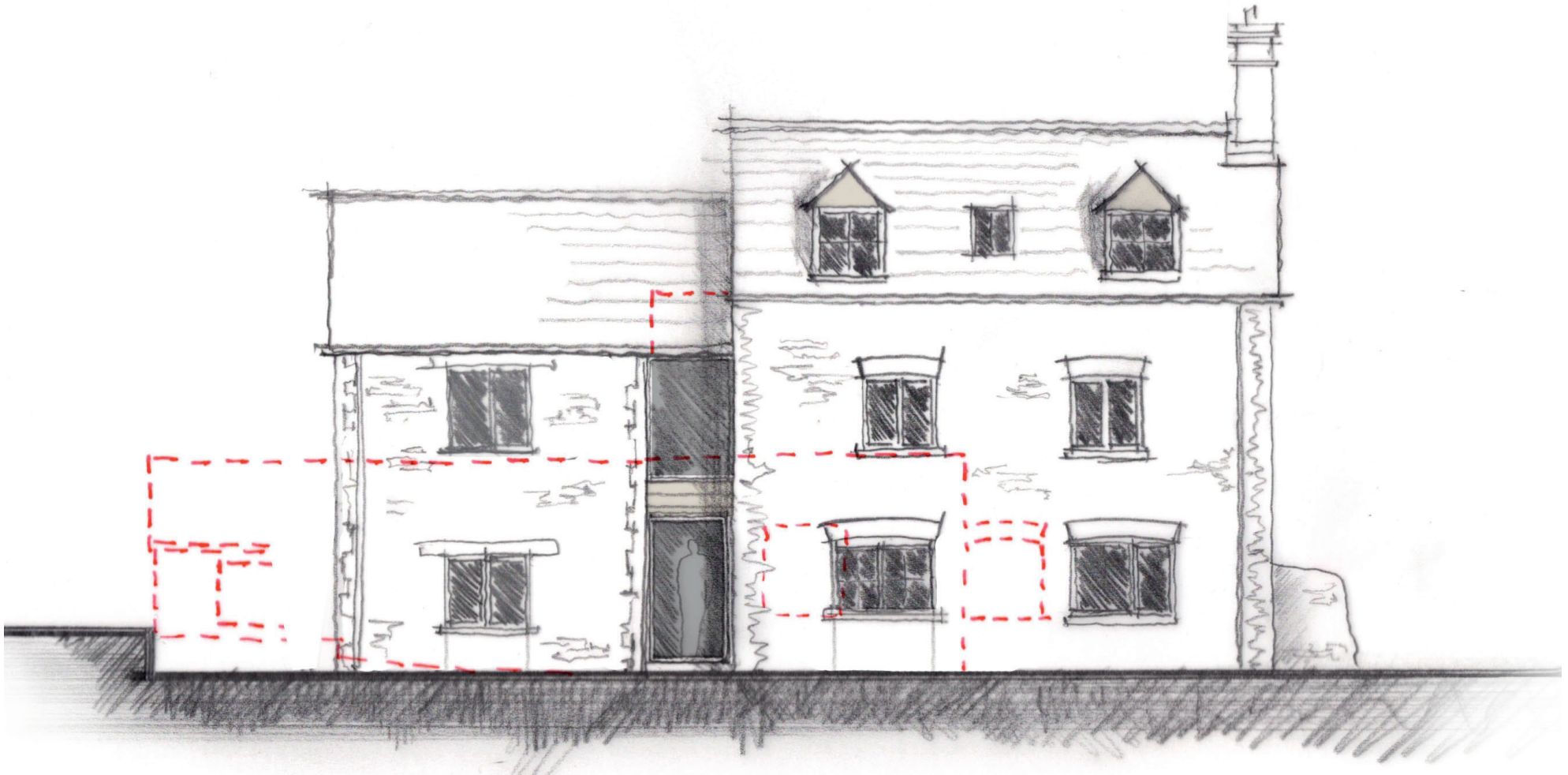


Design and Access Statement

Foxbury Hill Farm House, Middle Duntisbourne,
Cirencester GL7 7AR

SOTA
DESIGN
ARCHITECTURE



NOVEMBER 2021

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Contents

Introduction	05
Site Description	06
Historic Analysis	10
The Proposal	08
Conclusion	20

Introduction

This statement is submitted in support of a Householder and Demolition in a Conservation Area Application for alterations to Foxbury Hill Farm House, including the demolition of modern extensions. The alterations aim to rationalise internally and externally whilst preserving and enhancing the original part of the house.

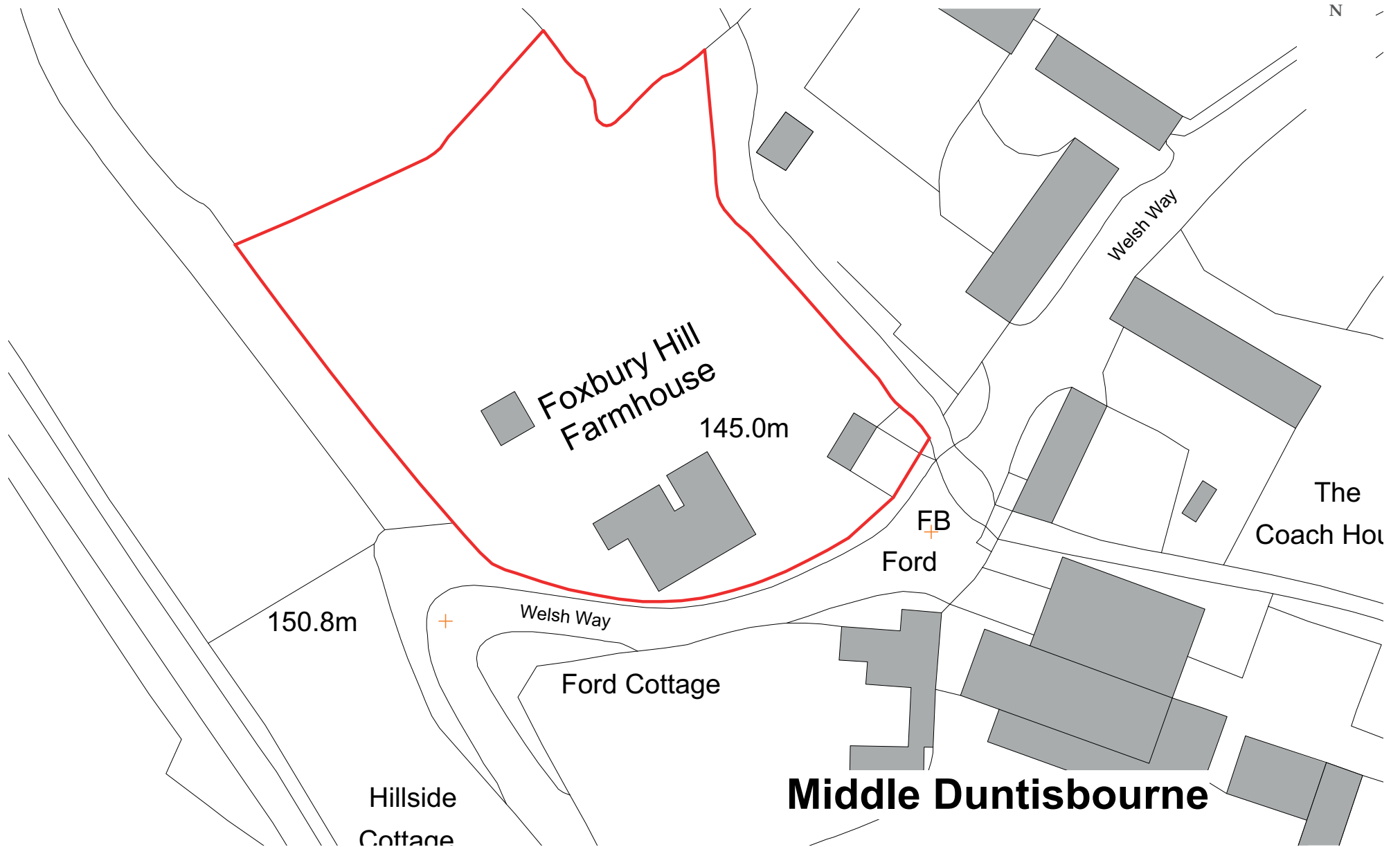


Figure 01: Location Plan

Site Description

Foxbury Hill Farm House, in the Gloucestershire settlement of Middle Duntisbourne, is believed to have originally been a mill house. The property is within the Middle Duntisbourne conservation area and has been extended many times over the past 40 years or so. The original structure can be seen in amongst the various extensions, with its tightly coursed, pretty Cotswold stone facade, arched lintels and asymmetrical appearance.

There are two existing accesses: to the north, through the village; and more directly from the road to the south. The site is heavily screened from most aspects by the landform coupled with established trees and vegetation which run along the surrounding topography lines.

To the left of the original structure is a modern two storey extension, which includes a single storey lean-to element on the front elevation that protrudes past the original elevation of the house. The lean-to area of the property is very close and lower than the road because of the change in ground level, making for an uncomfortable and cramped appearance that detracts from the older, prettier part of the front. The junction of the original house and the much newer extension could also be improved. The two -storey element of the new extension is of good quality rubble Cotswold stone, with dressed quoins and stone lintels.



Fig. 02 Existing Rear Elevation



Fig. 03 West Elevation, showing the two-storey western extension



Figure 04: North Elevation



Figure 05: North / West Elevation

Site Description

The rear of the property is an uncomfortable and unsympathetic mixture of four styles of extensions. The three gables, especially the one to the left (see figure 2), are overbearing to the overall elevation and the variety of unsympathetic window and door types detract from the original property and indeed the character of the conservation area. Internally the layout is highly impractical largely because there is a huge amount of space lost to circulation (see diagram).

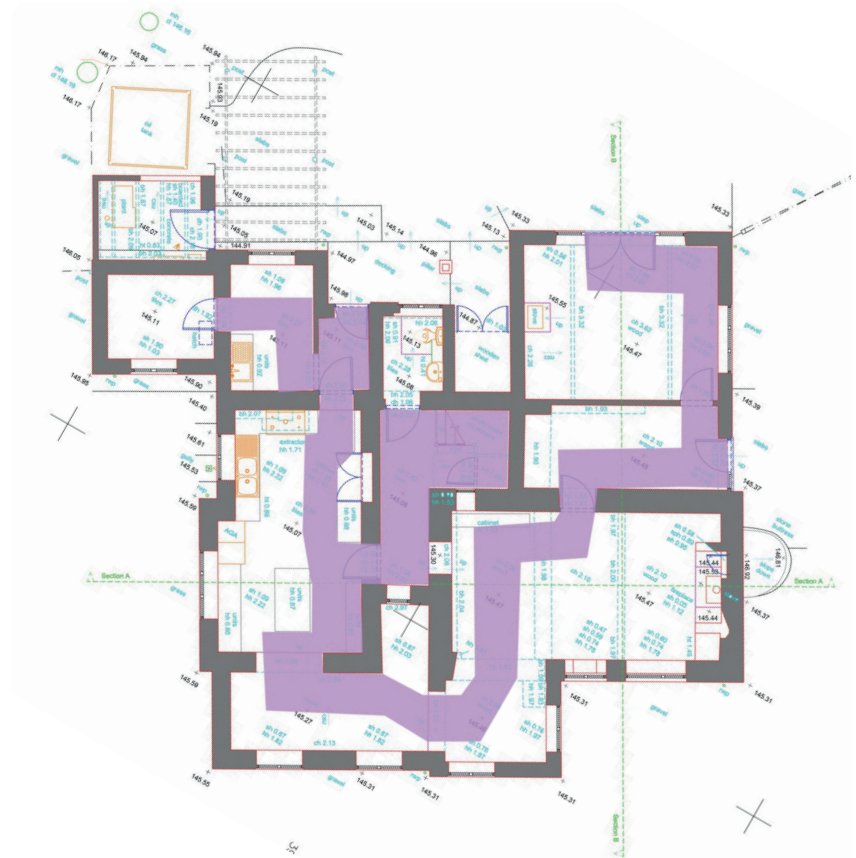
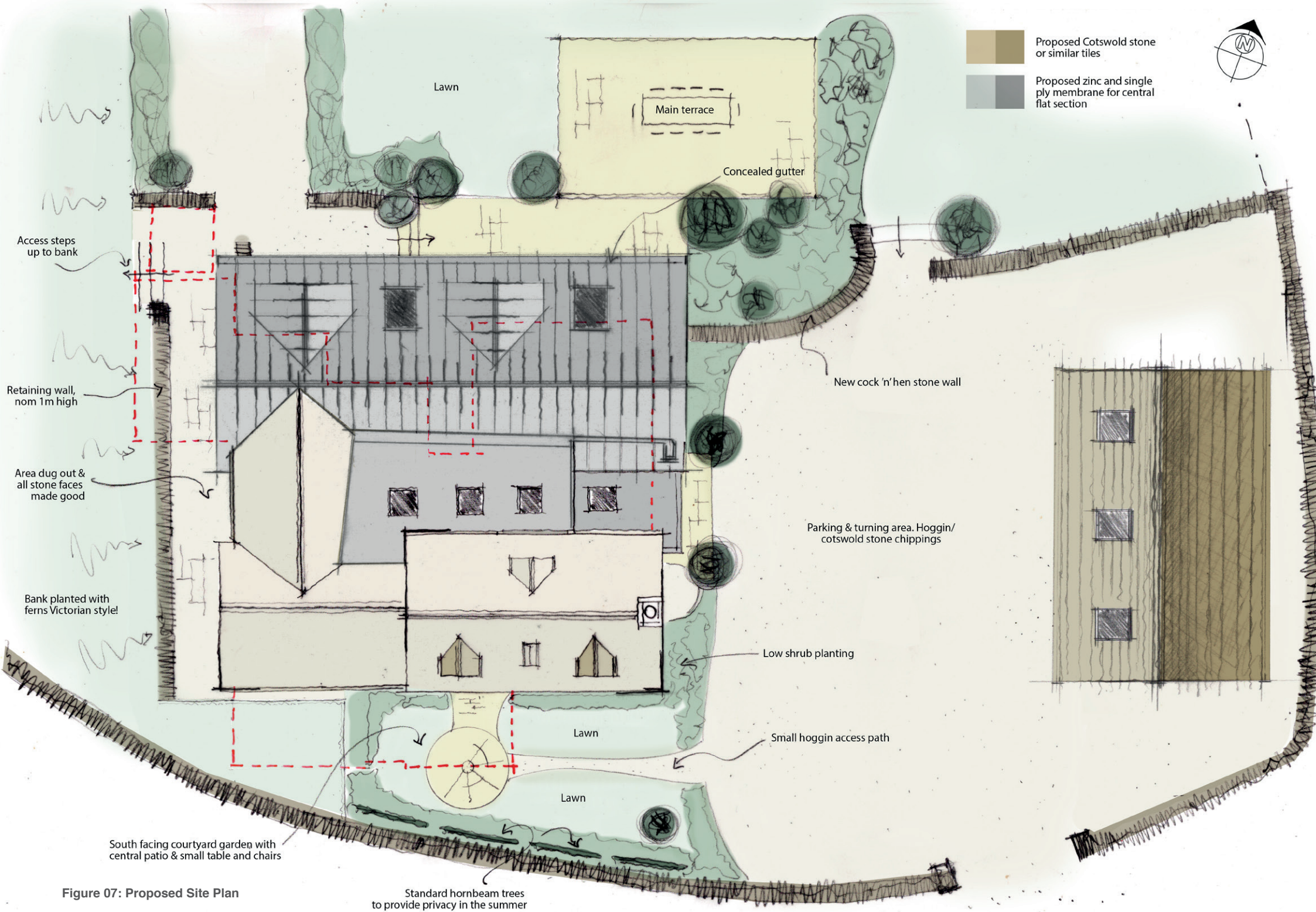


Figure 06: Existing Ground Floor, showing space lost to circulation in purple.



Proposed Cotswold stone or similar tiles

Proposed zinc and single ply membrane for central flat section



Lawn

Main terrace

Concealed gutter

Access steps up to bank

Retaining wall, nom 1m high

Area dug out & all stone faces made good

Bank planted with ferns Victorian style!

New cock 'n' hen stone wall

Parking & turning area. Hoggin/cotswold stone chippings

Low shrub planting

Small hoggin access path

Lawn

Lawn

South facing courtyard garden with central patio & small table and chairs

Standard hornbeam trees to provide privacy in the summer

Figure 07: Proposed Site Plan

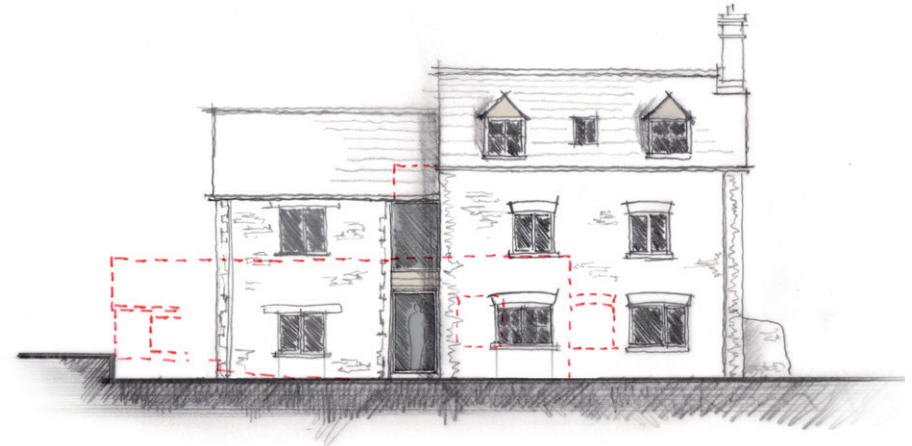
The Proposal

The aims of the proposal are as follows;

- To better celebrate the original structure through giving it due separation from any extensions, with careful consideration given to the joint between old and new materials.
- To rationalise and simplify the array of extensions to the rear, thus being more sympathetic to the original structure.
- To improve the appearance and function of the two-storey extension to the west, without demolishing it.
- To remove the lean-to's at the front which detract from the original structure and feel too close to the road (because of the levels) cluttering and detracting from the original house.
- Rationalise the floorplan and in doing so ensuring circulation space is to a minimum.
- Provide a better sense of entrance to the property.

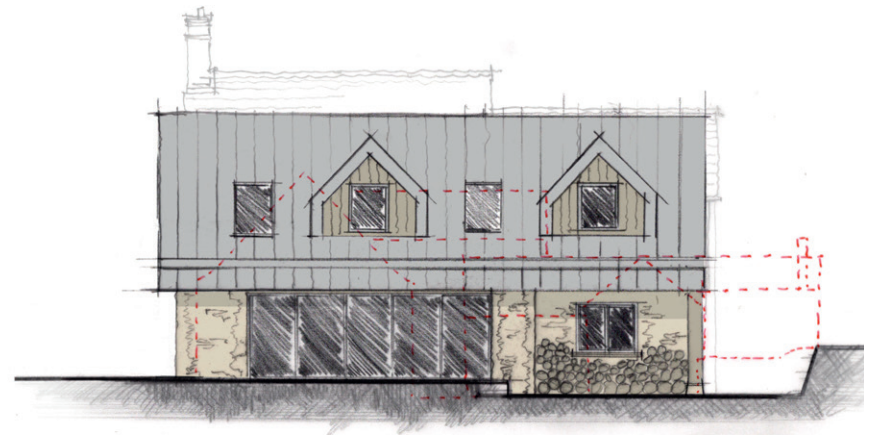
South East Elevation

To the front, the proposals show the removal of the two lean-to extensions and the re-instatement of one of the arched lintel windows on the original house. The unsympathetic gap between the original structure and the retained two-storey extension is proposed to be set back and glazed, to provide a better meeting of the older and newer Cotswold stone walls. There are two new dormers proposed to the front, to match the existing rear dormer in style and materials.



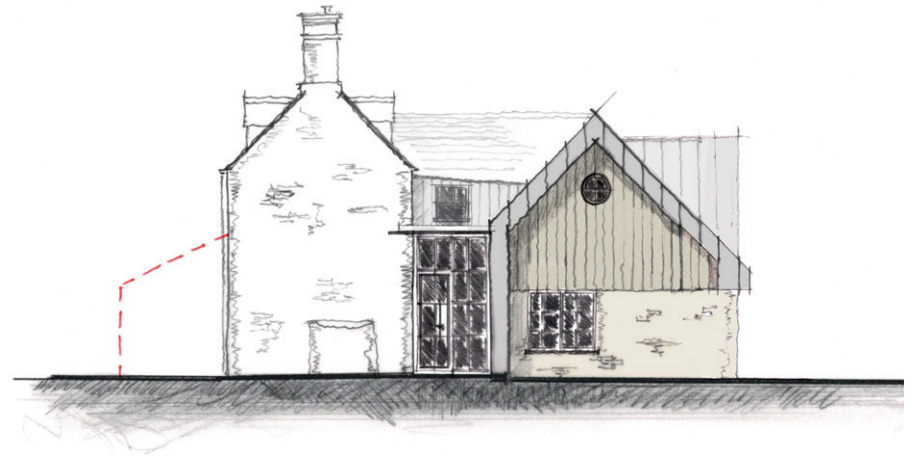
North West Elevation

To the rear, all but the retained west extension are to be replaced with one contemporary style element that contains the kitchen/ dining room and encompasses the existing utility room, unifying this elevation. The roof element is clad with zinc and untreated oak boarding (on the dormers); and on the ground floor with glazing and cotswold stone.



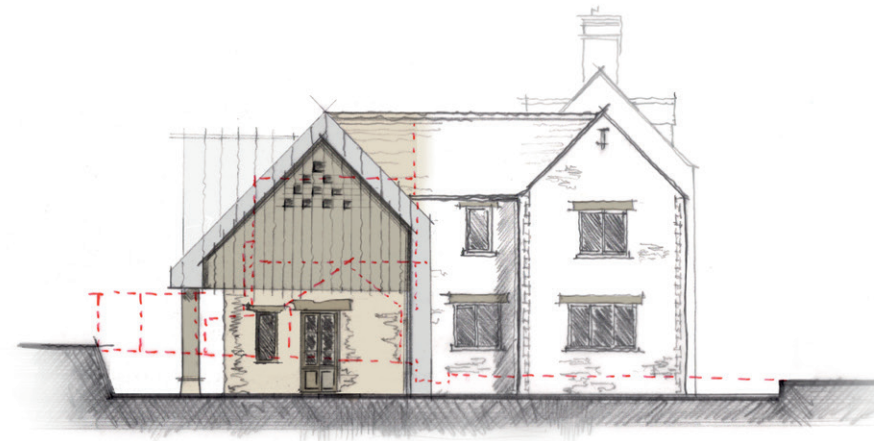
North East Elevation

On the east elevation, the glazed area between the original house and the zinc clad extension, provides a clear and appropriate entrance point to the property, addressing the existing parking area and detached garage structure. The east-facing single-storey element of the existing rear extension is to be retained and reused. The proposed glazed entrance area, which is set back between the two elements, provides a more appropriate junction between the original house and the rear extension.

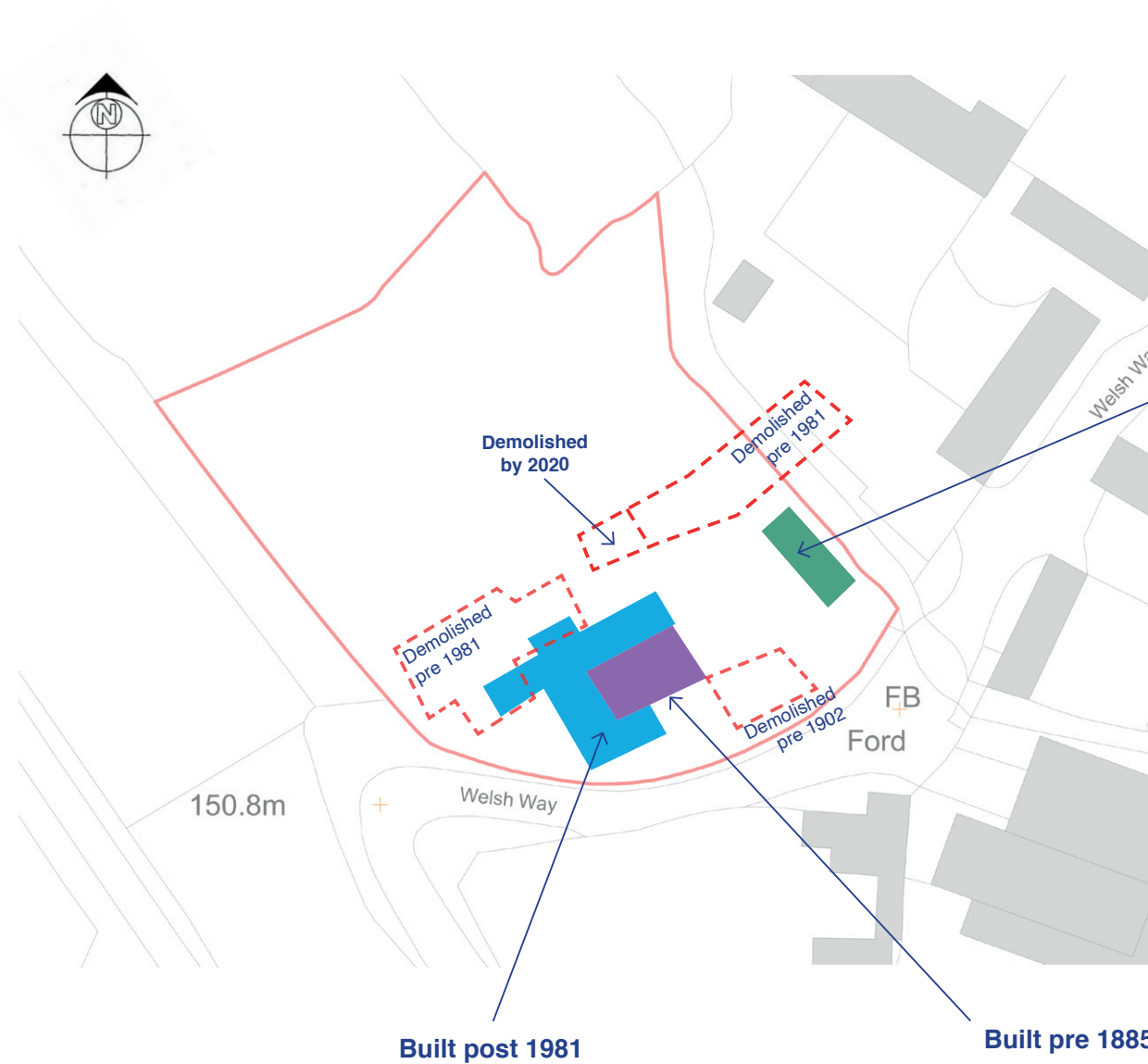


South West Elevation

The west elevation retains the extension to the right and joins it to the new extension to the rear. Using the same materials as the other elevations; untreated oak boards, zinc roofing and cotswold stone. Any new doors and windows (excepting the glazed doors on the North Elevation) are to be hardwood with reclaimed oak lintels.



Historical Analysis



The 'original structure', as referred to in this document is shown in purple in Figure 08. It is the only remaining structure from the site as it was in 1885. Figure 08 and photographs shown demonstrate that the areas proposed to be demolished are not part of the original structure. All the elements in blue were built after 1981.

Garage approved 2021

Built post 1981

Built pre 1885

Figure 08: Historical Mapping / Sourced from OS.

Conclusion

The proposals aim to improve the relationship between the original house and later extensions; and to rationalise the internal layout and external elevations. This will allow the building to meet modern living standards, in terms of construction and layout.

Overall, the footprint of the house is to be reduced. This has been possible because of the rationalisation and utilisation of floorspace that was previously lost to circulation.

The elevations are improved from a conservation perspective because the original house is now legible and properly renovated, ensuring its preservation into the future.

The east elevation is now more legible as the entrance and provides good quality and sympathetic separation to the older part of the property.

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