



Design and Access Statement Revision A

for the Proposed Internal Alterations
at 21 Queen's Grove

St. John's Wood

City of Westminster

London

NW8 6EL

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1.0 INTRODUCTION

This Design and Access Statement has been prepared by Clague Architects (Clague LLP) Historic Buildings Team on behalf of Mr James Green of Alexander Green Group, c/o Mr and Mrs Secron. It relates to the proposed alteration of 21 Queen's Grove, a Grade II listed private dwelling.

The purpose of this document is to provide information explaining the proposed design. It should always be read in conjunction with the formal scaled drawings and documents which constitute the planning and listed building application.

1.1 SITE AND LOCATION

The dwelling, built c.1830-40, is located in St. John's Wood, City of Westminster, north-west London and is Grade II listed. The property is formed within a long Georgian terrace with all other dwellings in the terrace also Grade II listed. The site lies within St. John's Wood Conservation Area under Westminster City Council.

The immediate street setting is predominantly residential in a high-end, well-known, London suburb. St. John's Wood is located in north-west London, in the Borough of Westminster. It is situated to the north of Marylebone and to the south of Primrose Hill.

To the front of the property is a paved terrace area the width of the house, along with a Grade II listed wall along the full length of the front of the terraced houses. There are steps up from the road level to the private terrace area and steps up again to the front entrance. The site has a level decking area to the rear, enclosed within a high-level garden wall.

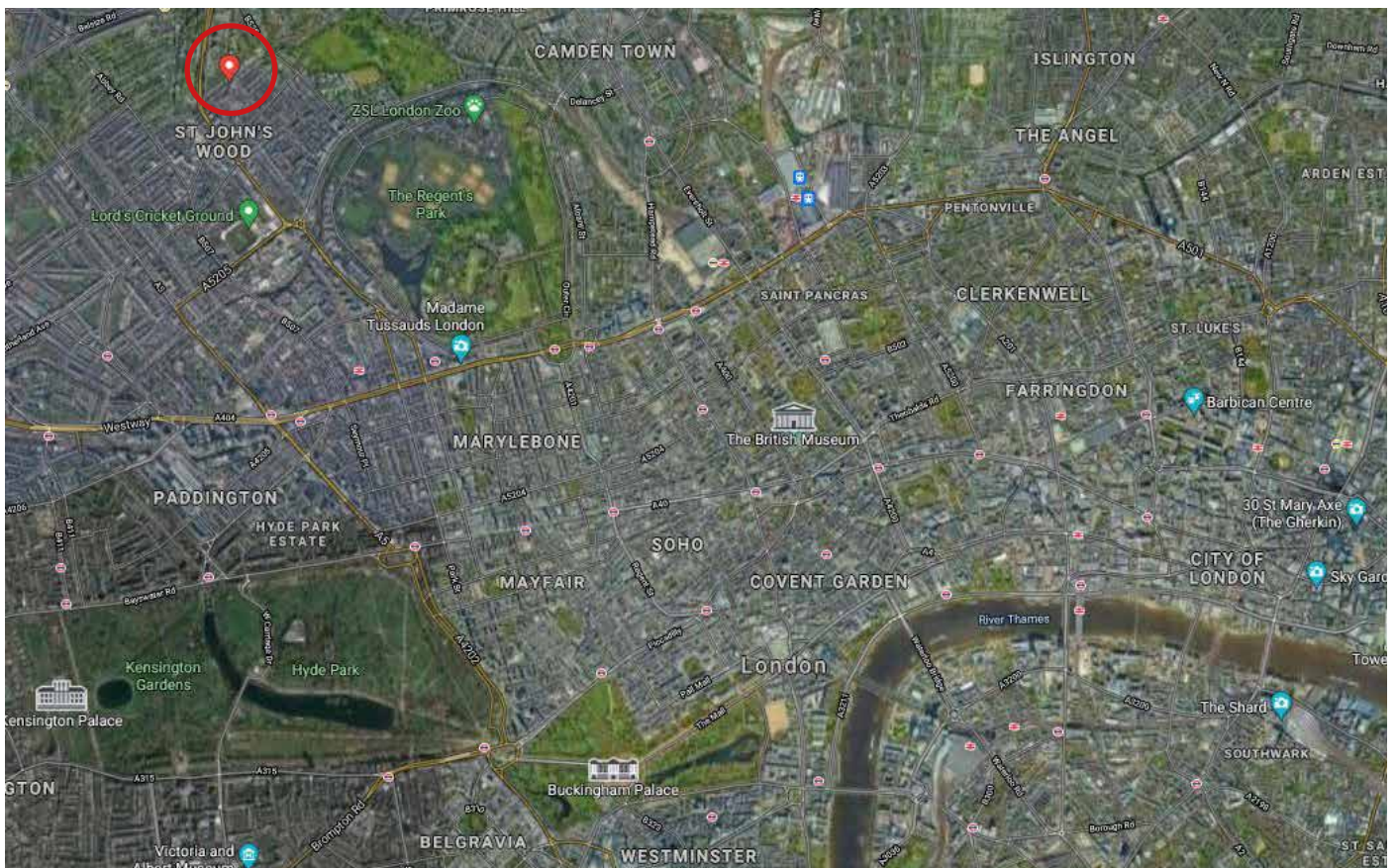


Fig.1 Site Location Plan - Google Maps

1.2 SITE ANALYSIS

The site became a protected Conservation Area in the 1960s, meaning that new developments and modern buildings in this area are extremely rare. The wider area of St John's Wood consists mainly of detached and semi-detached villas and apartments in historic mansion blocks. Queens Grove consists of Georgian terraced houses on one side of the street and modern detached villas on the other.

The house is formed over 4 storeys including a converted cellar currently used as kitchen and dining areas with a lower level to the cellar used as a utility room and WC. The rest of the house consists of the typical 2no. Reception rooms, multiple bedrooms and ensuites. This lower cellar level lies below the front terrace. The house was modernised within the last 10 years, however, is in need of a complete internal refurbishment.

The house features single glazed sash windows and is of stock brick with stucco dressings and a slate roof.

As part of the refurbishment works undertaken in previous years, attempts were made to modernise some of the historic details. Some of the alterations and additions were more successful than others but have left the existing historic details in conditions which need improving.



Fig.2 Queen's Grove Terrace



Fig.3 Existing Ground Floor Reception Room



Fig.4 Existing Basement Kitchen



Fig.5 Existing First Floor Ensuite

2.0 DESIGN

The proposal seeks to repurpose some of the rooms within the house while upgrading the internal finishes in order to improve the quality of living for the occupants.

2.1 USE

The site will retain its private use. The proposal is for internal alterations along with window replacements where necessary. The dwelling is currently unoccupied and is in need of internal refurbishment to enable the dwelling to become suitable for occupation.

The works will consist of minor demolitions to existing internal walls, doorways and the lower ground floor staircase. Historic detailing and features will be protected and maintained where they exist.

2.2 AMOUNT, LAYOUT AND IMPACT

Basement

The existing basement is formed of one main room, currently used as a kitchen/dining space, with one ancillary room set at a lower level via a short staircase. Both rooms have good floor to ceilings heights and are suitable for reordering in order to bring the spaces back to use. The rooms are accessed from a rather uneven, narrow staircase from the ground floor. This existing staircase is not historic and will be demolished and rebuilt.

To the rear of the basement floor, there is an existing WC/boiler/storage room. The proposal includes the removal of the sanitaryware and hot water cylinder. This area is to be reordered and repurposed as a Utility room, including new base units and worktop, appliances, and storage cupboard. There are 2 modern but poor-quality windows in this room. They are to be removed and replaced with new sash windows which will be much more sympathetic to the setting and Grade II listed dwelling.

The existing rear double doors will also be removed and replaced with a new double doorset.

The lower cellar area is situated below the front terrace area above ground. There is a set of external stairs connecting the front terrace with the lower cellar area. The existing WC in this area is to be demolished with sanitaryware removed and plumbing capped off. The proposals allow for a new WC/shower room with a pocket door. The internal stairs down to the lower-level area will be widened to improve access.

The existing kitchen area is modern but now dated and in need of refurbishment. The kitchen will be demolished, and a new kitchen is to be installed along with new appliances.

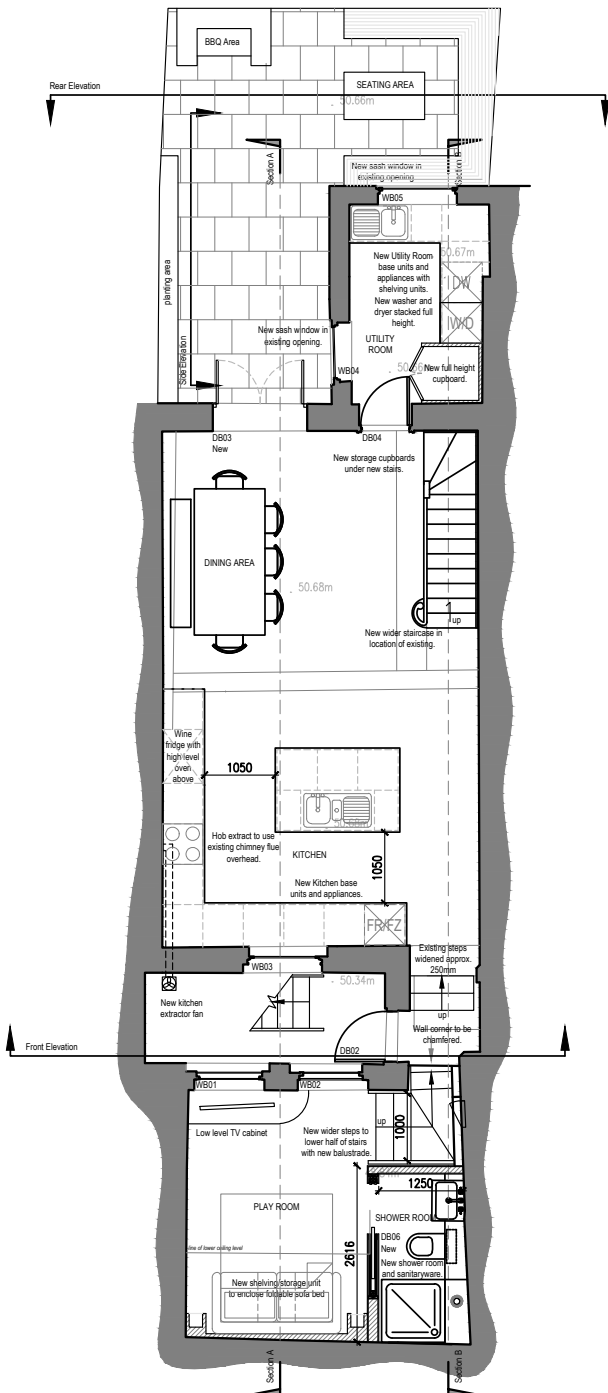


Fig.6 Proposed Basement Plan

Ground Floor

The existing ground floor plan is formed from 2 principal rooms all accessed from a long narrow hallway with a smaller room to the rear of the property. The original staircase is positioned to the right of the property along the party wall.

The property has two chimneys on the left party wall, one of which is to be demolished. The hallway slopes towards the rear of the dwelling, where there is thought to have originally been a small step. The modern alterations likely created the slope to improve access in the hallway. The proposals seek to reinstate the step to its original position as a historic feature.

The proposals to the ground floor are minimal but important for improving use of space for the occupants. Currently, the access to the reception rooms is through a standard sized door from the hallway, which is to be removed and the opening blocked up. The internal wall to the front reception room is to be opened up for a new double pocket door.

Similarly to the basement, the rear modern window to the ground floor is to be removed and replaced with a new traditional style sash window, sympathetic towards the Georgian house. In this area, the room is to be repurposed as a WC/boot room with new sanitaryware and plumbing.

These proposals have been classed as less than substantial harm, as they are minor works to non-historic fabric.

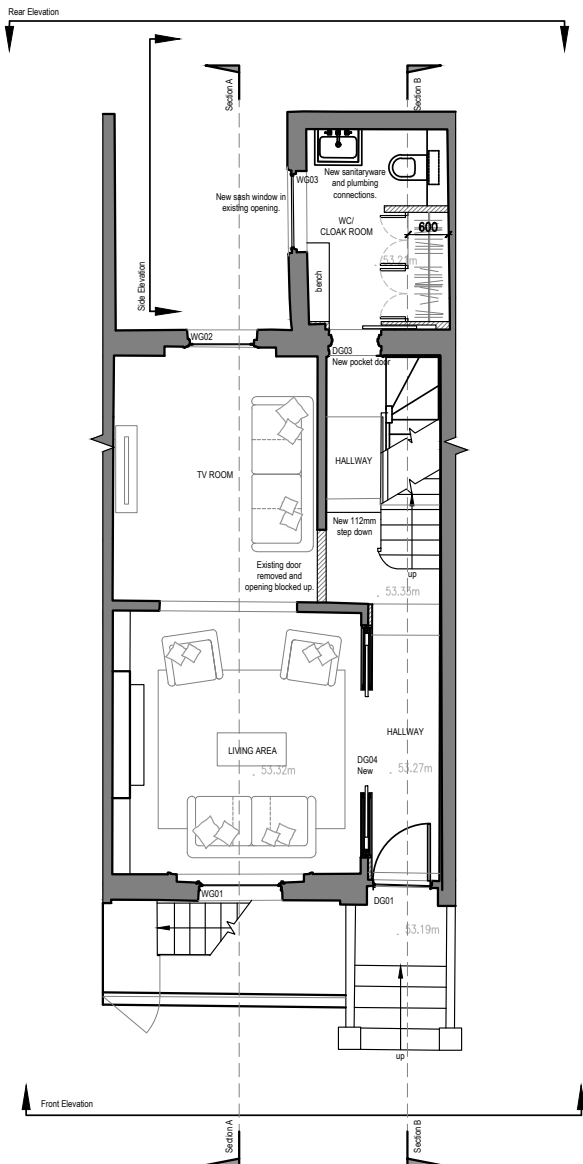


Fig.7 Proposed Ground Floor Plan

First Floor

The existing first floor is similar in plan to the ground floor, with 2 principal rooms, one in the rear extension and most structural lines continue through from below. The proposals seek to retain the existing uses for these rooms but redesign the layout of the ensuite. The double doors to the ensuite are to be removed and replaced with a thicker wall suitable for a new pocket door.

The rear chimney stack is to be removed throughout all floors. This will allow for better use of the existing ensuite space. There will be a new walk-in wardrobe to the front of the ensuite, with the space to include a shower to replace the existing bath, double sinks and a new toilet. Existing plumbing connections are to be used where possible.

These proposals on this floor have been classes as less than substantial harm, as they are minor works to non-historic fabric.

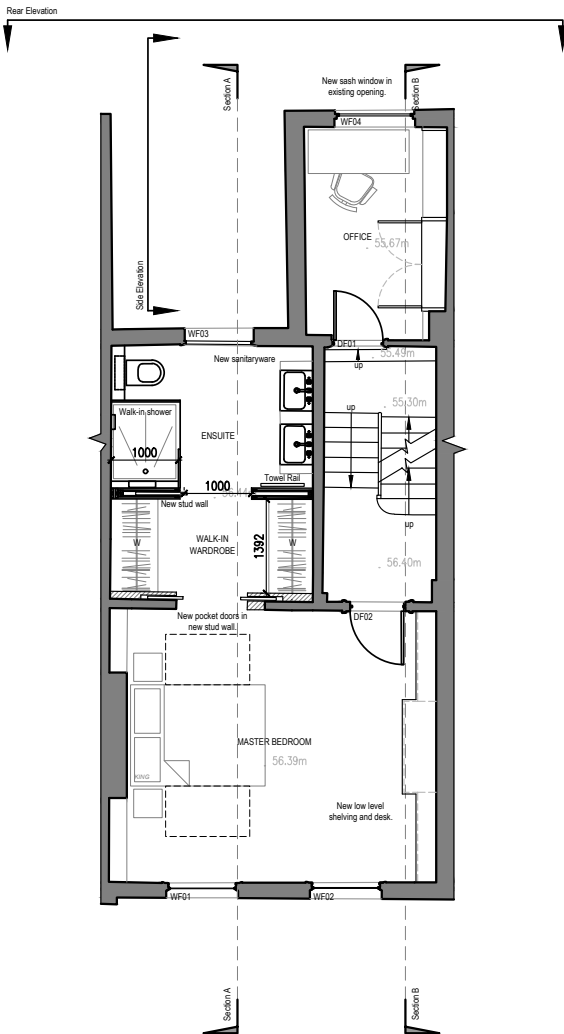


Fig.8 Proposed First Floor Plan

Second Floor

The existing second floor plan differs slightly to the floors below, with the rear extension only being 3 storeys high therefore there is no room to the rear of the second floor. This floor consists of two bedrooms and one family bathroom.

The rear bedroom currently works around the chimney breast, which is to be removed so will create more bedroom space.

The works on the second floor will be minor, with the aim being to reconfigure the family bathroom to find a better use for the space. The designs have been developed with previous sketch ideas exploring a jack and jill bathroom option. The finalised proposal will demolish the existing internal stud wall between the bathroom and bedroom 2, with a new stud wall built further into bedroom 2 to create a wider family bathroom. Bedroom 2 is currently considered a large bedroom, so will not be hindered by the bathroom being widened. The family bathroom is to be widened approx. 300mm to allow for a better layout and new shower enclosure. The existing plumbing connections are to be reused for the new sanitaryware.

These proposals on this floor have been classed as less than substantial harm, as they are minor works to non-historic fabric.

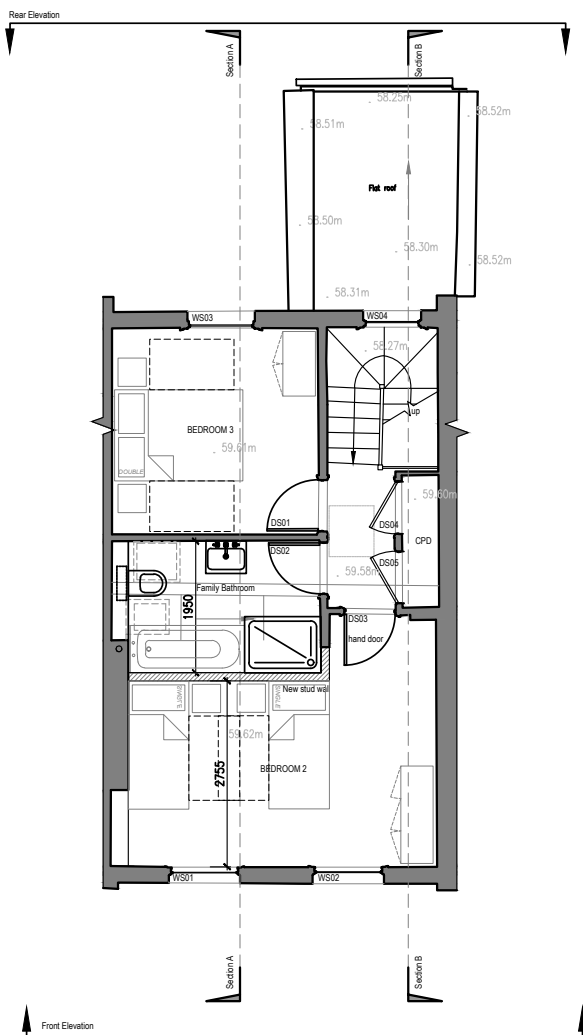


Fig.9 Proposed Second Floor Plan

External

The proposals seek to visually upgrade the exterior paintwork with a new coat of paint to match the existing colour. There will be basic cleaning and landscaping to the front and rear garden areas.

The existing windows to the front of the house are a series of vertical sliding 6 over 6 sash windows which are original. To the rear of the property, modern sash windows dominate in a state of varying quality and need to be replaced to match the Georgian setting.

The proposals seek to replace the selected windows with new slim line double glazed units. The existing windows will be removed, and the openings made good ready for the new sash windows.

The proposed works will retain as much existing historic fabric as possible, with all new materials to match the historic like for like.

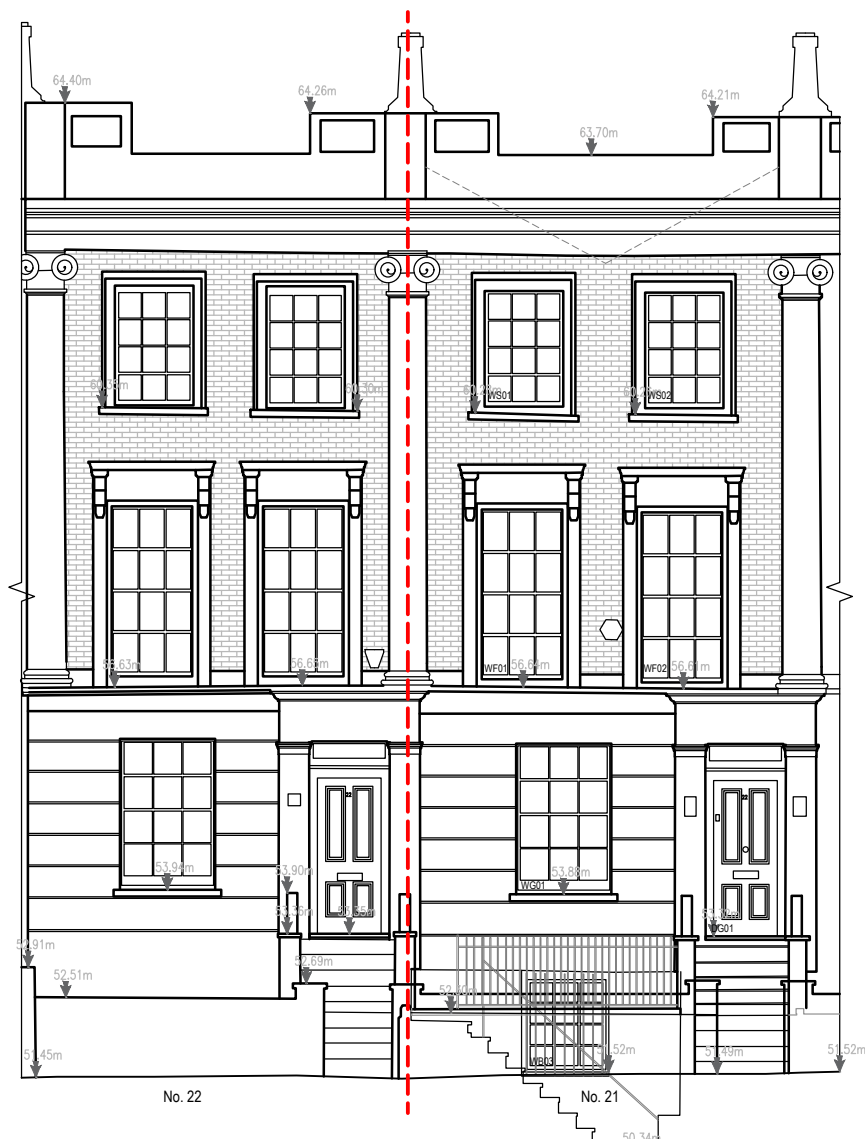


Fig.10 Proposed Elevations

3.0 CONCLUSION

The planning and listed building application as set out within the submission drawings and documents for changes to 21 Queen's Grove are broadly low impact in nature and are proposed to upgrade the general standard of living at the house with minimal intervention to the historic fabric. This is being achieved through a series of minor interventions that do not adversely affect the external appearance or internal quality of the building.

In conclusion the works represent less than substantial harm at the low end of the spectrum and the positive benefits of the stunning interior fit out to refurbish to Georgian property will outweigh any residual harm.