



5-6 William St, London SW1X 9HL

Planning Application Design & Access Statement: Proposal to introduce restaurant planters.

October 2021

Prepared by

Stamos Yeoh architects

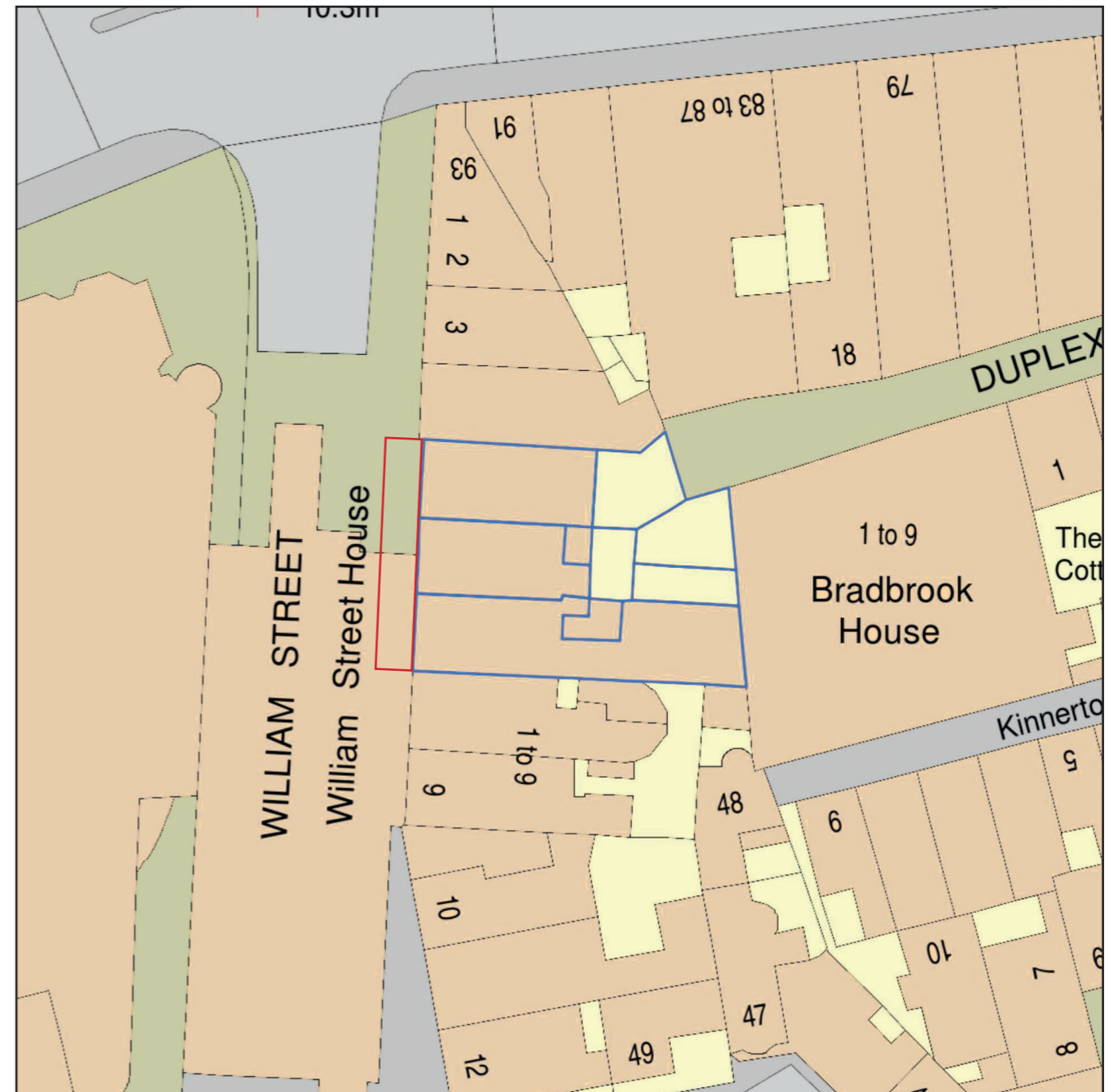
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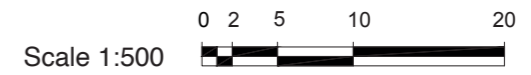
1. Site Location Plan
Scale: 1:250



This application seeks permission to introduce freestanding planter boxes to match those at numbers 8-9 which helps define the outdoor dining area outside Masgouf restaurant at 5-6 William Street.



2. Site Location Plan
Scale: 1:500



Heritage Statement:

No 5 and 6 William Street are Grade II listed:

TQ 2779 NE CITY OF WESTMINSTER WILLIAM STREET, SW1 87/6 (east side) Nos 5 to 12 (consec). GV II Row of houses with ground floor shops. Early C19. Yellow brick, roofs not visible. Four storeys including attic. Each house two windows wide. Square headed windows, gauged heads. Casements to first floor, sashes above. Stucco cornice above second floor. Cast iron balconies to first floor. Shop fronts mainly C20.

The existing white fibre glass planters are incongruous to the conservation area and out of keeping with the street scene. Furthermore, the variation in planter heights and choice of foliage impedes visibility of the listed building.

The proposed replacement freestanding planters are specified to be independant of the building facade and do not detract from the conservation features inherant to the listed building. The planters are specified to be low level at 750mm, which ensures visibility of the building through the foliage.



5-6 William St, London SW1X 9HL



Masgouf Restaurant in Knightsbridge



5-6 William St, London, SW1X 9HL - Masgouf Restaurant

The front façade on William Street is west facing and benefits from afternoon sunshine, ideal for pavement dining. The planters provide some privacy and good protection from the square cross winds.

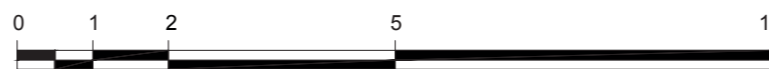


1, Existing Williams Street Elevation
Scale 1:100



2, Existing Plan
Scale 1:100

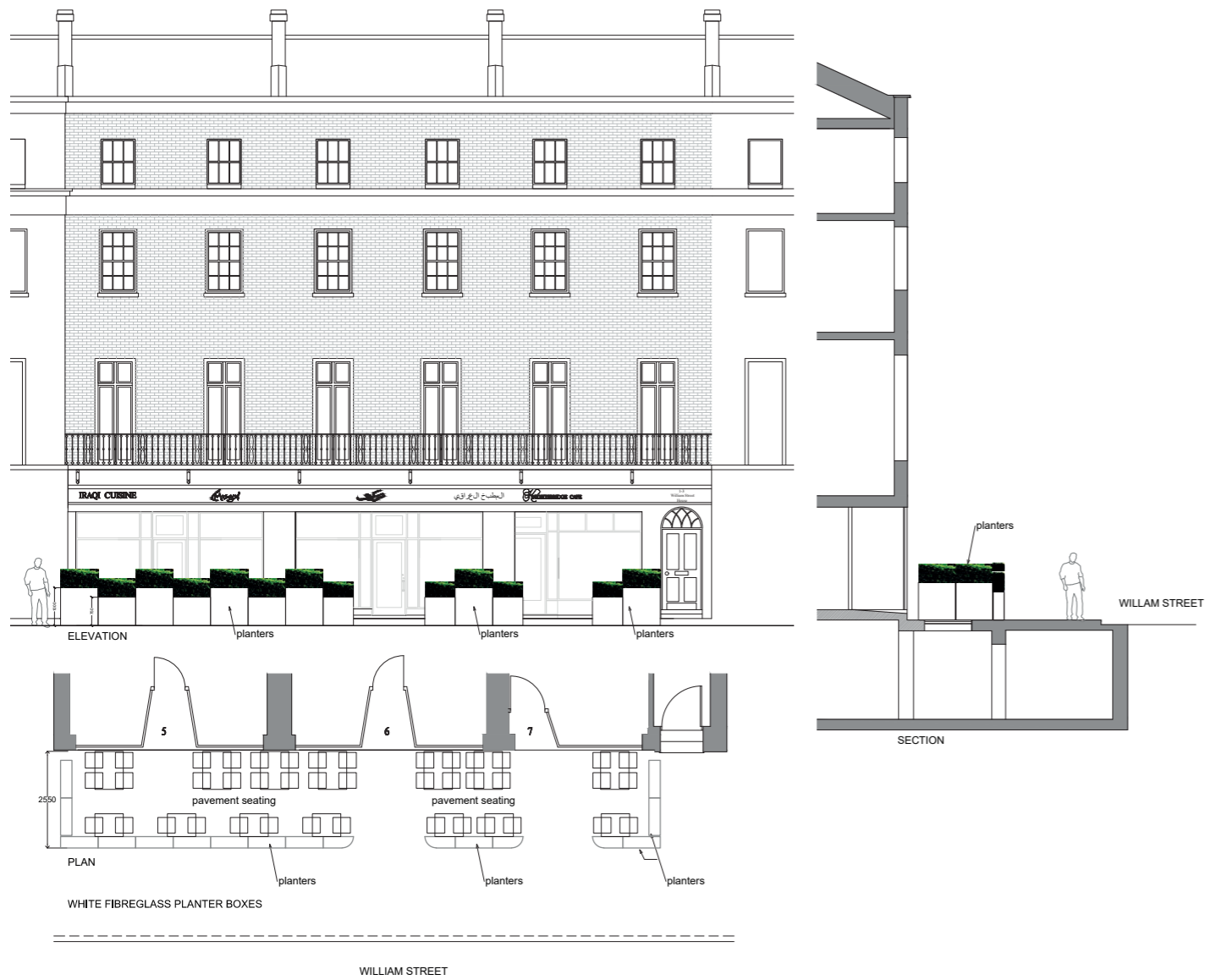
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Existing Elevation & Plan

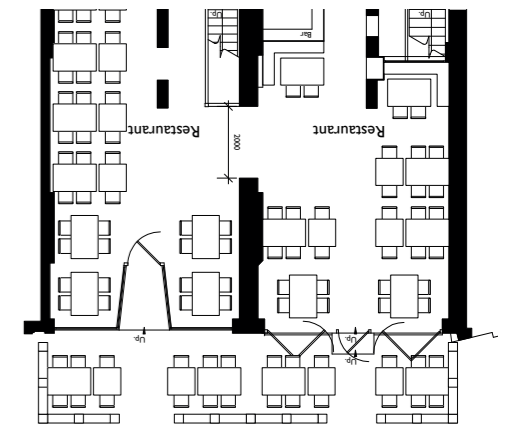
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1. 21/04341/FULL Refusal - 5-6 William St, London, SW1X 9HL

Because of their number, materiality and appearance the planter boxes would harm the special interest and appearance of this grade II listed building. It would also fail to maintain or improve (preserve or enhance) the character and appearance of the Albert Gate Conservation Area Conservation Area. This would not meet Policies 38, 39 and 40 of the City Plan 2019 - 2040 (April 2021). (X17AE)



2. 10/00178/FULL Accepted - 8-9 William Street, London, SW1X 9HL

Permission was granted in 2010 for the erection of timber planters in the forecourt amongst other matters relating to basement connections and installation of AC condensers.



1. Proposed Williams Street Elevation
Scale 1:100



2. Proposed Plan
Scale 1:100

The freestanding planters are independent of the building facade and do not detract from the conservation features inherent to the listed building. The planters are specified to be low level due to their low level at 750mm, which ensures visibility of the building through the foliage.

New Scheme Proposal

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Access

The proposal does not include any alterations to the existing access arrangements to the restaurant.