



Photographic Report

Client Information

Embedded Photo	
Client Name	United Living
Name of Surveyor	Richard Keeley
Project Name	Mulready House
Address	Mulready House, Marsham St, London SW1P 4JL
Phone Number	079-401-2929
Email Address	Richard@opuswaterproofing.co.uk
Weather Conditions	Overcast

Pre-Work Inspection Checklist (Dormer 1)

Date of Survey	07-13-2021
Time of Survey	12:27 PM (1 GMT)
Area of Inspection	Dormer 1

Photos	
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Comments	<p>The existing Lead has been repaired in multiple locations which would suggests there has been historic water ingress. There was also evidence of mastic repairs to the gussets and flashings.</p>
Proposed Works	<p>If water is found to be penetrating the building. We would recommend changing the lead on a like for like basis to the areas identified within the pictures. All lead works would be carried out in line with the current LSA guidelines. We would also recommend lining the existing aluminum gutters with a liquid applied waterproofing.</p>
Quantity of Materials	<p>10 roof bays 1200mm x 2000mm (code 6 lead sheet) - 1lm 100mm flashing (code 5lead) - 1 no lead gusset (code 6 lead) - liquid seal 9lm</p>

Pre-Work Inspection Checklist (Dormer 2)

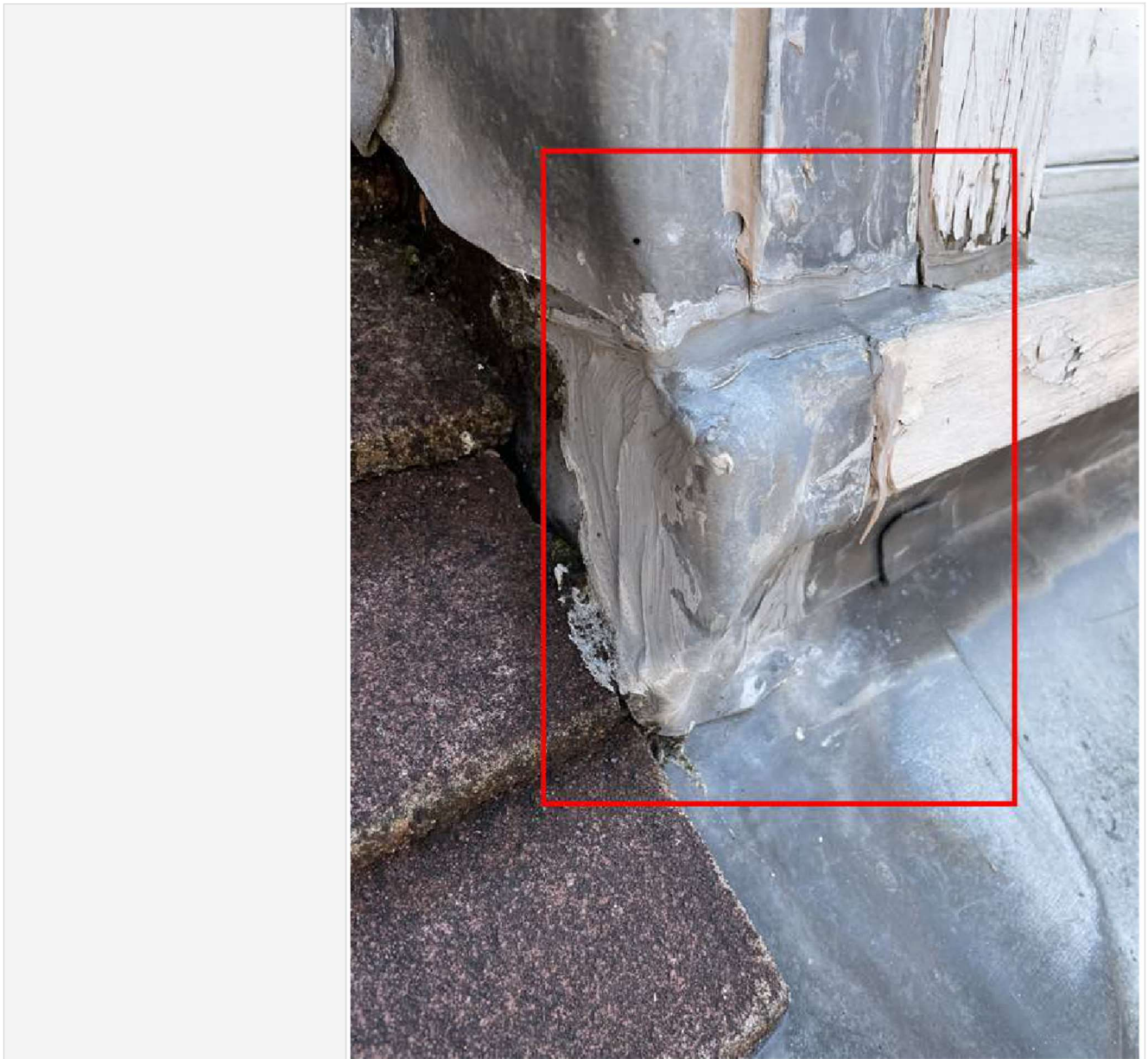
Date of Survey	07-13-2021
Time of Survey	12:48 PM (1 GMT)
Area of Inspection	Dormer 2

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Photos



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Comments	<p>The existing Lead has been repaired in multiple locations which would suggest there has been historic water ingress. There was also evidence of mastic repairs to the Lead gussets and flashings. It was also noted the timber soffit Beneath the gutter is rotting in multiple locations which would suggest the existing guttering is leaking.</p>
Proposed Works	<p>We would recommend changing the lead on a like for like basis to the areas identified within the pictures. All lead works would be carried out in line with the current LSA guidelines. We would also recommend lining the existing aluminum gutters with a liquid applied waterproofing</p>
Quantity of Materials	<p>LHS & RHS Lead cheek 4m2 each (code 6 lead sheet) - 3 lm lead flashing (code 5 lead sheet) - 2 no. Lead gusset (code 5 lead sheet) liquid seal 6 lm</p>

Pre-Work Inspection Checklist (Dormer 3)

Date of Survey	07-13-2021
Time of Survey	01:01 PM (1 GMT)

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Area of Inspection	Dormer 3
Photos	

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Comments	The lead cheeks are showing signs of recent replacement with a poor level of workmanship. The flashings beneath the windowsill have been insufficiently fixed and will require replacement as they are no longer fit for purpose. It was also noted the timber soffit Beneath the gutter is rotting in multiple locations which would suggest the existing guttering is leaking or getting behind the timber at the drainage point.
Proposed Works	We would recommend changing or repairing the lead on a like for like basis to the areas identified within the pictures. All lead works would be carried out in line with the current LSA guidelines. We would also recommend lining the existing aluminum gutters with a liquid applied waterproofing. New Timber soffits would be recommended or repair where possible.
Quantity of Materials	LHS & RHS cheeks redress existing. 5 lm lead flashing (code 5) 2 no lead gusset (code 5) liquid seal 9lm

Pre-Work Inspection Checklist (Dormer 4)

Date of Survey	07-13-2021
Time of Survey	01:19 PM (1 GMT)

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Area of Inspection	Dormer 4
Photos	 A photograph of a dormer window on a roof. The roof is covered in dark brown shingles. The dormer has white-framed windows and a grey-painted side wall. A red rectangular box highlights a section of the grey side wall where the paint is peeling and the underlying material appears damaged or missing. The sky is visible in the background.

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Comments	The lead cheeks are showing signs of recent replacement with a poor level of workmanship. The flashings beneath the windowsill have been insufficiently fixed and will require replacement as they are no longer fit for purpose. It was also noted the timber soffit Beneath the gutter are rotting in multiple locations which would suggest the existing guttering is leaking or getting behind the timber at the drainage point.
Proposed Works	We would recommend changing the lead on a like for like basis to the areas identified within the pictures. All lead works will be carried out in line with the current LSA guidelines. We would also recommend lining the existing aluminum gutters with a liquid applied waterproofing
Quantity of Materials	LHS Lead cheek 4m ² each (code 6 lead sheet) 5 lm lead flashing (code 5 lead sheet) 2 no. Lead gusset (code 5 lead sheet) liquid seal 9lm

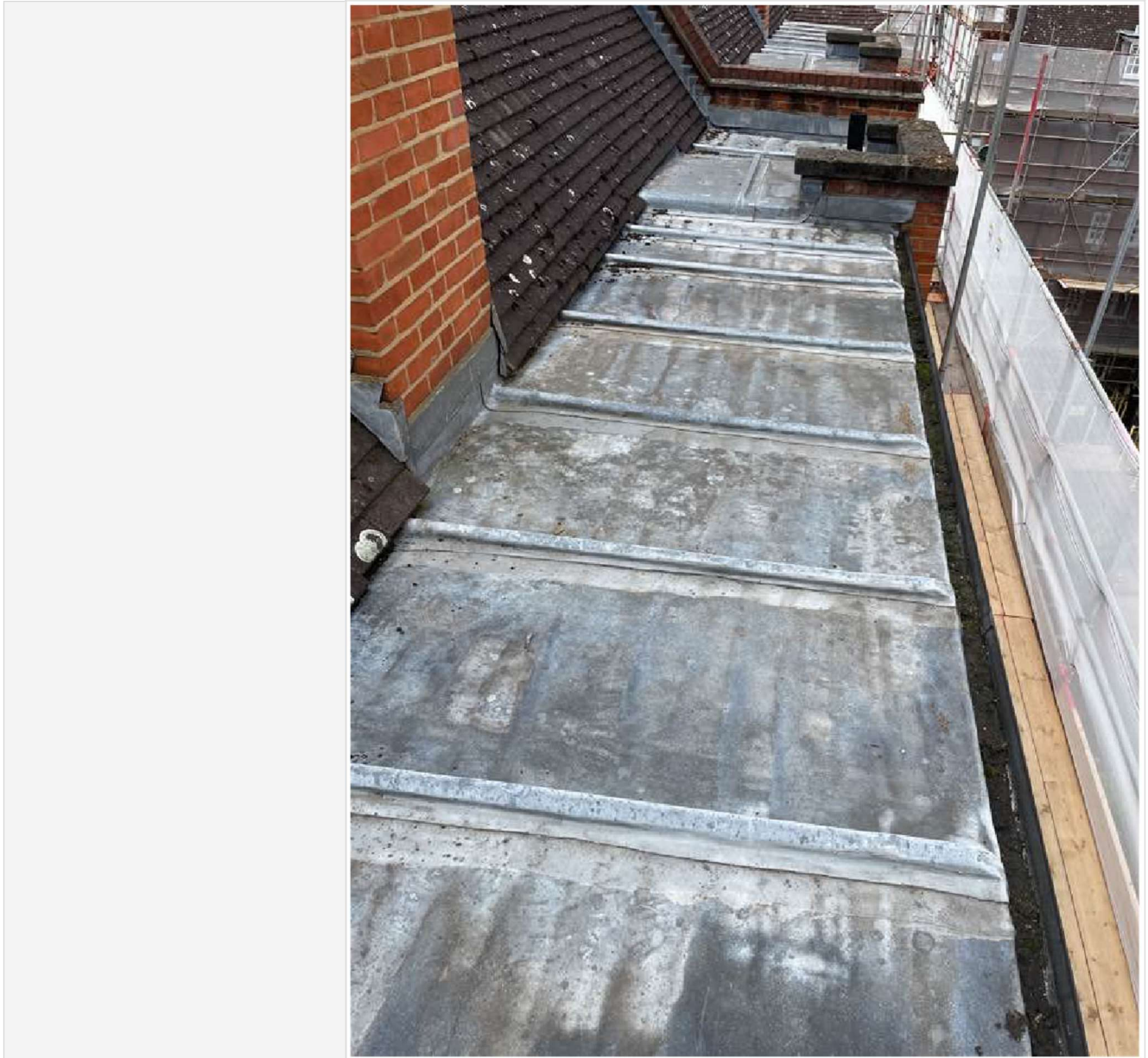
Pre-Work Inspection Checklist (Dormer 5)

Date of Survey	07-13-2021
Time of Survey	01:24 PM (1 GMT)

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Area of Inspection	Dormer 5
Photos	

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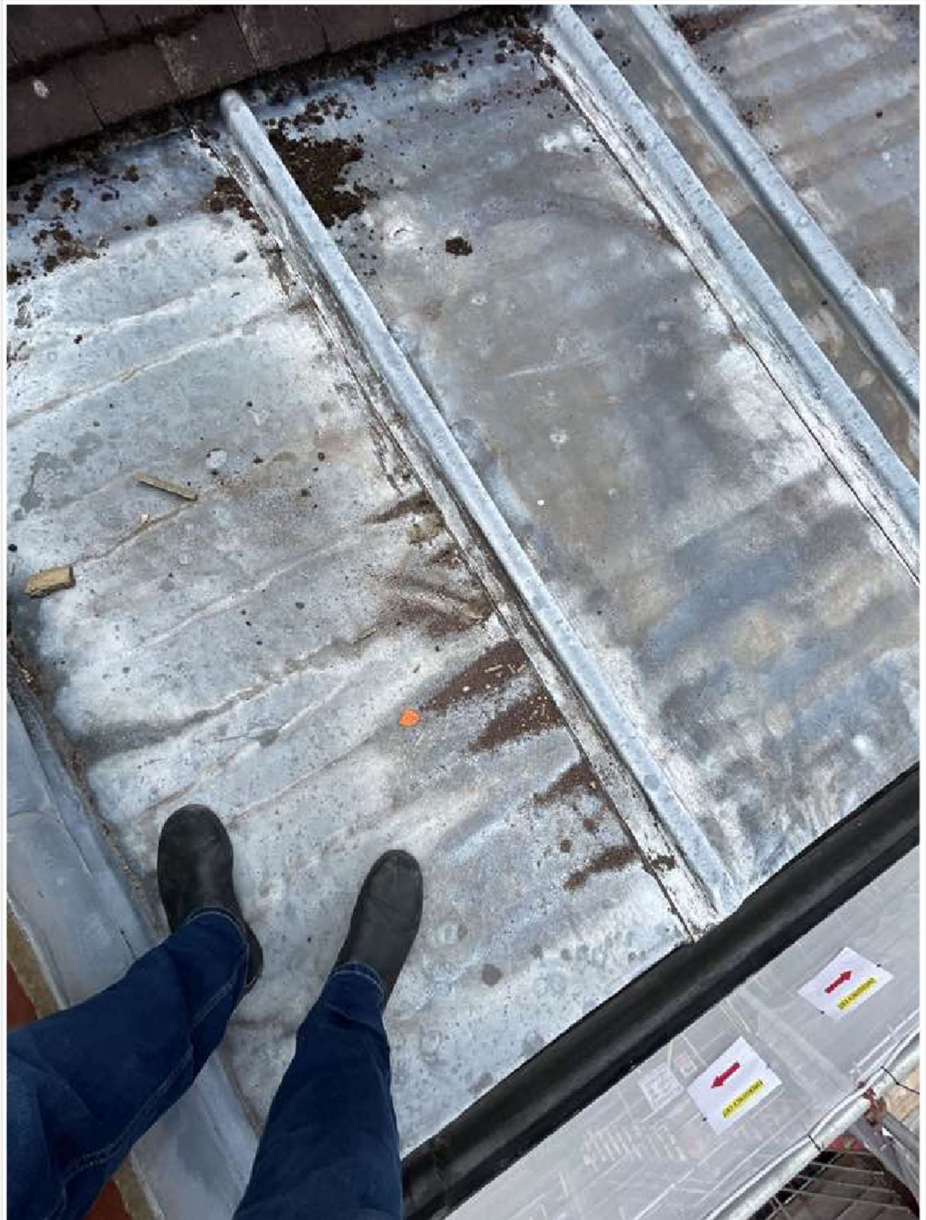
Comments	The existing Lead roof has been repaired in multiple locations which would suggests there has been historic water ingress. The flashing beneath the window seal has become loose and requires re-fixing. The gutters where also blocked and showing signs of leakage.
Proposed Works	If water is found to be penetrating the building. We would recommend changing the lead on a like for like basis to the areas identified within the pictures. All lead works would be carried out in line with the current LSA guidelines. We would also recommend lining the existing aluminum gutters with a liquid applied waterproofing.
Quantity of Materials	10 no. Lead bays (Code 6 Lead) 3 lm flashing (Code 4 Lead) 6lm Liquid seal

Pre-Work Inspection Checklist (Dormer 6)

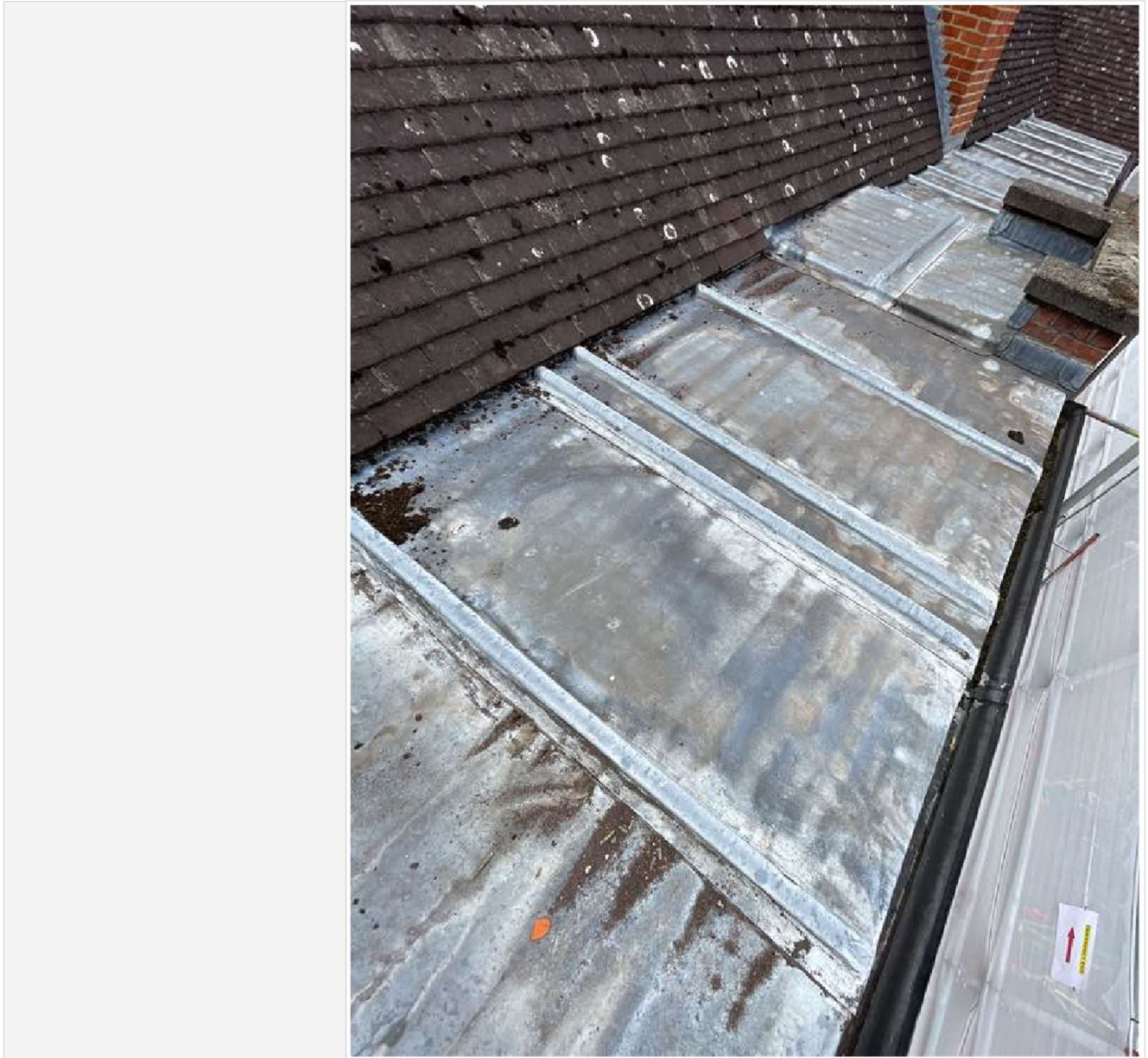
Date of Survey	07-13-2021
Time of Survey	02:00 PM (1 GMT)
Area of Inspection	Dormer 6

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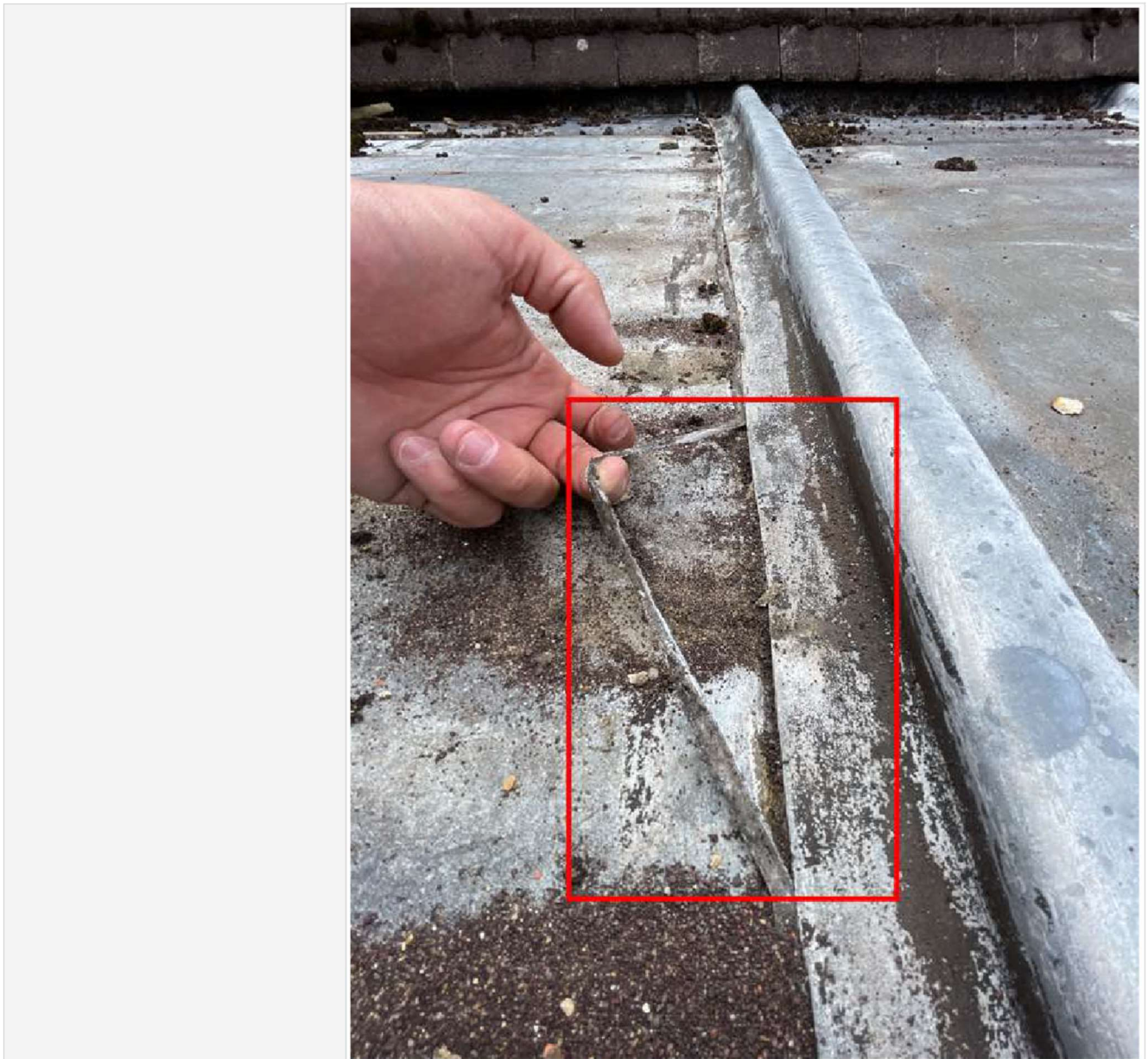
Photos



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Comments	The existing Lead roof has been repaired in multiple locations, mastic repairs where present in the bays. The lead cheeks are showing signs of recent replacement with a poor level of workmanship The gutters are blocked and showing signs of leakage.
Proposed Works	We would recommend changing the lead on a like for like basis to the areas identified within the pictures. All lead works would be carried out in line with the current LSA guidelines. We would also recommend relining the existing aluminum gutters with a liquid applied waterproofing.
Quantity of Materials	6 no. Lead bays (Code 6 Lead) 3 lm flashing (Code 4 Lead) 6lm Liqui seal

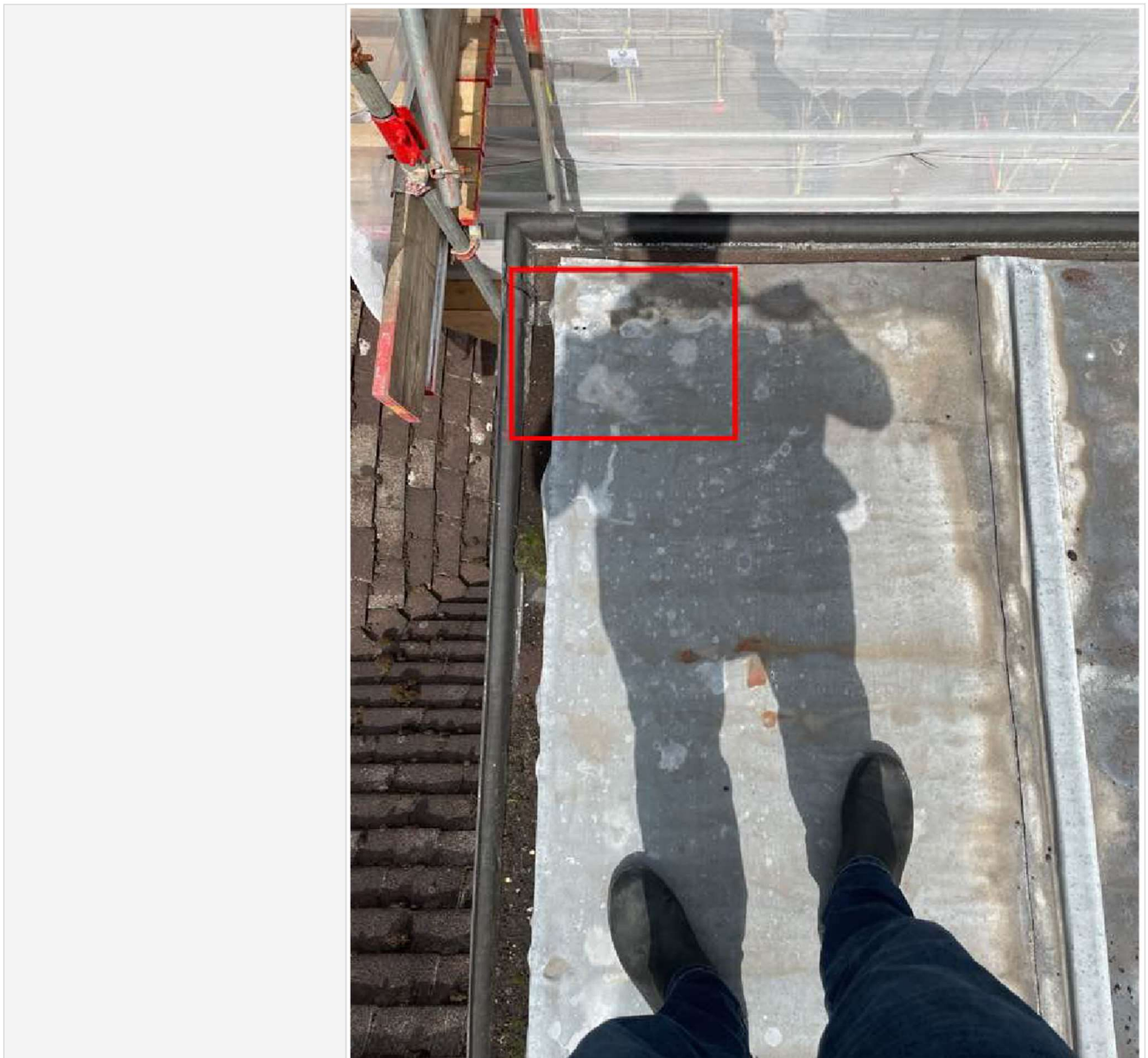
Pre-Work Inspection Checklist (Dormer 7)

Date of Survey	07-13-2021
Time of Survey	02:01 PM (1 GMT)
Area of Inspection	Dormer 7

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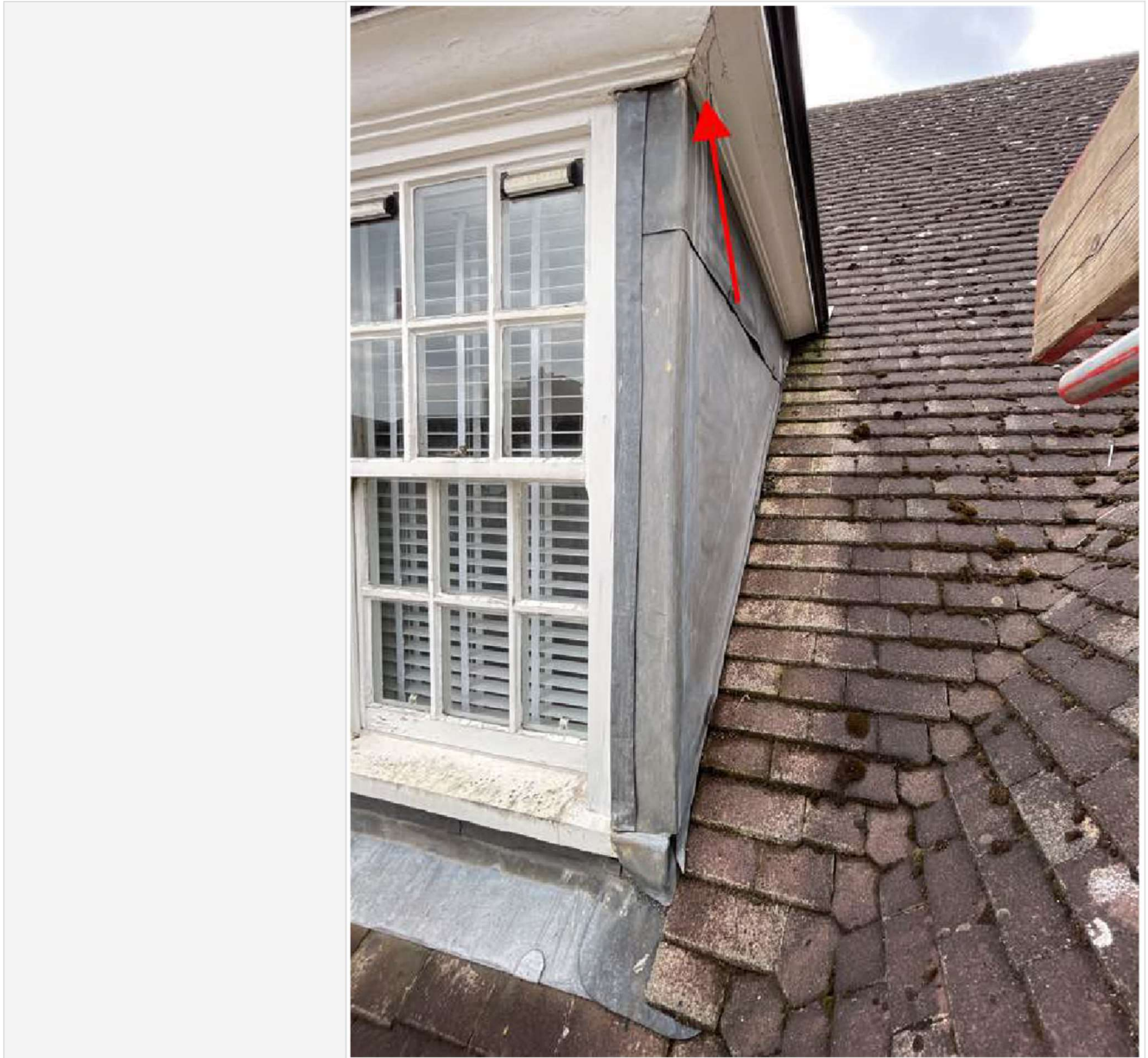
Photos






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Comments	<p>The existing Lead roof has been repaired in multiple locations, mastic repairs were present in the bays. The lead cheeks are showing signs of recent replacement with a poor level of workmanship, holes were also found within the lead sheet and flashing are coming away from the wall. The gutters are blocked and showing signs of leakage.</p>
Proposed Works	<p>We would recommend changing the lead on a like for like basis to the areas identified within the pictures. All lead works would be carried out in line with the current LSA guidelines. We would also recommend relining the existing aluminum gutters with a liquid applied waterproofing.</p>
Quantity of Materials	<p>7 no. Lead bays (Code 6 Lead) 3 lm flashing (Code 4 Lead) 6lm Liquid seal</p>

Pre-Work Inspection Checklist (Dormer 8)

Date of Survey	07-13-2021
Time of Survey	02:06 PM (1 GMT)
Area of Inspection	Dormer 8

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Comments	The decorative soffits were showing sign of rot mainly due to the existing gutters leaking. Also, it was noted there has been previous repairs to the timber work installed to a poor standard.
Proposed Works	We would recommend relining the gutter with a Liqui Seal Coating and the timber works being replaced by a skilled carpenter.
Quantity of Materials	4 lm liquid seal

Pre-Work Inspection Checklist (Dormer 9)

Date of Survey	07-13-2021
Time of Survey	02:07 PM (1 GMT)
Area of Inspection	Dormer 9

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Comments	<p>The existing pointing is missing and not providing any termination the Lead Flashing. Also, the Gussets have been installed to a poor standard.</p>
Proposed Works	<p>We would recommend changing the lead on a like for like basis to the areas identified within the pictures. All lead works would be carried out in line with the current LSA guidelines. Repointing the flashing where necessary. We would also recommend relining the existing aluminum gutters with a liquid applied waterproofing.</p>
Quantity of Materials	<p>1lm of pointing 1 no. gusset</p>

Pre-Work Inspection Checklist (Dormer 10)

Date of Survey	07-13-2021
Time of Survey	02:12 PM (1 GMT)
Area of Inspection	Dormer 10

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Comments	The existing Lead has been repaired in multiple locations which would suggests there has been historic water ingress. The was also evidence of mastic repairs to the gussets and flashings.
Proposed Works	If water is found to be penetrating the building. We would recommend changing the lead on a like for like basis to the areas identified within the pictures. All lead works would be carried out in line with the current LSA guidelines. We would also recommend lining the existing aluminum gutters with a liquid applied waterproofing.
Quantity of Materials	6 roof bays 1200mm x 2000mm (code 6 lead sheet) - 4lm 100mm flashing (code 5 lead) - liquid seal 9lm

Pre-Work Inspection Checklist (Area 4)

Date of Survey	07-13-2021
Time of Survey	02:18 PM (1 GMT)
Area of Inspection	Main roof Area 4

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<p>Photos</p>	
<p>Comments</p>	<p>This image shows Verge movement and enlarge bonds between the tiles.</p>
<p>Proposed Works</p>	<p>The tiles would require relining the ensure the bonds are equal without removing the cemented verge.</p>
<p>Quantity of Materials</p>	

Pre-Work Inspection Checklist (Area 8 & 9)


Date of Survey	07-13-2021
Time of Survey	02:21 PM (1 GMT)
Area of Inspection	Main roof Area 8 & 9

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Comments	Images show broken and slipped tiles
Proposed Works	We would recommend changing the tiles where necessary on a like for like basis.
Quantity of Materials	

Pre-Work Inspection Checklist (Area 11)

Date of Survey	07-13-2021
Time of Survey	02:23 PM (1 GMT)
Area of Inspection	Main roof you Area 11

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<p>Photos</p>	
<p>Comments</p>	<p>Images shows missing tiles around Soil Stack.</p>
<p>Proposed Works</p>	<p>New tiles are required on a like for like basis.</p>
<p>Quantity of Materials</p>	<p>10no. tiles</p>

Pre-Work Inspection Checklist (Area 12)

Date of Survey	07-13-2021
Time of Survey	02:24 PM (1 GMT)
Area of Inspection	Main roof Area 12

Photographic Report

<p>Photos</p>	
<p>Comments</p>	<p>Image shows Broken and defective tiles</p>
<p>Proposed Works</p>	<p>New tiles are required on a like for like basis.</p>
<p>Quantity of Materials</p>	<p>3no. tiles required</p>

Pre-Work Inspection Checklist (Ref LFR)

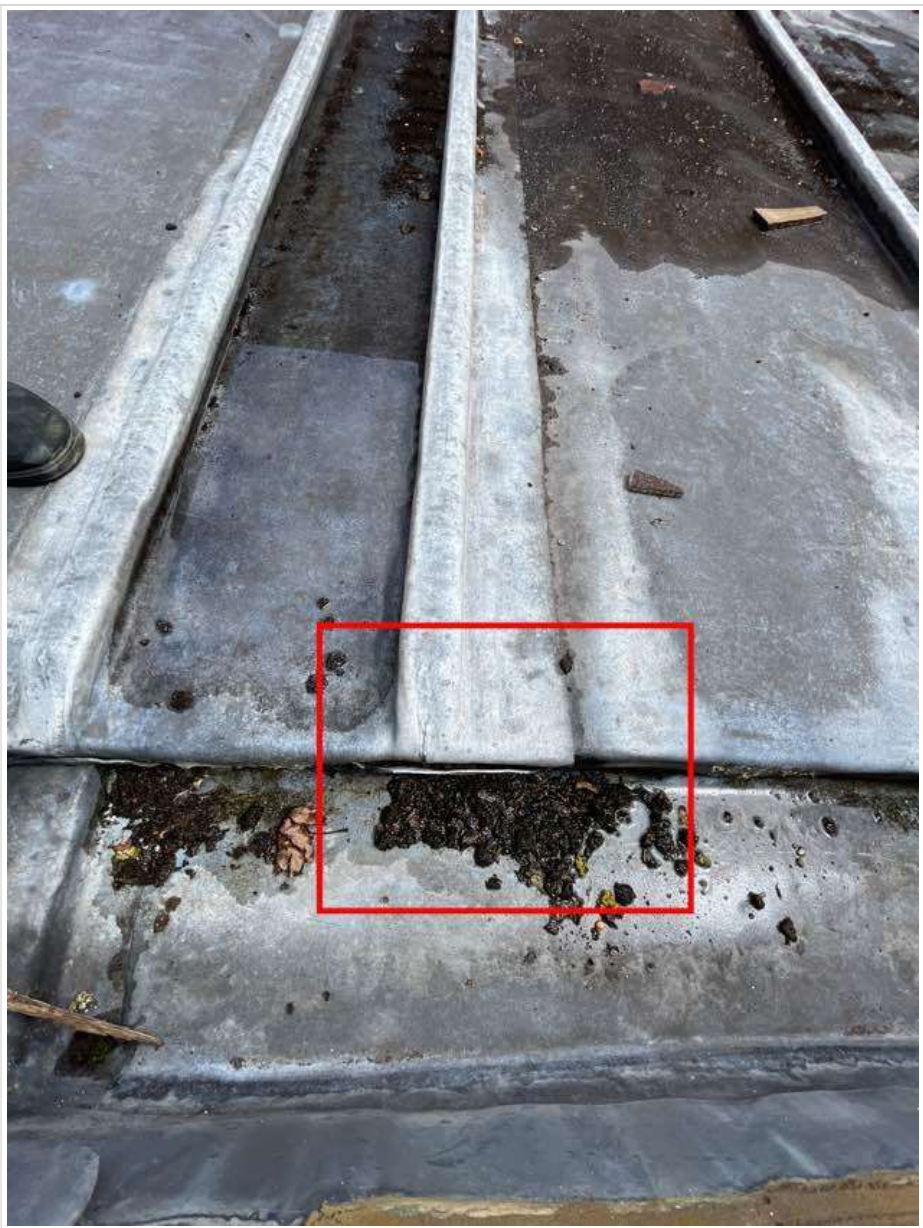
Date of Survey	07-13-2021
Time of Survey	02:26 PM (1 GMT)
Area of Inspection	Lead Flat Roof

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Photos




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Comments	<p>The existing Lead has been repaired in multiple locations which would suggest there has been historic water ingress. The eaves course has also dropped in various locations.</p>
Proposed Works	<p>We would recommend changing the lead on a like for like basis to the areas identified within the pictures. All lead works would be carried out in line with the current LSA guidelines. We would also strip back the bottom three course and investigate the reason why the tiles have dropped and repair and replace accordingly.</p>
Quantity of Materials	<p>Lead Bays 14 no. – Lead gutter 71m – Eve's course 71m</p>

Pre-Work Inspection Checklist (Area 13)

Date of Survey	07-13-2021
Time of Survey	02:30 PM (1 GMT)
Area of Inspection	Main roof Area 13

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Photos	
Comments	Images shows the eaves course has also dropped in various locations.
Proposed Works	We would also strip back the bottom three course and investigate the reason why the tiles have dropped and repair and replace accordingly
Quantity of Materials	Eve's course – 5lm

Pre-Work Inspection Checklist (Area 14)

Date of Survey	07-13-2021
Time of Survey	02:31 PM (1 GMT)
Area of Inspection	Main roof Area 14


Photographic Report

<p>Photos</p>	
<p>Comments</p>	<p>Image show a slipped Tiles</p>
<p>Proposed Works</p>	<p>New tiles are required on a like for like basis.</p>
<p>Quantity of Materials</p>	<p>3no. tiles required</p>

Pre-Work Inspection Checklist (Area 15)

Date of Survey	07-13-2021
Time of Survey	02:32 PM (1 GMT)
Area of Inspection	Main roof Area 15

Photographic Report

<p>Photos</p>	
<p>Comments</p>	<p>Images shows a slipped Tiles and slipped Lead flashings</p>
<p>Proposed Works</p>	<p>The existing Lead flashing would need to be rescued in line with the current LSA Guidelines and the tiles replaced on a like for like basis.</p>
<p>Quantity of Materials</p>	<p>4lm Lead Flashing – 10no. Tiles</p>

General Notes

Analysis	<p>The grade 2 listed building consist of 5 stories. The pitched roof is a timber structure with a modern covering. which consist of Felt membrane, timber, battens, and a Redland concrete plain tile. The Ridge and Verge abutments are secured on a continuous bed of motor. All vertical detailing and back gutters are weathered with Lead sheet Flashings.</p> <p>The building has multiple Dormers which are weathered with Lead sheet to the roof and cheeks all in keeping with the area.</p>
Recommendations	

Signoff

Acknowledgment	By signing below, you agree that the above information is complete and accurate.
Date	07-13-2021

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Signature	
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