



## **DESIGN & ACCESS STATEMENT**

Site Address: Phoenix Cottage, Long Barn Road, Weald, Kent TN14 6NH

Proposal: Proposed demolition of the existing side projection and the erection of a replacement two storey side extension and associated external landscaping works.



**Project:** Phoenix Cottage, Long Barn Road, Weald, Kent TN14 6NH

**Client:** Mr & Mrs Francis

**Document:** Design & Access Statement

**Reference:** 21019-P-900-DAS

Issue

Date

Status

B

November 2021

For Planning

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## 1.0 Introduction

This planning statement has been compiled in support of the planning application for the demolition of the existing side projection and the erection of a replacement two storey side extension, and associated external landscaping works at Phoenix Cottage, Long Barn Road, Weald.

This document should be read in conjunction with the attached site photographs, appendices and associated planning drawings as part of this application.

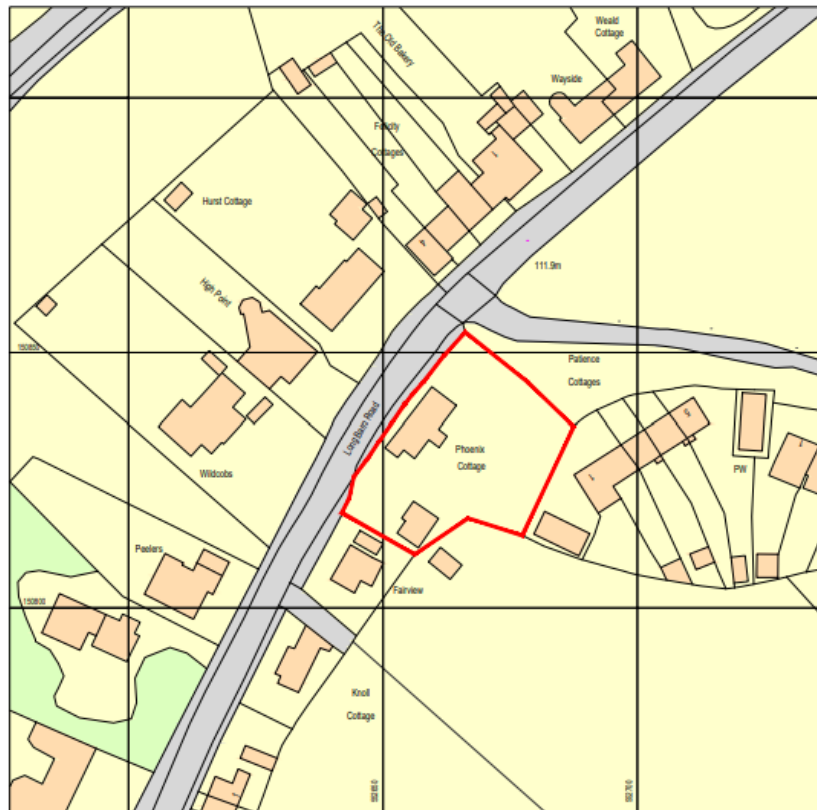


Fig 1 Location plan showing site boundary in red

## 2.0 Area and Site Assessment

Sevenoaks Weald is centred on the green within the village. Surrounding the green is a loosely arranged grouping of buildings of various ages, styles and sizes, but forming a coherent whole.

Long Barn Road runs from the village green, in a southern direction, out of Weald.

Phoenix Cottage is a Grade II listed building located on the eastern side of the road, just to the south of the village green.

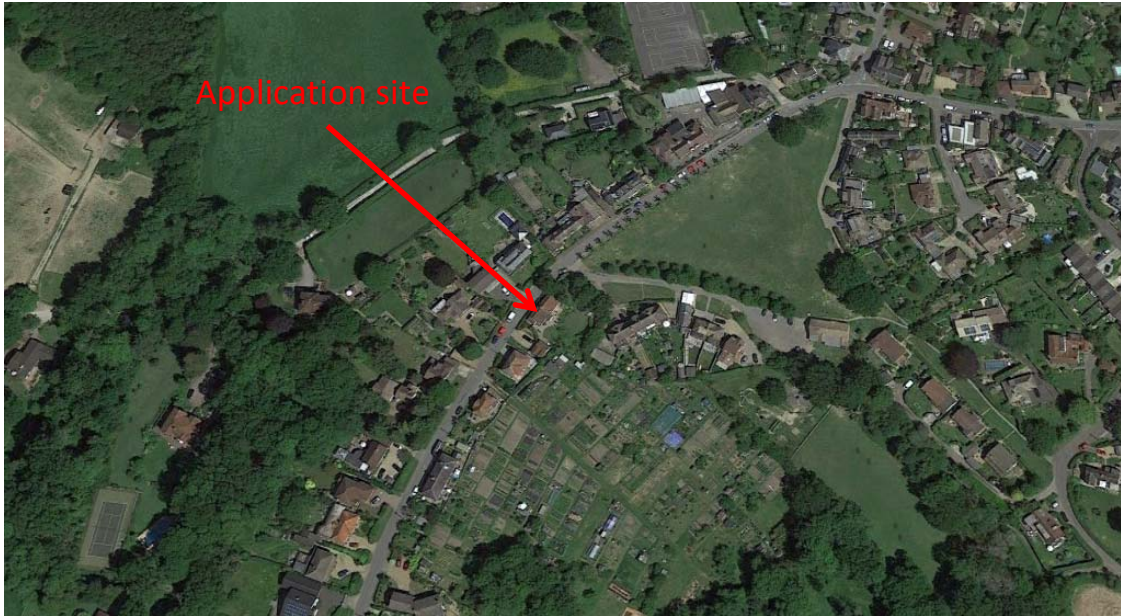


Fig 2 Aerial photo showing the site and surrounding area (Google)

The property is a two, storey detached cottage, with a tiled roof and old ridge stack, and weatherboarded walls.



Fig 3 Photo of the property from Long Barn Road

A detached outbuilding stands to the south of the main house.



Fig 4 Photo of the rear of the property including the detached outbuilding

The property is set upon an irregularly shaped plot and the house is set well forward, within the site, adjacent to the highway. The frontage of the site is bounded by a low level hedge.

The site is relatively level to Long Barn Road.



Fig 5 Photo of the existing southern gable elevation and side projection

### 3.0 Proposal

#### 3.1 Use

The proposals seek to further the enjoyment of the residential dwelling for the client through the addition of a modest side extension to create additional internal space within the property that better suits the client and their everyday life, and alterations to landscaping adjacent to the extended house.

Materials and detailing will match the existing appearance of the dwelling.



Fig 6 Proposed front elevation

#### 3.2 Amount

The proposed side extension will be approximately 3m wide, will be set approximately 0.3m in from the front and rear elevations of the building and will be set approximately 0.3m down from the ridge of the house.

The proposed extensions and alterations are therefore designed to retain a subservient appearance and scale in comparison to the existing house.

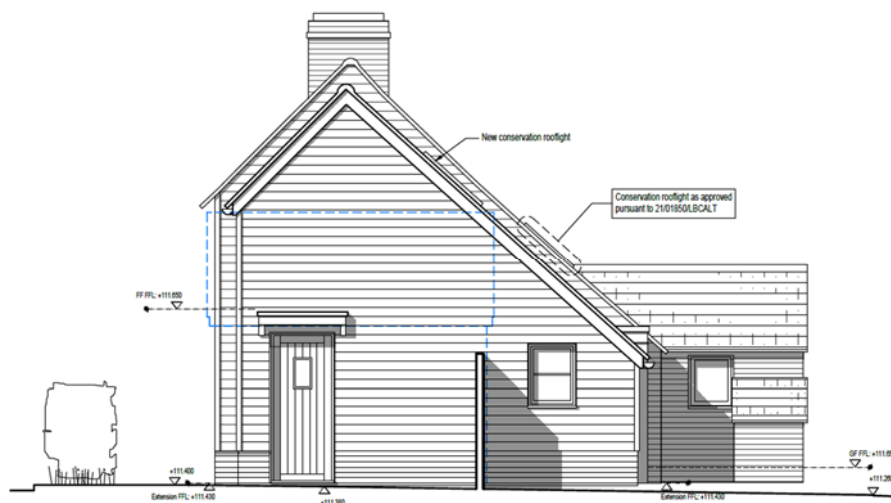


Fig 7 Proposed southern gable elevation



### 3.3 Layout

The proposed development will affect all but the northern gable elevation of the dwelling. The extension will not affect the majority of the internal layout of the property. The only change to the existing building would be the opening up of the access through to the extension at ground and first floor.

At ground floor level, the extension will provide a new entrance and hallway, and a home office.

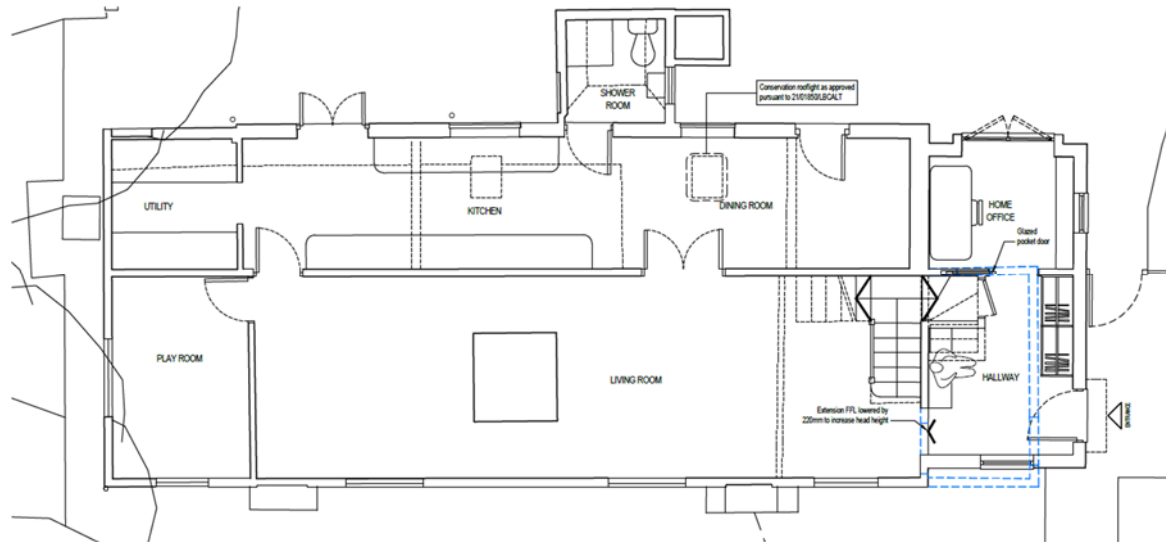


Fig 8 Proposed ground floor plan

At first floor level, the proposed extension will provide an additional bedroom.

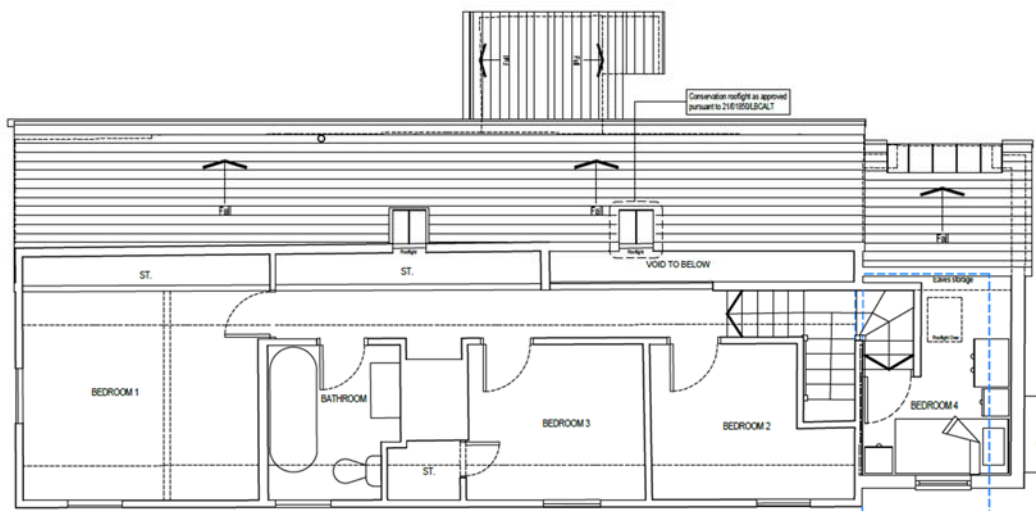


Fig 9 Proposed first floor plan

Externally, some planting will need to make way for the extension and the existing side gate will be reused as access to the rear of the property.



Fig 10 Proposed site layout

### 3.4 Scale

The images below illustrate the proposals in elevation. The proposed use of materials that will match and the existing house are intended to allow the scheme to appear in keeping with the character and appearance of the existing building and the wider area.

The appearance of the front elevation (see Fig 6 above) will be respected through the creation of a subservient two storey extension.



Fig 11 Proposed rear elevation

Again, the rear elevation will exhibit the proposed subservient two storey side extension. The extension will have a long catslide roof to the rear and a lead lined square dormer head patio window.

The proposed southern gable elevation (see Fig 7 above) will exhibit the proposed side extension, which will be set down from the ridge of the main house and will be modest and proportionate to the original building.

The elevations above demonstrate the sympathetic design that the proposed extension and alterations will exhibit.

### 3.5 Landscaping

The proposed development will result in a modest alteration to landscaping to the side of the site. The amount of hard and soft landscaping will otherwise remain the same as existing.

### 3.6 Appearance

All materials are noted in the planning application form and noted on the proposed plans and include a palette of quality materials that will match the appearance of the existing house and the character of the surrounding area.

### 3.7 Access

The vehicular and pedestrian accesses to the site will be retained and the proposed thresholds will be stepped in the same way the existing thresholds are.

## 4.0 Appendix

List of submitted drawings and documents

- 21019-E-100 LOCATION PLAN
- 21019-E-200 EXISTING SITE PLAN
- 21019-E-201 EXISTING ROOF PLAN
- 21019-E-300 EXISTING PLANS
- 21019-E-301 EXISTING PLANS
- 21019-E-700 EXISTING SECTION
- 21019-E-800 EXISTING ELEVATIONS
- 21019-E-801 EXISTING ELEVATIONS
- 21019-E-802 EXISTING ELEVATIONS
- 21019-P-200 PROPOSED SITE PLAN
- 21019-P-201 PROPOSED ROOF PLAN
- 21019-P-300 PROPOSED PLANS
- 21019-P-301 PROPOSED PLANS
- 21019-P-700 PROPOSED SECTION
- 21019-P-800 PROPOSED ELEVATIONS
- 21019-P-801 PROPOSED ELEVATIONS
- 21019-P-900-DAS DESIGN AND ACCESS STATEMENT
- PLANNING STATEMENT (WILLOW TOWN AND COUNTRY PLANNING)
- HERITAGE STATEMENT (OLIVER CHAPMAN)
- PRODUCT INFORMATION ROOFLIGHT CO. CONSERVATION ROOFLIGHT  
ECLISSE POCKET DOORS