacted 150mm doatmite hardcore Weckmix concrete backfill to 600mm limit

Existing beams to be exposed and assessed for suitability prior to commencement.

Lintel of upper well

Folding doors (Max. U value 1.8 W/m2K)

Velux rooflights include manufacturers specification at low roof pitch