

CONDITION 24 NOTE - LEVELS

CHESSINGTON WORLD OF ADVENTURES RESORT LODGE ACCOMMODATION SCHEME

PREPARED FOR:

Merlin Attractions Operations Ltd

JOB NO: 13730
ISSUE NO: 1
DATE: 22 October 2021



DOCUMENT HISTORY

Issue No.	Description	Date
1	Issued for discharge of planning condition 24.	22.10.2021

APPENDICES

APPENDIX A: FULL PLANNING PERMISSION LETTER

APPENDIX B: APPROVED LEVELS SCHEME

APPENDIX C: PROPOSED LEVELS DESIGN

1. INTRODUCTION

1.1. This Note has been prepared by Simpson Associates, on behalf of Merlin Attractions Operations Ltd to assist with the discharge of *Condition 24* associated with the planning permission ref. 18/10413/FUL for the proposed lodge accommodation at Chessington World of Adventures Resort (CWoAR) in Chessington, Kingston.

1.2. Condition 24 states;

“The levels of buildings, roads, parking areas and pathways within the site shall only be in accordance with details which shall have previously been submitted to and approved in writing by the Local Planning Authority before development is commenced.”

1.3. The full planning permission letter is included in *Appendix A*.

2. LEVELS DESIGN

2.1. A levels strategy for the scheme was approved under the planning application reference *18/10413/FUL*. A copy of the approved levels scheme is included in this Note in *Appendix B*, drawing Ref. 13730-SK03A.

2.2. A copy of the proposed levels design is included in this Note in *Appendix C*, which confirms building finished floor levels, road levels and gradients together with footpaths and parking area detailed level information.

2.3. The proposed levels design is in full accordance with the approved levels strategy and satisfies the requirements of *Condition 24*.

JOB NO:	13730	ISSUE NO:	1	ISSUE DATE:	22.10.2021	Page 2 of 5
AUTHOR:	B Tawton	OFFICE:	HENLEY	CHECKED BY:	M Cradduck	

APPENDIX A
PLANNING PERMISSION LETTER

Assistant Director of Strategic Planning & Infrastructure
Alex Chrusciak

Our Ref: 18/10413/FUL



Decision Notice

Date of Decision: 24 December 2018

Royal Borough of Kingston upon Thames
Guildhall 2, High Street
Kingston upon Thames
KT1 1EU

TOWN AND COUNTRY PLANNING ACT, 1990 (AS AMENDED)

**TOWN AND COUNTRY (MANAGEMENT PROCEDURE ORDER) (ENGLAND)
2015 (AS AMENDED)**

LOCATION: Chessington World Of Adventures Resort , Leatherhead Road,
Chessington, KT9 2NE

PROPOSAL: Erection of 34 lodges providing visitor accommodation,
theming features, boardwalks, internal access road, boundary
treatment and landscaping works, plant enclosure, and
associated infrastructure works (including surface water
drainage).

Under the provisions of part III of the Act the Council hereby GRANTS
PERMISSION for the development described above.

PERMIT subject to the following conditions:

- 1 The development hereby permitted shall be commenced within 3 years from the date of this decision.

Reason: In order to comply with Section 91 of the Town and Country Planning Act, 1990. (As amended)

- 2 The development hereby permitted shall be carried out in accordance with the following approved plans:

263_64_1 Site Location Plan(2)	Received	31/10/2018
263_64_11 Standard Lodges Site Plan Existin(2)	Received	31/10/2018
263_64_12 Standard Lodges Constraints(2)	Received	31/10/2018
263_64_13 Standard Lodges Site Plan Proposed(2)	Received	31/10/2018
263_64_16 Sections AA-DD as Existing(1)	Received	31/10/2018
263_64_17 Sections AA-DD Proposed(1)	Received	31/10/2018
263_64_2 Block Plan Extg(2)	Received	31/10/2018
263_64_3 Site Plan showing Constraints(2)	Received	31/10/2018
263_64_4 Site Plan Proposed(2)	Received	31/10/2018
263_64_5 Entrance Area Existing(2)	Received	31/10/2018
263_64_6 Entrance Area Constraints(2)	Received	31/10/2018
263_64_7 Entrance Area Site Plan Proposed(2)	Received	31/10/2018
A-1323_550_Typical Standard Lodge_REV_-(1)	Received	31/10/2018
A-1323_551_Standard Accessible Lodge_REV_-(1)	Received	31/10/2018
A-1323_552_Plant Enclosure_REV_-(1)	Received	31/10/2018
CWoAR Lodges Air Quality Assessment (April 2017)	Received	31/10/2018
CWoAR Lodges Air Quality Assessment Addendum Note (October 2018)	Received	31/10/2018
CWoAR Lodges Arboricultural Method Statement (October 2018)	Received	31/10/2018
CWoAR Lodges DAS Addendum (October 2018)	Received	31/10/2018

CWoAR Lodges Design and Access Statement (Part 1) (April 2017)	Received	31/10/2018
CWoAR Lodges Design and Access Statement (Part 2) (April 2017)	Received	31/10/2018
CWoAR Lodges Ecological Survey and Appraisal (October 2018)	Received	31/10/2018
CWoAR Lodges Economic Infographic (October 2018)	Received	31/10/2018
CWoAR Lodges Economic Statement (April 2017)	Received	31/10/2018
CWoAR Lodges Energy Strategy (April 2017)	Received	31/10/2018
CWoAR Lodges Energy Strategy Addendum Note (October 2018)	Received	31/10/2018
CWoAR Lodges Historic Environment Desk-based Assessment (updated October 2018) Part 2	Received	31/10/2018
CWoAR Lodges Landscape and Visual Appraisal (April 2017)	Received	31/10/2018
CWoAR Lodges Landscape and Visual Assessment Addendum Note (October 2018)_Part_1(1)	Received	31/10/2018
CWoAR Lodges Landscape and Visual Assessment Addendum Note (October 2018)_Part_2(1)	Received	31/10/2018
CWoAR Lodges Landscape and Visual Assessment Addendum Note (October 2018)_Part_3(1)	Received	31/10/2018
CWoAR Lodges Landscape and Visual Assessment Addendum Note (October 2018)_Part_4(1)	Received	31/10/2018
CWoAR Lodges Lodges Management Plan (October 2018)	Received	31/10/2018
CWoAR Lodges Noise Assessment Addendum Note (October 2018)	Received	31/10/2018
CWoAR Lodges Planning Statement (October 2018)	Received	31/10/2018
CWoAR Lodges Statement of Community Involvement Addendum Note (October 2018)	Received	31/10/2018
CWoAR Lodges Sustainability Statement (April 2017)	Received	31/10/2018
CWoAR Lodges Sustainability Statement Addendum Note (October 2018)	Received	31/10/2018
CWoAR Lodges Transport Technical Note (October 2018)	Received	31/10/2018
CWoAR Lodges Tree Protection Plan (October 2018)	Received	31/10/2018

CWoAR Lodges Tree Survey and Impact Assessment (October 2018)	Received	31/10/2018
CWoAR Lodges Utility Strategy (October 2018)	Received	31/10/2018
CWoAR Lodges- Statement of Community Involvement (April 2017)_Part_2	Received	31/10/2018
CWoAR Lodges- Statement of Community Involvement (April 2017)_Part_3	Received	31/10/2018
CWoAR Lodges- Statement of Community Involvement (April 2017)_Part_4	Received	31/10/2018
CWoAR Lodges- Statement of Community Involvement (April 2017)_Part_5	Received	31/10/2018
CWoAR Lodges- Statement of Community Involvement (April 2017)_Part_6	Received	31/10/2018
CWoAR Lodges- Statement of Community Involvement (April 2017)_Part_7	Received	31/10/2018
CWoAR Lodges- Statement of Community Involvement (April 2017)_Part_8	Received	31/10/2018
CWoAR Long Term Plan (September 2016)_Part_1	Received	31/10/2018
CWoAR Long Term Plan (September 2016)_Part_2	Received	31/10/2018
CWoAR Long Term Plan (September 2016)_Part_3	Received	31/10/2018
CWoAR Preliminary Ecological Appraisal (March 2017)	Received	31/10/2018

3 Full details of the materials, colour and texture of the external finish of the buildings shall be submitted to and approved in writing by the Local Planning Authority before development commences and the development shall be constructed in accordance with the approved finishes.

Reason: To ensure a satisfactory appearance on completion of the development in accordance with Policy DM10 (Design Requirements for New Developments including House Extensions) of the LDF Core Strategy Adopted April 2012.

4 Before the first use of the development takes place, details of external lighting shall have been submitted to and approved in writing by the Local Planning Authority. The external lighting shall be installed in accordance with the approved details and thereby retained as such unless a variation is

subsequently submitted to and approved in writing by the Local Planning Authority.

Reason: To protect the character of the area and nature conservation interests in accordance with Policy DM10 of the LDF Core Strategy

5 Prior to the commencement of development the developer/construction contractor shall sign up to the Non-Road Mobile Machinery Register. The development shall be carried out in accordance with the NRMM Regulations and the inventory of all NRMM used on site shall be maintained and provided to the Local Planning Authority upon request to demonstrate compliance with the regulations.

Reason: To reduce the emissions of construction and demolition in accordance with the Mayor of London Control of Dust and Emissions during Construction and Demolition SPG July 2014. Compliance is required to be prior to commencement due to the potential impact at the beginning of the construction.

6 Prior to commencement of any development on site, a Construction Management Plan (CMP) and Delivery and Servicing Management Plan shall be submitted to the planning authority for written agreement. The development shall only be implemented in accordance with the details and measures approved as part of the approved details, which shall be maintained throughout the entire construction period.

The CMP should include the following:

- a) Provision for loading/unloading materials;
- b) Storage of plant, materials and operatives vehicles;
- c) Temporary site access;
- d) Signing system for works traffic;
- e) Measures for the laying of dust, suppression of noise and abatement of other nuisance arising from development works;
- f) Location of all ancillary site buildings;
- g) Means of enclosure of the site; and
- h) Wheel washing equipment.

Reason: In order to safeguard the amenities of the surrounding residential occupiers and to safeguard highway safety and the free flow of traffic in accordance with Policy DM10 (Design Requirements for New Developments including House Extensions) of the LDF Core Strategy Adopted April 2012. These details are required prior to commencement of development because the relevant works would take place at the beginning of the construction phase.

7 The site and building works required to implement the development shall be only carried out between the hours of 08.00 and 18.00 Mondays to Fridays and between 08.00 and 13.00 on Saturdays and not at all on Bank Holidays and Sundays.

Reason: In order to protect residential amenity.

8 A remedial strategy shall be submitted to and agreed in writing by the Local Planning Authority, prior to the commencement of the development works and remedial works. On completion of the agreed remedial works, a closure report and certificate of compliance endorsed by the interested party/parties, shall be submitted to and agreed in writing by the Local Planning Authority, prior to the occupation of the site by end users.

Reason: To prevent harm to human health and pollution of the environment. These details are required prior to commencement of development because the relevant works would take place at the beginning of the construction phase.

9 If during implementation of this development, contamination is encountered which has not previously been identified, the additional contamination shall be fully assessed and a specific contaminated land assessment and associated remedial strategy shall be submitted to and agreed in writing by the Local Planning Authority before the additional remediation works are carried out. The agreed strategy shall be implemented in full prior to completion of the development hereby approved.

Reason: To prevent harm to human health and pollution of the environment.

10 Prior to any groundworks (excluding site investigations and demolition), the applicant must submit a final detailed drainage design strategy including drawings to the Lead Local Flood Authority for review and approval. The strategy should demonstrate that the London Plan drainage hierarchy has been applied, the site will achieve a maximum runoff rate no higher than the greenfield rate (including in the calculations the whole site area) as well as confirmation of the features and site's sustainable drainage system final layout. The strategy will need to include storage volume calculations, an annotated map of the exceedance routes, evidence calculations showing that there will be no onsite flooding and a detailed maintenance plan. The maintenance plan must confirm how and who will maintain each of the components of the proposed drainage scheme for the lifetime of the development.

Reason: To prevent the risk of flooding to and from the site in accordance with the Non-Statutory Technical Standards for Sustainable Drainage Systems, the National Planning Policy Framework (Paragraph 103), the London Plan (Policies 5.12 and 5.13) along with associated guidance to these policies and DM4 of Kingston's Core Strategy.

11 Prior to occupation, evidence (photographs and installation contracts) must be submitted to demonstrate that the sustainable drainage scheme for the site has been constructed in accordance with the submitted details. The sustainable drainage scheme shall be managed and maintained thereafter in accordance with the agreed management and maintenance plan.

Reason: To comply with the the Non-Statutory Technical Standards for Sustainable Drainage Systems, the National Planning Policy Framework

(Paragraph 103), the London Plan (Policies 5.12 and 5.13) along with associated guidance to these policies and DM4 of Kingston's Core Strategy.

12 The disabled car parking accommodation shown upon the approved drawings shall be provided before the development to which it relates is occupied and thereafter it shall be kept free from obstruction at all times for use by disabled users of the development and shall not thereafter be used for any purposes other than the parking of vehicles for the occupiers of the development and visitors to it.

Reason: To ensure the provision of adequate off-street parking accommodation and to avoid the congestion of surrounding roads by parked vehicles in accordance with Policy DM10 (Design Requirements for New Developments including House Extensions) of the LDF Core Strategy Adopted April 2012.

13 Refuse storage facilities and recycling facilities shall be provided prior to the occupation of the development hereby permitted in accordance with details which shall have been submitted to and approved in writing by the Local Planning Authority prior to the commencement of the development, such facilities to be permanently retained at the site.

Reason: To ensure the provision of refuse facilities to the satisfaction of the Council in accordance with Policy DM10 (Design Requirements for New Developments including House Extensions) of the LDF Core Strategy Adopted April 2012.

14 The development shall be carried out in accordance with the recommendations as set out in Section 5 of the submitted Ecological Survey and Appraisal, dated October 2018.

Reason: To safeguard and protect the sites biodiversity and nature conservation value in accordance with Policy DM6 (Biodiversity) of the LDF Core Strategy Adopted April 2012.

15 The development shall be implemented in accordance with the details of the submitted Energy Strategy Technical Note (October 2018), unless otherwise agreed in writing by the Council.

Reason: In the interests of sustainability and energy conservation in accordance with Policies 5.2 (Minimising Carbon Dioxide Emissions) and 5.3 (Sustainable Design & Construction) of the London Plan (July 2011) and Policy DM1 (Sustainable Design and Construction Standards) of the LDF Core Strategy Adopted April 2012.

16 Prior to commencement of any development on site, a Construction Environmental Management Plan (CEMP) shall be submitted to the planning authority for written agreement. The development shall only be implemented in accordance with the details and measures approved as part of the CEMP, which shall be maintained throughout the entire construction period.

The CEMP should include the following:

- a) Risk assessment of potentially damaging construction activities;
- b) Identification of "biodiversity protection zones";

- c) Practical measures (both physical measures and sensitive working practices) to avoid or reduce impacts during construction (may be provided as a set of method statements).;
- d) The location and timing of sensitive works to avoid harm to biodiversity features;
- e) The times during construction when specialist ecologists need to be present on site to oversee works;
- f) Responsible persons and lines of communication;
- g) The role and responsibilities on site of an ecological clerk of works (ECoW) or similarly competent person;
- h) Use of protective fences, exclusion barriers and warning signs.

Reason: To safeguard and protect the sites biodiversity and nature conservation value in accordance with Policy DM6 (Biodiversity) of the LDF Core Strategy Adopted April 2012. These details are required prior to commencement of development because the relevant details need to be agreed before the construction phase.

17 No fans, louvres, ducts or other external plant other than those shown on the drawings hereby approved shall be installed without the prior written approval of the Local Planning Authority.

Reason: To safeguard the amenities of the occupiers of the neighbouring properties and the visual amenities of the area in accordance with Policy DM10 (Design Requirements for New Developments including House Extensions) of the LDF Core Strategy Adopted April 2012.

18 An updated Travel Plan for the Chessington World of Adventures site to include the Safari Lodge facilities hereby approved, shall be implemented upon the development being brought into first use and in accordance with details to be submitted to and approved by the Local Planning Authority prior to the development being brought into first use.

Reason: To ensure that sustainable transport methods are encouraged and implemented in accordance with Policies CS5 (Reducing the Need to Travel) and CS6 (Sustainable Travel) of the LDF Core Strategy Adopted April 2012.

19 The rating level of the noise emitted from any plant and equipment within the area to which this permission relates shall be at least 5dBA lower than the existing background noise level at any given time of operation. The noise levels shall be determined 1m externally to any window at the nearest residential façade. Measurements and assessment shall be carried out in accordance with British Standard 4142: 1997.

Reason: To safeguard the amenities of the occupiers of the neighbouring properties in accordance with Policy DM10 (Design Requirements for New Developments including House Extensions) of the LDF Core Strategy Adopted April 2012.

20 A landscaping and planting scheme including where applicable the retention of the existing trees shall have been submitted to and approved in writing by the Local Planning Authority before any above ground level works

on site are commenced. The approved scheme shall be implemented within the first planting season following completion of the development and the tree planting and landscaping shall thereafter be maintained for five years to the satisfaction of the Local Planning Authority. Any trees or shrubs which die during this period shall be replaced in the first available planting season, and the area shown to be landscaped shall be permanently retained for that purpose only.

Reason: In the interests of visual amenity and also that the Local Planning Authority shall be satisfied as to the details of the development in accordance with Policy DM10 (Design Requirements for New Developments including House Extensions) of the LDF Core Strategy Adopted April 2012.

21 The development shall be constructed in accordance with the submitted and approved Arboricultural Method Statement and Tree Protection Plan dated October 2018.

Reason: In the interests of visual amenities/ tree protection and so that the Local Planning Authority shall be satisfied as to the details of the development in accordance with Policy DM10 (Design Requirements for New Developments including House Extensions) of the LDF Core Strategy Adopted April 2012.

22 The no. 3 accessible lodges as shown on dwg no. 263/64 4, shall be constructed to meet requirement M4(3) of Part M of Building Regulations, and shall remain as such in perpetuity, unless otherwise agreed in writing by the Local Planning Authority.

Reason: To ensure that the development provides a range of accommodation to meet different needs and to ensure compliance with Policies 3.5 and 3.8 of the London Plan March 2015.

23 No demolition or development shall take place until a written scheme of investigation (WSI.) has been submitted to and approved by the local planning authority in writing. For land that is included within the WSI, no demolition or development shall take place other than in accordance with the agreed WSI, which shall include the statement of significance and research objectives, and

A. The programme and methodology of site investigation and recording and the nomination of a competent person(s) or organisation to undertake the agreed works

B. The programme for post-investigation assessment and subsequent analysis, publication & dissemination and deposition of resulting material. This part of the condition shall not be discharged until these elements have been fulfilled in accordance with the programme set out in the WSI.

Reason: Important archaeological remains may exist on this site. Accordingly the planning authority wishes to secure the provision of archaeological excavation and the subsequent recording of the remains prior to development, in accordance with Policy DM 12 (Development in Conservation Areas and Affecting Heritage Assets) of the LDF Core Adopted April 2012.

24 The levels of buildings, roads, parking areas and pathways within the site shall only be in accordance with details which shall have previously been submitted to and approved in writing by the Local Planning Authority before development is commenced.

Reason: To ensure that the appearance and functioning of the development is satisfactory and to safeguard the amenities of adjoining occupiers in accordance with Policy DM10 (Design Requirements for New Developments including House Extensions) of the LDF Core Strategy Adopted April 2012 and comply with Supplementary Planning Document 'Access for All' (July 2005).

INFORMATIVE(S)

- 1 In dealing with the application the Council has implemented the requirement in the National Planning Policy Framework to work with the applicant in a positive and proactive way. We have made available detailed advice in the form of our statutory policies in the Core Strategy, Supplementary Planning Documents, Planning Briefs and other informal written guidance, as well as offering a full pre-application advice service, in order to ensure that the applicant has been given every opportunity to submit an application which is likely to be considered favourably.
- 2 The development approved by this planning permission will be liable to pay the Mayor of London's Community Infrastructure Levy (MCIL) and Kingston Community Infrastructure Levy (KCIL). We have calculated the amount of MCIL liability to be £28,280 and the amount of KCIL liability to be £40,400.

Payment will be due once the owner/developer serves a development Commencement Notice on the Council, and a payment Demand Notice has been received by the owner. Failure to submit a Commencement Notice will incur a surcharge of 20% of the chargeable amount or £2,500, whichever is the lower amount.

When you have received approval of all reserve matters / discharged all pre-commencement conditions the Council will issue a Liability Notice to the owner setting out the MCIL and CIL calculation. Accompanying the Liability Notice will be a blank Commencement Notice and if necessary a blank Assumption of Liability form, both of which need to be completed and returned to the Council prior to development commencing. A failure to do so will incur a surcharge.

Should you have any questions in respect of the contents of this letter or the MCIL more generally, please contact the Council's Contact Centre 0208 547 5002.

- 3 The works shall be of such a nature so as to render harmless the identified contamination given the proposed end-use of the site and surrounding environment including any controlled waters. The closure report shall

include details of the proposed remedial works and the quality assurance certificates to show that the works have been carried out in full in accordance with the approved methodology. Details of any post remediation sampling and analysis to show the site has reached the required clean up criteria shall be included in the closure report together with the necessary "Duty of Care" documentation detailing what waste material have been removed from the site.

All work should be in accordance with the HSE document "Protection of workers & the general public during the development of Contaminated Land".

- 4 The written scheme of investigation will need to be prepared and implemented by a suitably qualified professionally accredited archaeological practice in accordance with Historic England's Guidelines for Archaeological Projects in Greater London. This condition is exempt from deemed discharge under schedule 6 of The Town and Country Planning (Development Management Procedure) (England) Order 2015.

Your attention is drawn to your rights of appeal (attached) and to the fact that this decision relates only to the Town & Country Planning Acts and to no other enactment or The Building Regulations.

TOWN AND COUNTRY PLANNING ACT 1990 (as amended)

Appeals to Secretary of State

- If you are aggrieved by the decision of your local planning authority to refuse permission for the proposed development or to grant it subject to conditions, then you can appeal to the Secretary of State for Environment, Transport and the Regions under section 78 of the Town and Country Planning Act 1990.
- If you want to appeal, then you must do so within six months of the date of this notice, using forms and guidance which can be downloaded from The Planning Inspectorate web site <https://www.gov.uk/appeal-planning-inspectorate>. Alternatively they can be obtained from the following address:- The Planning Inspectorate, Room 3/13, Temple Quay House, 2 The Square, Temple Quay, Bristol BS1 6PN.
- The Planning Inspectorate has introduced an online appeals service which you can use to make your appeal online. You can find the service through the Appeals area of the Planning Portal – see <https://www.planningportal.co.uk/info/200207/appeals>. The Inspectorate will publish details of your appeal on the internet (on the Appeals area of the Planning Portal). This may include a copy of the original planning application form and relevant supporting documents supplied to the local authority by you or your agent, together with the completed appeal form and information you submit to the Planning Inspectorate. Please ensure that you only provide information, including personal information belonging to you that you are happy will be made available to others in this way. If you supply personal information belonging to a third party please ensure you have their permission to do so. More detailed information about data protection and privacy matters is available on the Planning Portal.
- The Secretary of State can allow a longer period for giving notice of an appeal, but he will not normally be prepared to use this power unless there are special circumstances which excuse the delay in giving notice of appeal.
- The Secretary of State need not consider an appeal if it seems to him that the local planning authority could not have granted planning permission for the proposed development or could not have granted it without the conditions they imposed, having regard to the statutory requirements, to the provisions of any development order and to any directions given under a development order.
- In practice, the Secretary of State does not refuse to consider appeals solely because the local planning authority based their decision on a direction given by him.

Purchase Notices

- If either the local planning or the Secretary of State for Environment, Transport and the Regions refuses permission to develop land or grants it subject to conditions, the owner may claim that he can neither put the land to a reasonably beneficial use in its existing state nor render the land capable of a reasonably beneficial use by the carrying out of any development which has been or would be permitted.
- In these circumstances, the owner may serve a purchase notice on the Council in whose area the land is situated. This notice will require the Council to purchase his interest in the land in accordance with the provisions of Part VI of the Town and Country Planning Act 1990 (as amended).

APPENDIX B
APPROVED LEVELS SCHEME



DO NOT SCALE

A	SITE PLAN UPDATED TO ARCHITECTS	LOC	17.08.18
MC	LASTEST DRAWING 25.04.19	REVISION	BY DATE

DRAWING STATUS

INFORMATION

DRAWING TITLE

PRELIMINARY LEVELS LAYOUT

PROJECT Project Number: 13730

CHESSINGTON WORLD OF ADVENTURES LODGES



Drawn	Checked	Scale	Date
JBC	AR	1:250	OCT 16

Purpose of Issue

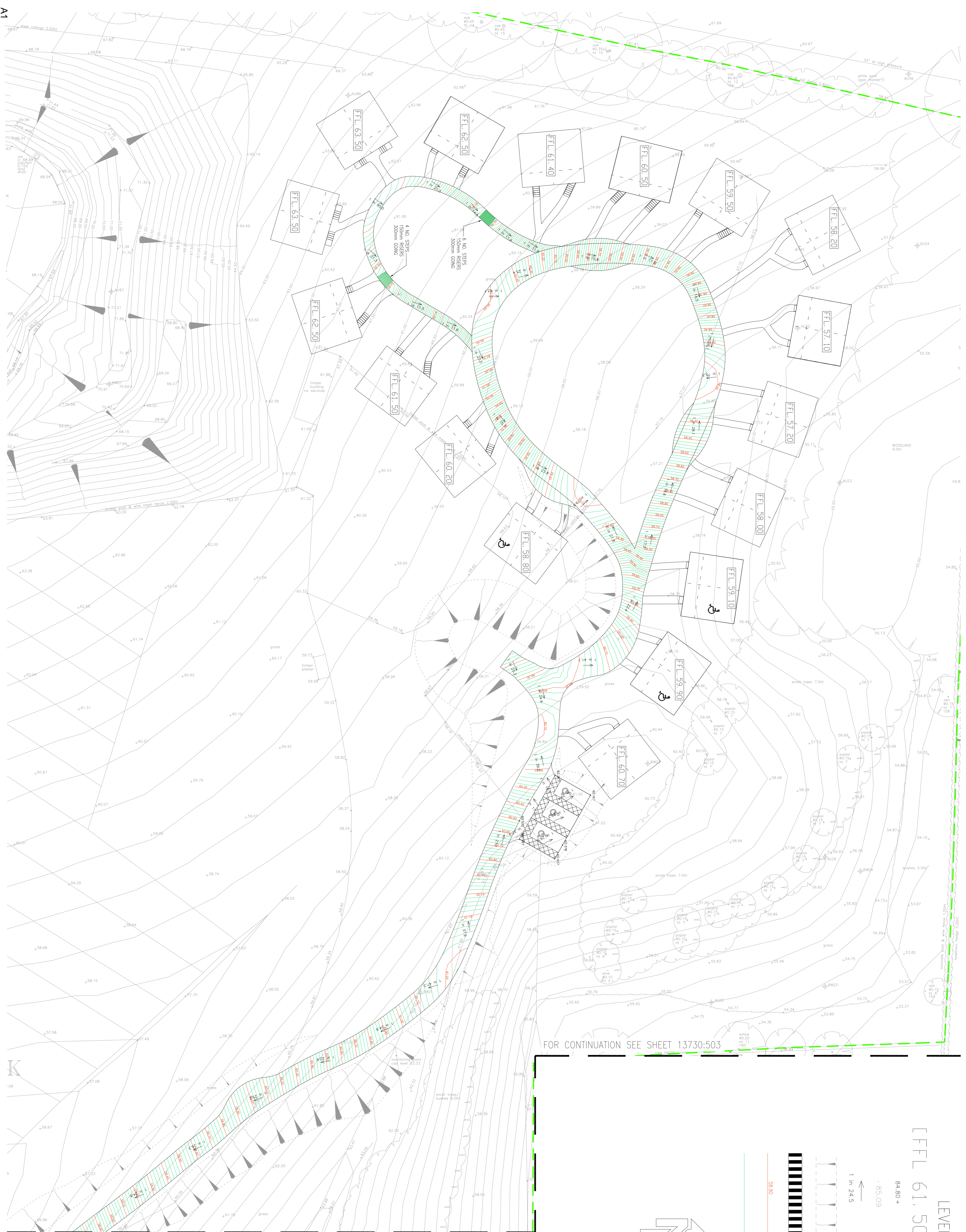
INFORMATION

Drawing Number	Revision
13730:SK03	A





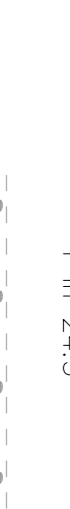



A0

APPENDIX C
PROPOSED LEVELS DESIGN


DO NOT SCALE

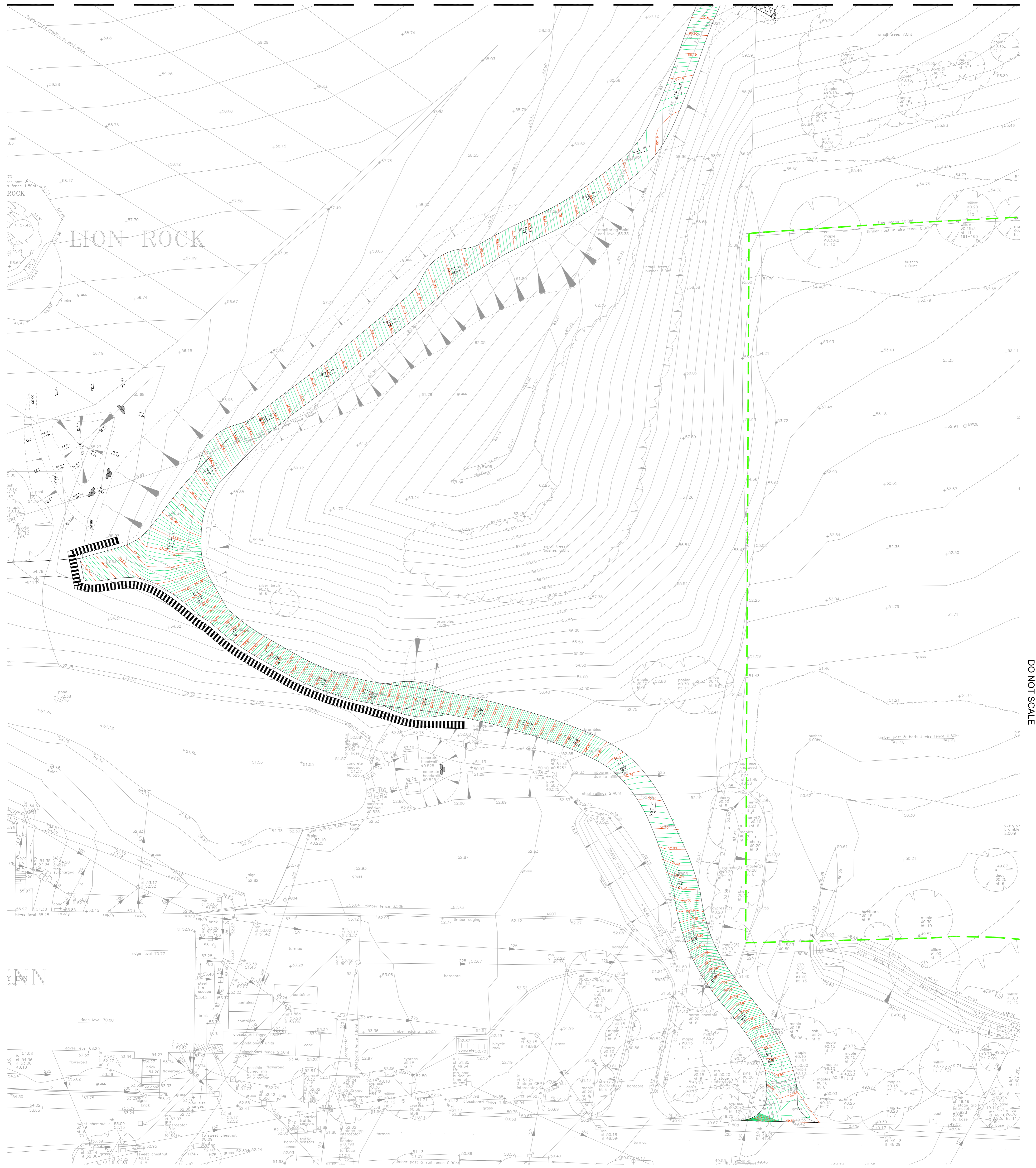


LEVELS LEGEND

-  Proposed finished floor level
-  Proposed level
-  Existing level
-  Proposed gradient
-  Proposed bank at max. 1:3 gradient
-  Denotes extent of proposed retaining wall
-  Proposed highlight contours at 100mm intervals
-  Proposed highlight contours at 20mm intervals

FOR CONTINUATION SEE SHEET 13730:503

	
8 Friday Street Henley on Thames Oxfordshire RG9 1AH 137301 01241	
London, Henley-on-Thames and Gloucester Drawn: [Name] Scale: @ A1 Date: [Date] Project: [Name] Rev: [Rev]	
DISCHARGE OF CONDITIONS Drawing Number: 13730 : 502 Revision: P1	
PROPOSED LEVELS LAYOUT SHEET 1 OF 2 Project Number: 13730	
CHESSINGTON WORLD OF ADVENTURES LODGES	
DRAWING STATUS P1: SS&L RFR DISCHARGE OF PLANNING (CONSENT) ST. REVISION BCT: 21/10/21 BY: [Name] DATE: [Date]	
DRAWING TITLE PROPOSED LEVELS LAYOUT SHEET 1 OF 2	



DO NOT SCALE

LEVELS LEGEND

Proposed finished floor level

Proposed level

Existing level

Proposed gradient

Proposed bank at max. 1:3 gradient

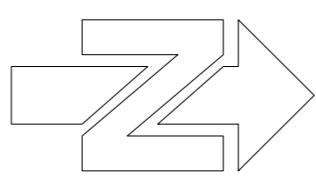
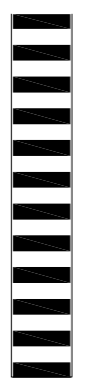
Denotes extent of proposed retaining wall

Proposed highlight contours of 100mm intervals

Proposed highlight contours of 20mm intervals

84.80+

83.09



<p>8 Friday Street Henley on Thames Oxfordshire RG9 1AH 18491 01261</p>	
<p>London, Henley-on-Thames and Gloucester</p>	
<p>Drawn: [Name]</p> <p>Checked: [Name]</p> <p>Project No: [Number]</p> <p>Scale: [Scale]</p> <p>Date: [Date]</p>	<p>DISCHARGE OF CONDITIONS</p> <p>Drawing Number: 13730 : 503</p> <p>Revision: P1</p>
<p>PROJECT</p> <p>Project Number: 13730</p> <p>CHESSINGTON WORLD OF ADVENTURES LODGES</p>	
<p>DRAWING TITLE</p> <p>PROPOSED LEVELS LAYOUT SHEET 2 OF 2</p>	
<p>DRAWINGS STATUS</p> <p>Final</p>	
<p>PI: [Name]</p> <p>DESIGN: [Name]</p> <p>REVISION: [Name]</p>	<p>BY: [Name]</p> <p>DATE: [Date]</p>