

DESIGN AND ACCESS STATEMENT

Produced on behalf of Mr. J. & Mr. N. Malone

Proposed Demolition of existing house and Replacement with
A New Dwelling, conversion of existing barn and the erection of 2 No. new
dwellings.

Manor Farm

High Street

Barmby on the Marsh

DN14 7HU



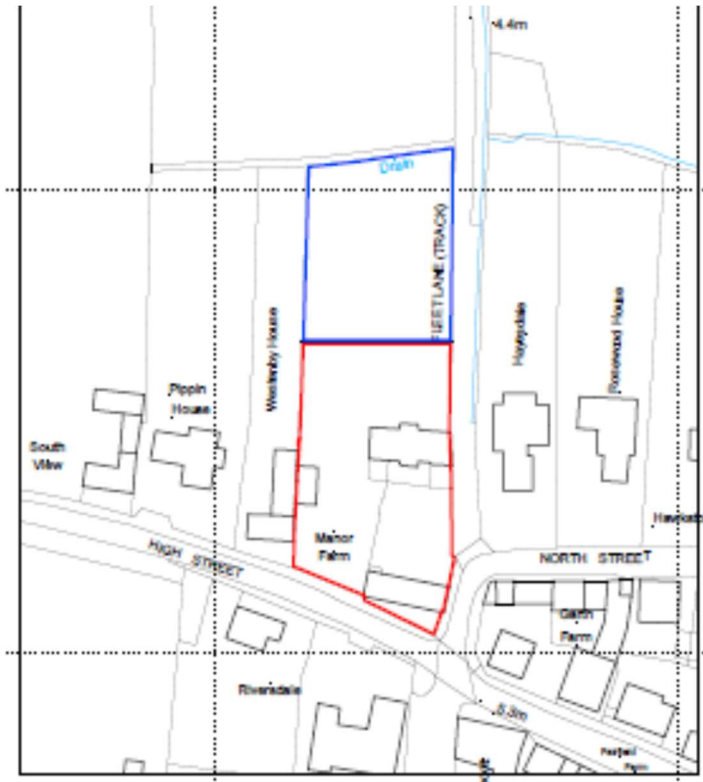
27 August 2021

Project Number : 3572

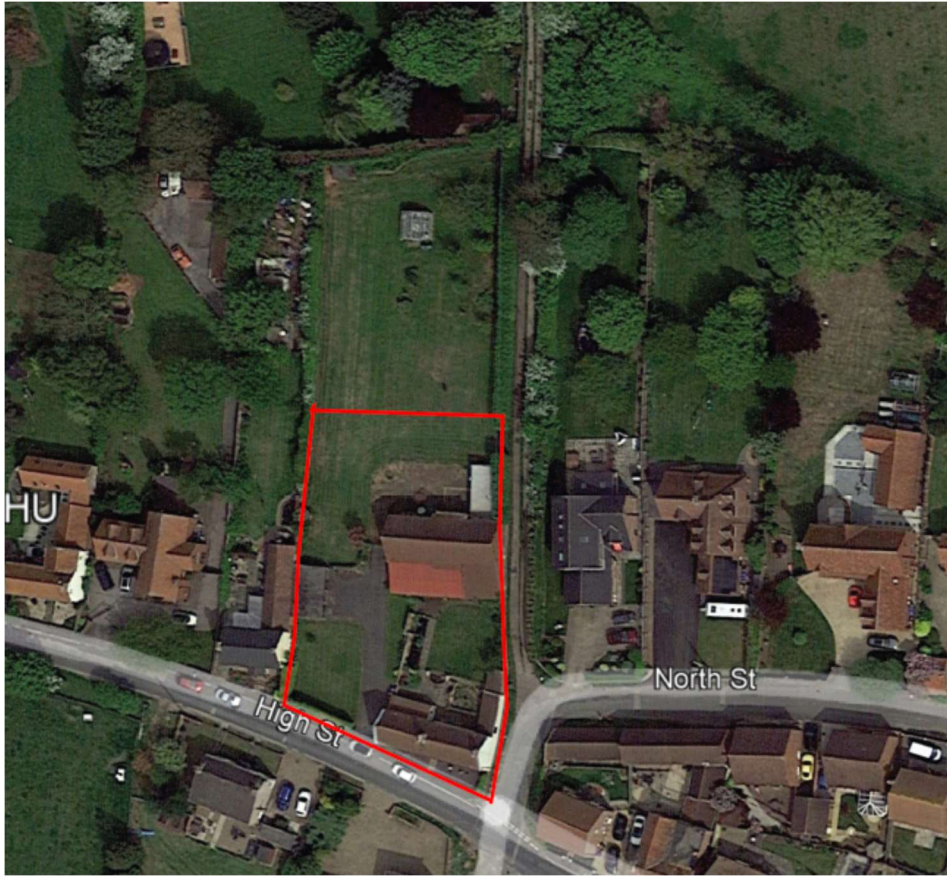
Revision : A



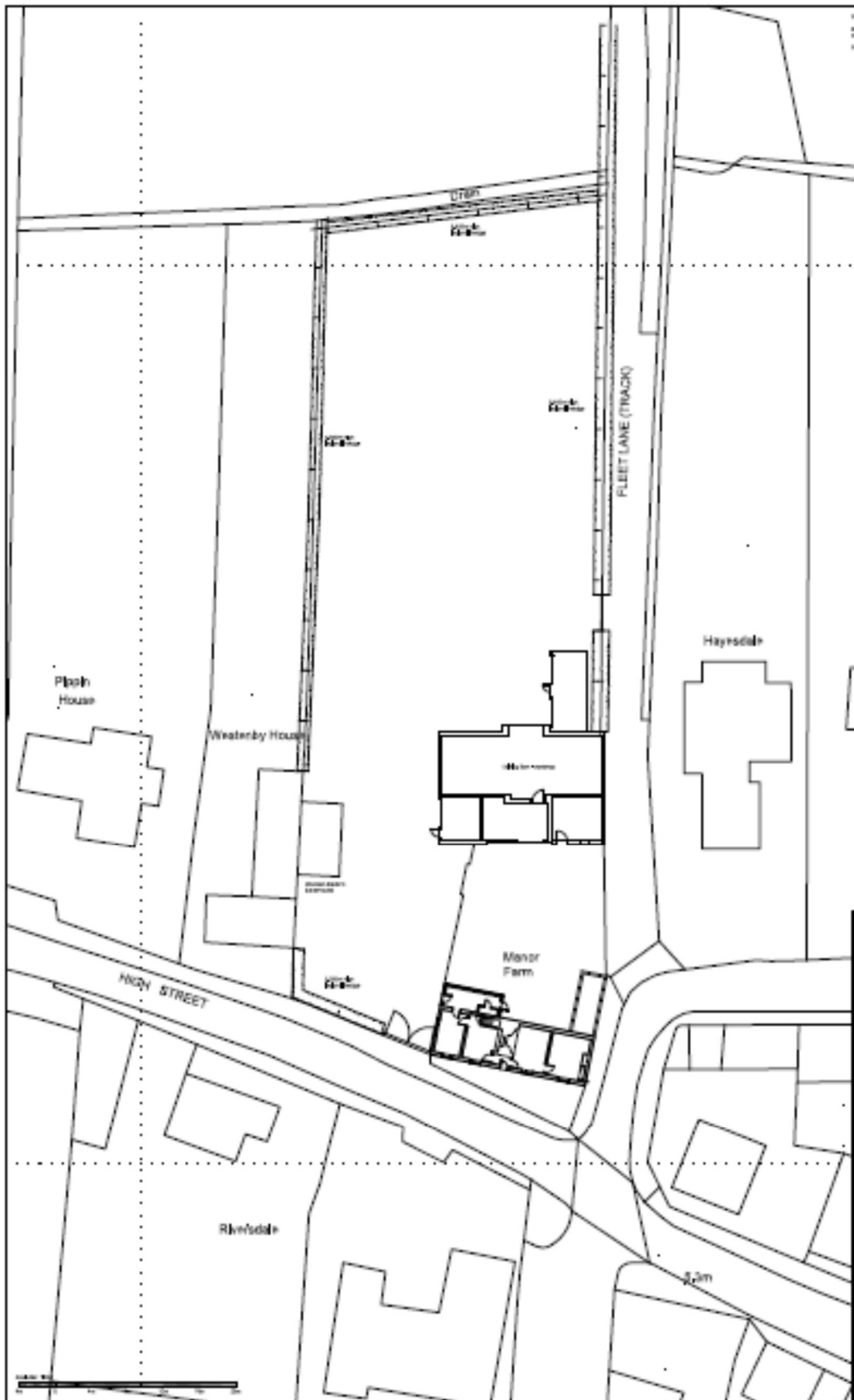
The statement is required as a consequence of Section 42 of the Planning and Compulsory Purchase Act 2004 and has been prepared in accordance with advice set out in DLG Circular 01/2006 and guidance from CABE set out in their 2006 publication "Design and Access Statements"



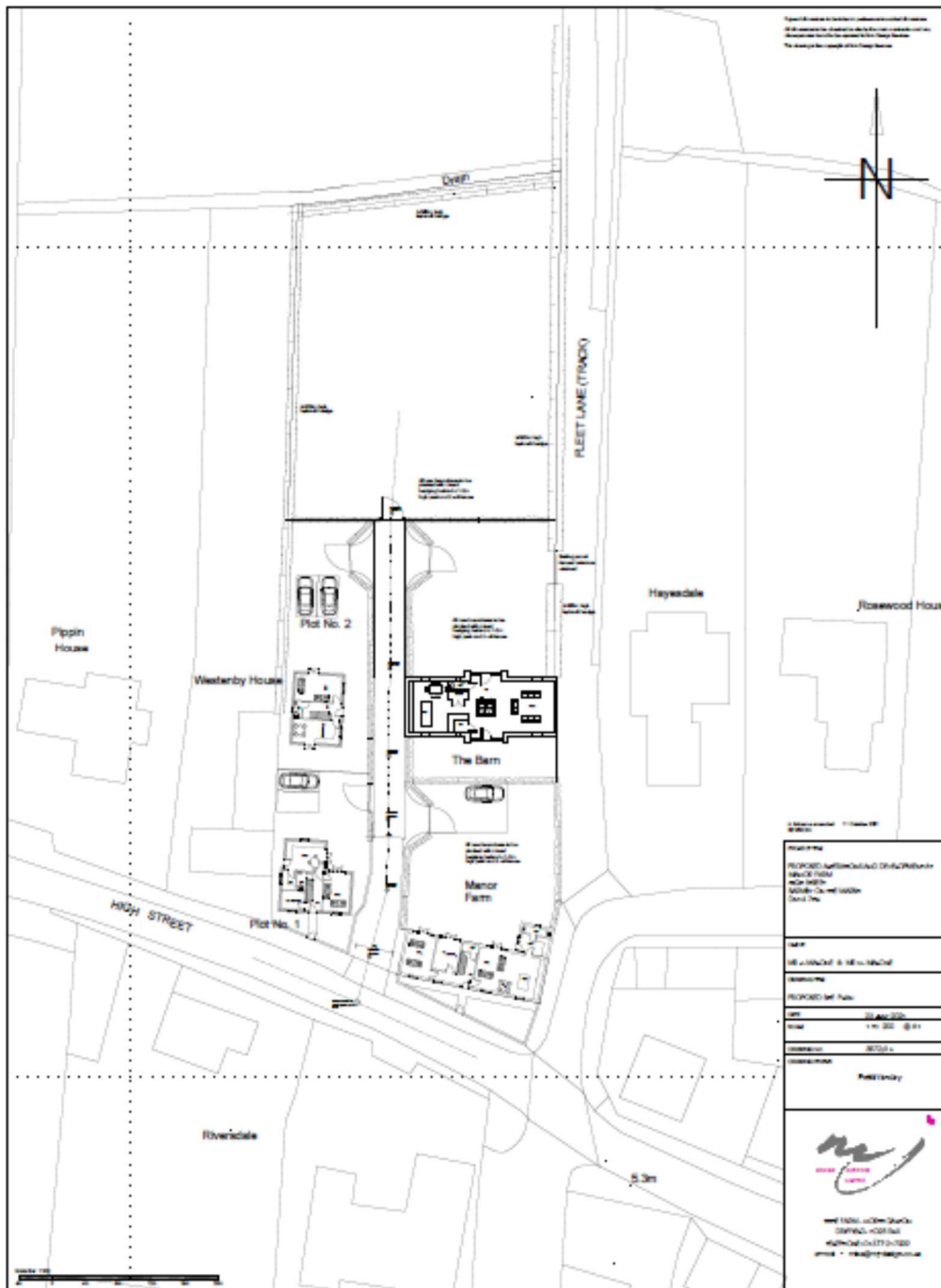
Site Location Plan



The photograph above taken from Google Earth is an accurate representation of the site as it exists today.



Existing site plan



Proposed site plan

The flood risk map is as shown below with a description of the risk level.

The selected location is in a flood zone 1, an area with a low probability of flooding.

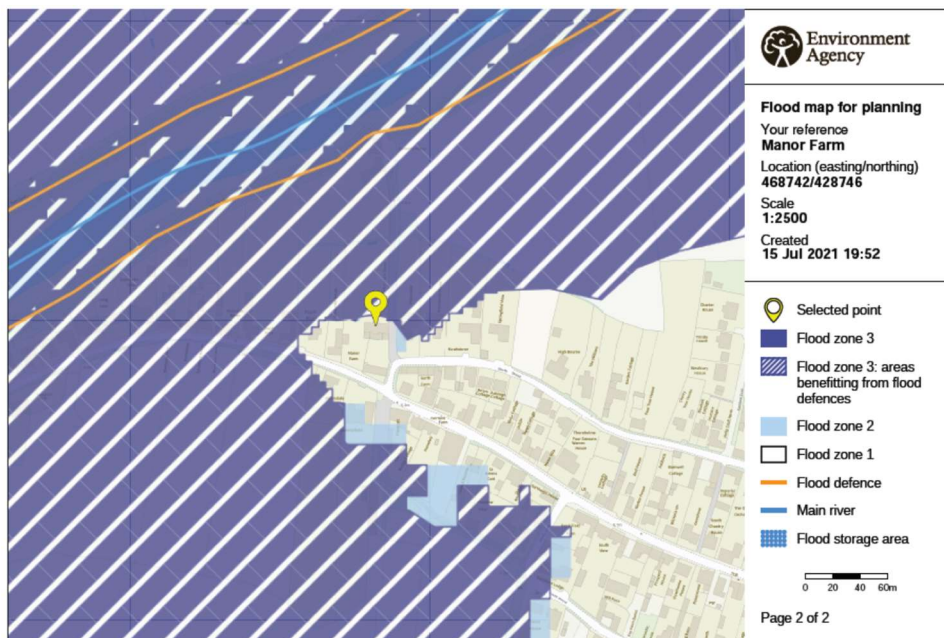
Flood map for planning

Your reference
Manor Farm

Location (easting/northing)
468742/428746

Created
15 Jul 2021 19:52

Your selected location is in flood zone 1, an area with a low probability of flooding.



Proposal

Manor Farm is a modest house with a brick-built barn to the rear which was latterly used by the applicants father as a workshop for his business. Both are set in a large area of grassed garden surrounded by tall well-established hedges which have been well kept over the years.

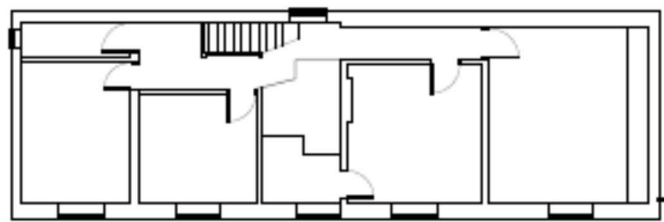
The House is in a very poor condition, it suffers from damp walls due to the method used to render the external walls. The ground floors have damp showing through in a number of positions and the first floor is uneven due to the deflection of the joists over the supporting timber beams.

Examination of the foundations show that they are shallow and brick spread.

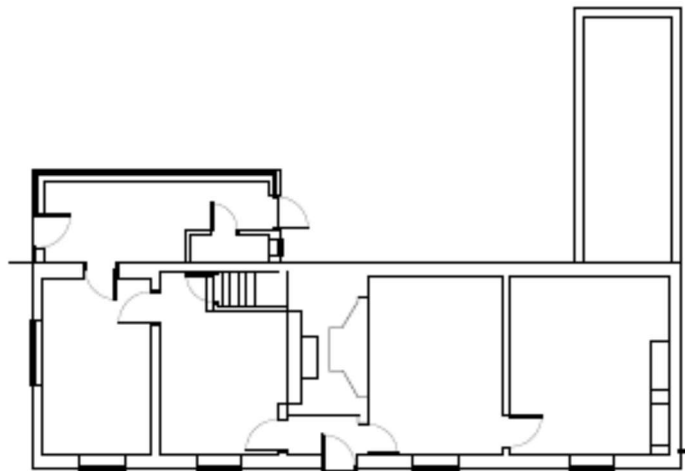
The Barn behind is a brick-built structure which shows little signs of any structural damage. The roof is covered with concrete interlocking tiles over a bitumen membrane. Used as a metal working shed it has had a number of extensions constructed to accommodate the growth of the business over the years.

The House

Due to its condition the proposal is to demolish the existing house and build a new house of the same design on the existing footprint. A redesign of the interior allows for the creation of a four bedroomed house.



Existing first floor plan

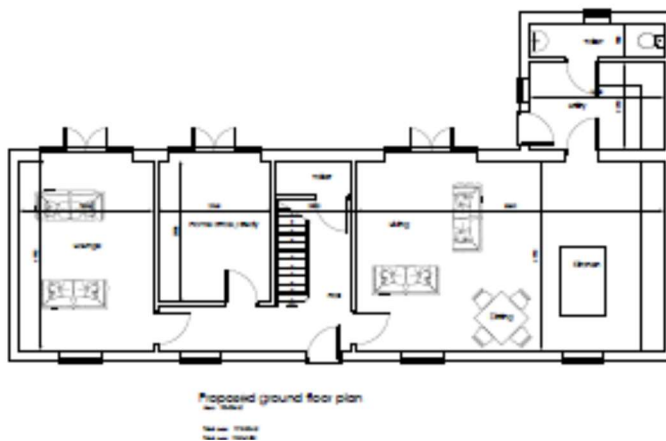
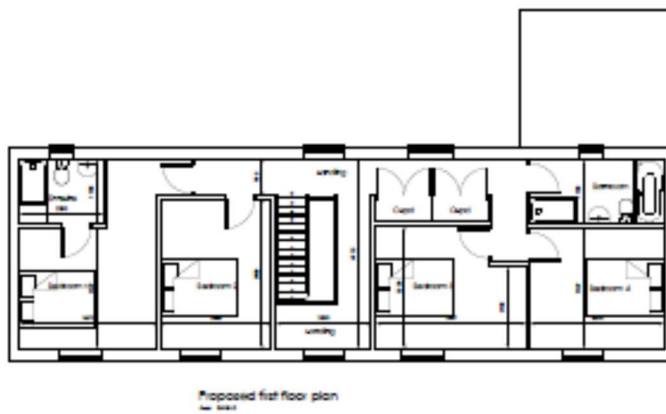


Existing ground floor plan

Existing floor plans



Existing elevations



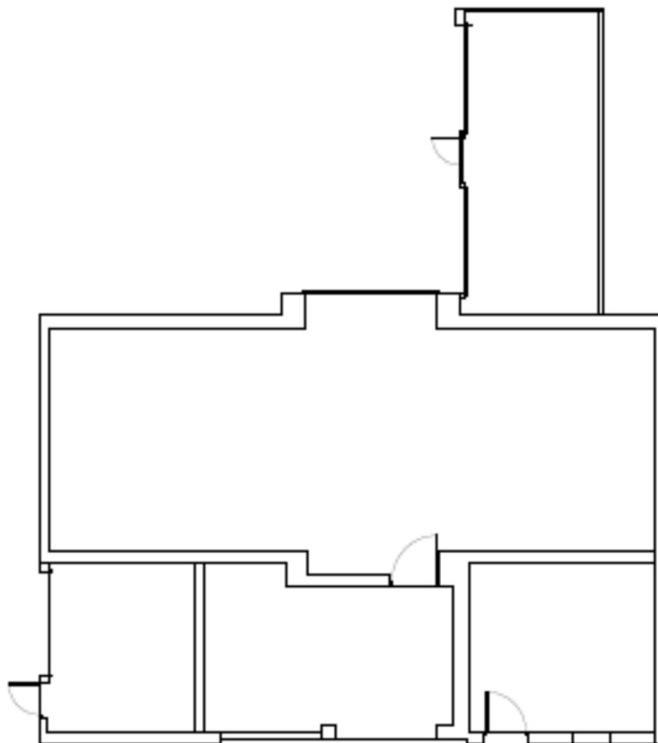
Proposed floor plans



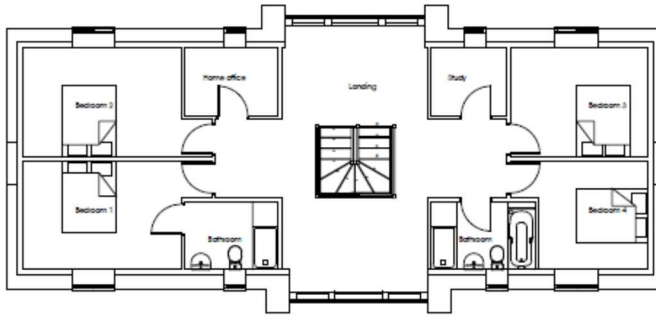
Proposed elevations

The Barn

The barn is capable of being converted to a house. It will have all of the add-ons removed to leave the original rectangular brick built building.

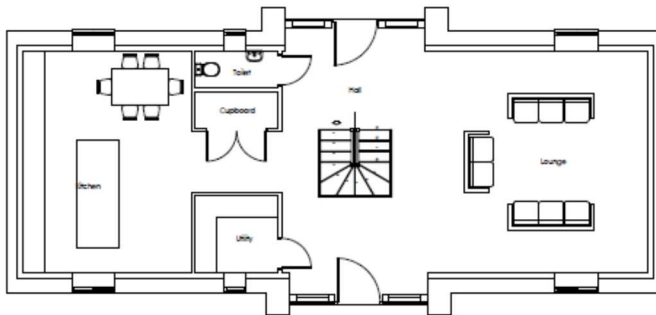


Existing floor plan



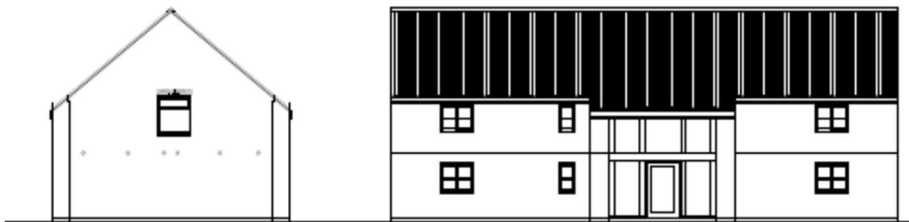
Proposed first floor plan

See 2 below



Proposed ground floor plan

Proposed floor plans



Proposed gable elevation - facing west

Proposed rear elevation - facing south

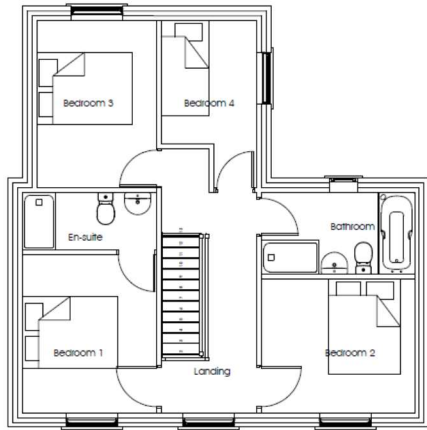


Proposed front elevation - facing north

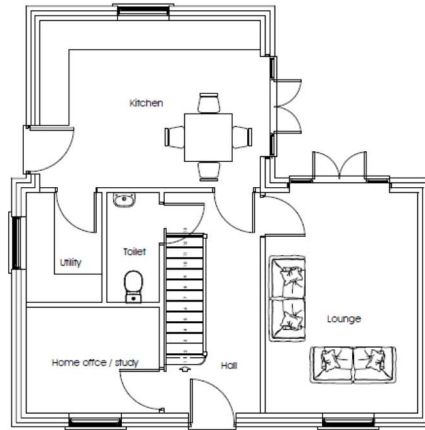
Proposed gable elevation - facing east

Proposed elevations

New House – Plot No. 1.



Proposed first floor plan



Proposed ground floor plan

Proposed floor plans



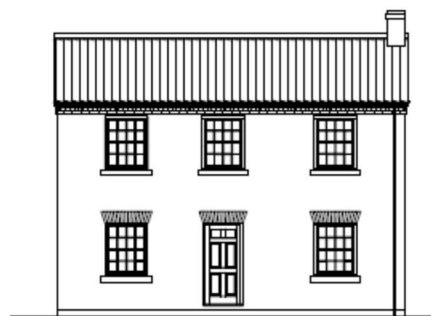
Proposed side elevation facing west



Proposed side elevation facing east



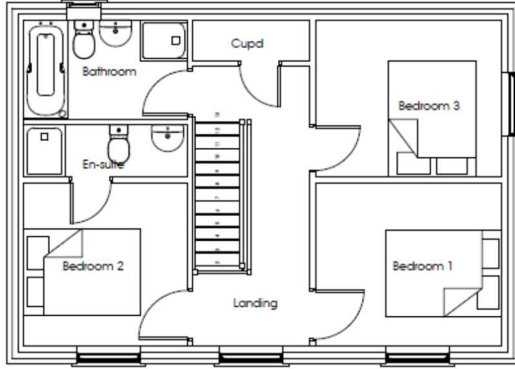
Proposed rear elevation facing north



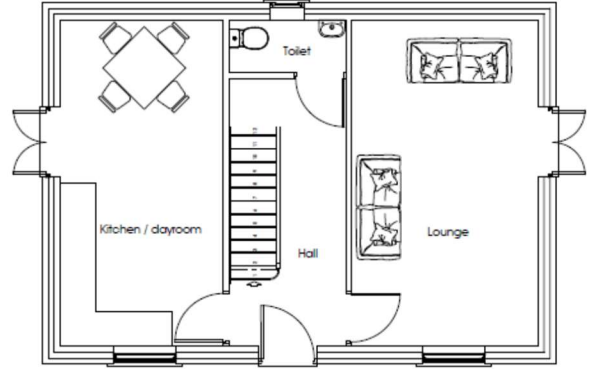
Proposed front elevation facing south

Proposed elevations

New House – Plot No.2

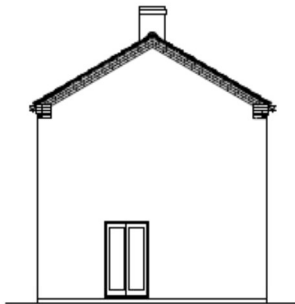


Proposed first floor plan

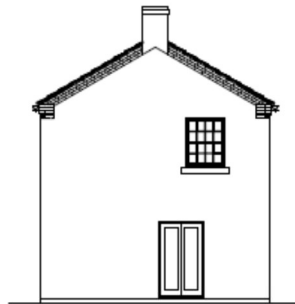


Proposed ground floor plan

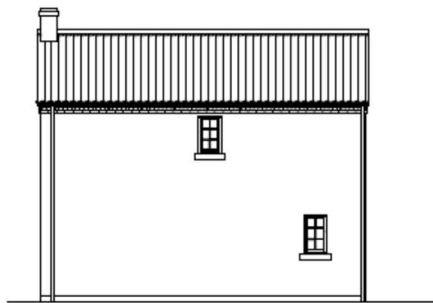
Proposed floor plans



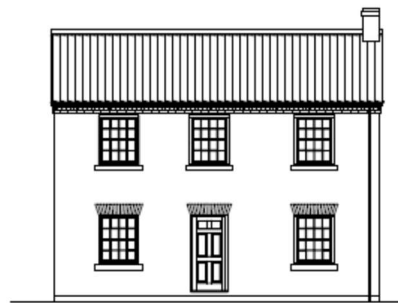
Proposed side elevation facing west



Proposed side elevation facing east



Proposed rear elevation facing north



Proposed front elevation facing south

Proposed elevations

Landscaping

The existing site is bounded by hedges and fences and these are to be retained and are not seen as affecting this application.

Access

The proposal will be served by a new "private drive" access which will give access to private parking and garaging.

Planning Policy

Applications are to be determined in accordance with the policies in the Development Plan. Section 38 (6) of the Planning and Compulsory Purchase Act 2004 states, *'if regard is to be had to the development plan for the purpose of any determination to be made under the Planning Acts, the determination must be made in accordance with the plan unless material considerations indicate otherwise.'*

National Planning Policy Framework (NPPF) (2019)

The National Planning Policy Framework (NPPF) (2019) is a material consideration and is the Government's overarching framework for planning policy. Paragraph 11 of the NPPF provides for a presumption in favour of sustainable development. Proposals that accord with the development plan should be approved without delay and where there are no relevant development plan policies, or the policies that are most important for determining the application are out of date, permission should be granted unless:

- a) The application of the policies in this Framework that protect areas or assets of particular importance provides a clear reason for refusing the development proposed; or*
- b) any adverse effects of doing so would significantly and demonstrably outweigh the benefits, when assessed against the policies in this Framework taken as a whole.*

The relevant sections of the NPPF in the instance of this planning application are:

- 2. Achieving Sustainable Development*
- 4. Decision-making*
- 5. Delivering a sufficient supply of homes*
- 8. Promoting healthy and safe communities*
- 11. Making effective use of land*
- 12. Achieving well designed places*
- 16. Conserving and enhancing the historic environment*

Paragraph 38 of the NPPF states that:

'Local planning authorities should approach decisions on proposed developments in a positive and creative way. They should use the full range of planning tools available...and work proactively with applicants to secure developments that will improve the economic, social and environmental conditions of the area.'

Section 12 'Achieving well-designed places' paragraph 127 states:

'Planning policies and decisions should ensure that developments:

- a) will function well and add to the overall quality of the area, not just for the short term but over the lifetime of the development;*
- b) are visually attractive as a result of good architecture, layout and appropriate and effective landscaping;*
- c) are sympathetic to local character and history, including the surrounding built environment and landscape setting, while not preventing or discouraging appropriate innovation or change (such as increased densities);*
- d) establish or maintain a strong sense of place, using the arrangement of streets,*

spaces, building types and materials to create attractive, welcoming and distinctive places to live, work and visit;

e) optimise the potential of the site to accommodate and sustain an appropriate amount and mix of development (including green and other public space) and support local facilities and transport networks; and

f) create places that are safe, inclusive and accessible and which promote health and well-being, with a high standard of amenity for existing and future users; and where crime and disorder, and the fear of crime, do not undermine the quality of life or community cohesion and resilience.

The Government also seeks to secure high-quality design and a good standard of amenity for all existing and future occupants of buildings. Paragraph 124 places great importance on the design of the built environment, stating that good design is a key aspect of sustainable development.

Protecting and enhancing the historic environment is an important component of the National Planning Policy Framework's drive to achieve sustainable development. Paragraph 193 of the NPPF states that "When considering the impact of a proposed development on the significance of a designated heritage asset, great weight should be given to the asset's conservation (and the more important the asset, the greater the weight should be). This is irrespective of whether any potential harm amounts to substantial harm, total loss or less than substantial harm to its significance."

Paragraph 194 considers harm, or loss of, the significance of designated heritage asset (from its alteration or destruction or from development to Grade II listed buildings, registered parks or gardens, assets of the highest significance including Grade I and Grade II* Listed should require clear and convincing justification.

Paragraph 196 states that "Where a development proposal will lead to less than substantial harm to the significance of a designated heritage asset, this harm should be weighed against the public benefits of the proposal including, where appropriate, securing its optimum viable use."

East Riding Local Plan Strategy Document (ERLP)

4.10 In this case, the Development comprises the East Riding Local Plan Strategy Document (ERLP) adopted in April 2016 and the Allocations Document that was adopted in July 2016.

The relevant policies are as follows:

- Policy S1 – Presumption in favour of sustainable development
- Policy ENV1 – Integrating high quality design
- Policy ENV2 - Promoting a high-quality landscape
- Policy ENV3 – Valuing our heritage
- Policy EC4 – Enhancing sustainable transport

Policy S1 reiterates the presumption in favour of sustainable development which is a core thread which runs through the NPPF. Sustainable development seeks to ensure that proposals meet present needs without significantly adversely affecting the environment for future generations. It states that the authority will work proactively with applicants to find solutions which mean proposals can be approved wherever possible.

Policy ENV1 states that proposals should contribute to safeguarding and respect the diverse character and appearance of the area through their design, layout, construction and use. Development will be supported where it achieves a high quality of design that optimises the potential of the site. Proposals should consider the needs of users, including equality of access and improving healthy lifestyles. ENV1 further states that good design should also include the appropriate provision of car parking.

Policy ENV2 requires development proposals to be sensitively integrated into the existing landscape, demonstrating an understanding of the intrinsic qualities of the landscape and setting and, where possible, seek to make the most of it.

Policy ENV3 considers how best to manage the conflict between the pressure for the development and the need to preserve heritage assets. Development should conserve the significance, views, setting, character, appearance and context of heritage assets.

Policy EC4 looks at sustainable transport, in regard to parking, the policy states that the number of parking spaces should reflect the expected car usage on the site and the most efficient use of space available and promotion of good design. The policy further recognises the need to avoid overspill parking problems which is prominent in Beverley.

The requirements within these policies are consistent with the NPPF, in particular with the "Core planning principles" and "Requiring good design" sections which promote the enhancement and improvement of places through high quality design which functions well and improves the character or quality of an area and the way it functions, contributes positively to making places better for people, and promotes a good standard of amenity for existing and future occupants of the land and is easy and safe to move around.

Planning Policy Background

5.6 Planning law requires that applications for planning permission must be determined in accordance with the development plan, unless material considerations indicate otherwise. The National Planning Policy Framework is a material consideration.

5.8 The submitted Planning Statement which accompanies the planning application sets out in full the planning policy background, including the weight attributable to saved policies of the adopted development plan for East Riding.

Conclusion

This application for the erection of a replacement dwelling, conversion of existing barn and erection of two new dwellings meets the requirements as set out in the National Planning Policy Framework and is worthy of support and approval.