

PHEONIX COTTAGE, LONG BARN ROAD, TN14 6NH

HERITAGE STATEMENT



Oliver Chapman MCIOB IHBC

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GENERAL

This application relates to the proposed replacement of the existing single storey extension to the south end with a two storey extension.

Policy

The following policy documents have been taken into account in the preparation of this statement:

Paras 189 to 202 of the National Planning Policy Framework.

National Planning Practice Guidance Note 'Conserving and Enhancing the Historic Environment'.

Historic Environment Good Practice Advice in Planning Notes published by Historic England (previously English Heritage).

The Sevenoaks Weald Conservation Area Appraisal and Management Plan

LIST DESCRIPTION

First listed as grade II in 1975 the list description describes the building as

‘(Formerly listed as Green Cottage and Rambler Cottage, previously listed as Cottage belonging to Mrs D Campbell and Rambler Cottage)

II Former timber framed pair, probably C17. Each two storeys, two windows. Tiled roof with old ridge stack. Weatherboarded walls. C19 one bar casement windows. Plain doors. These and ground floor windows under tiny pent hoods.’

The Heritage England reference ID number is 447465.

ARCHEAOLOGICAL ASSESSMENT

This building comprises a pair of simple C19th timber framed and weatherboarded cottages retaining their original features in the form of peg tile roofs and fenestrations. However, internally, the cottages have been converted to a single house with internal layouts changed and original staircases removed.

The roof structure is mainly sawn softwood, although incorporating some reused timbers, with a ridge board. The chimney is on the party wall between the two cottages and consists of 4 flues (2 per cottage) heating the rooms. It is not clear if there were further chimneys at each end to heat the other rooms or whether they were unheated.

However, the form and detail is typical of early to mid C19th and the date suggested in the listing is unlikely to be correct.

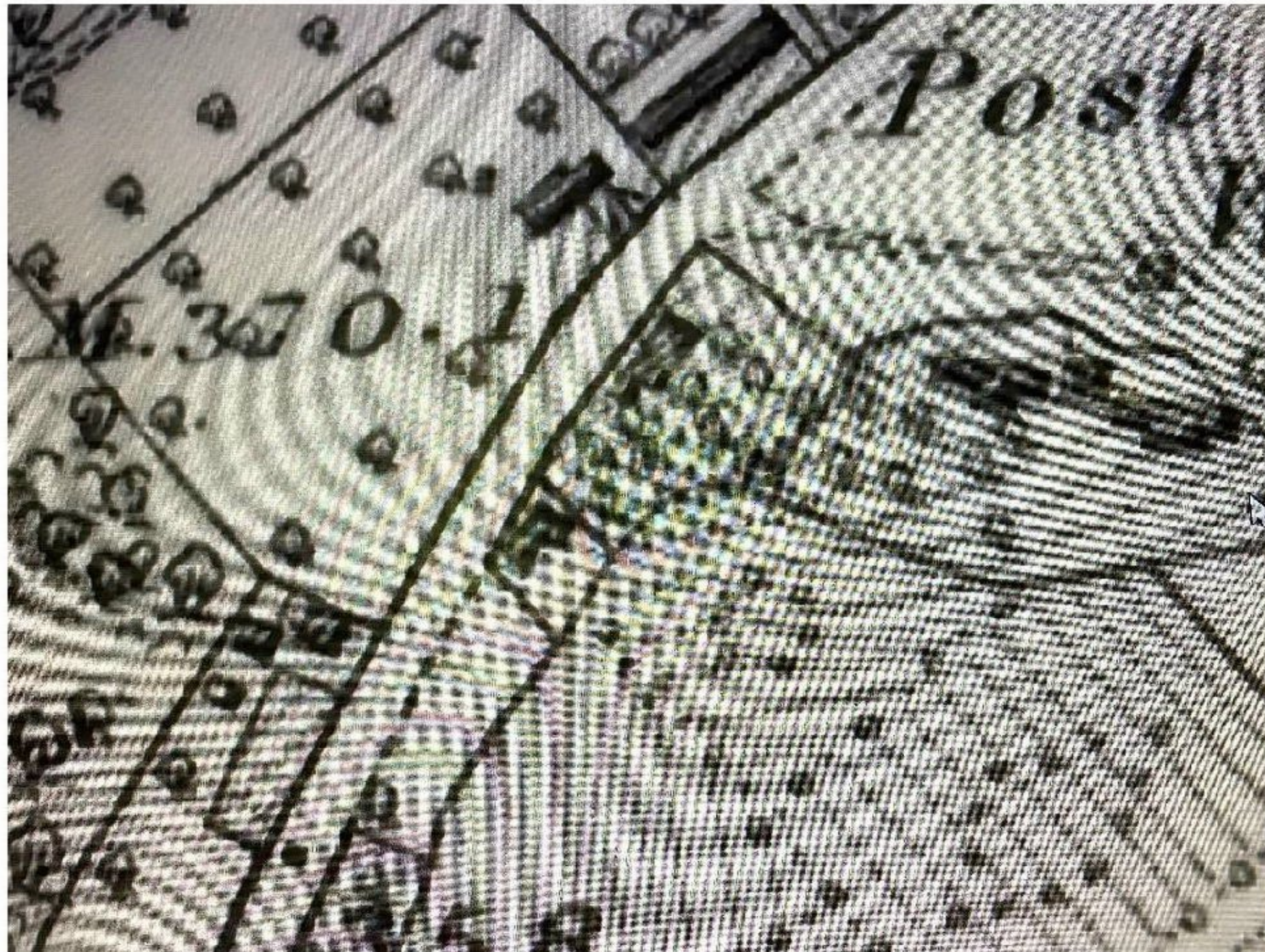
The historic OS maps show that the cottages existed at the time of the first survey in 1871 and, although not very clear, the rear catslide roofs could be part of the original build. However, the rear wall and outshot to the rear is brick built and so could be later.

Interestingly, the 1971 map shows an addition to the south but it had gone by the 1895 survey.

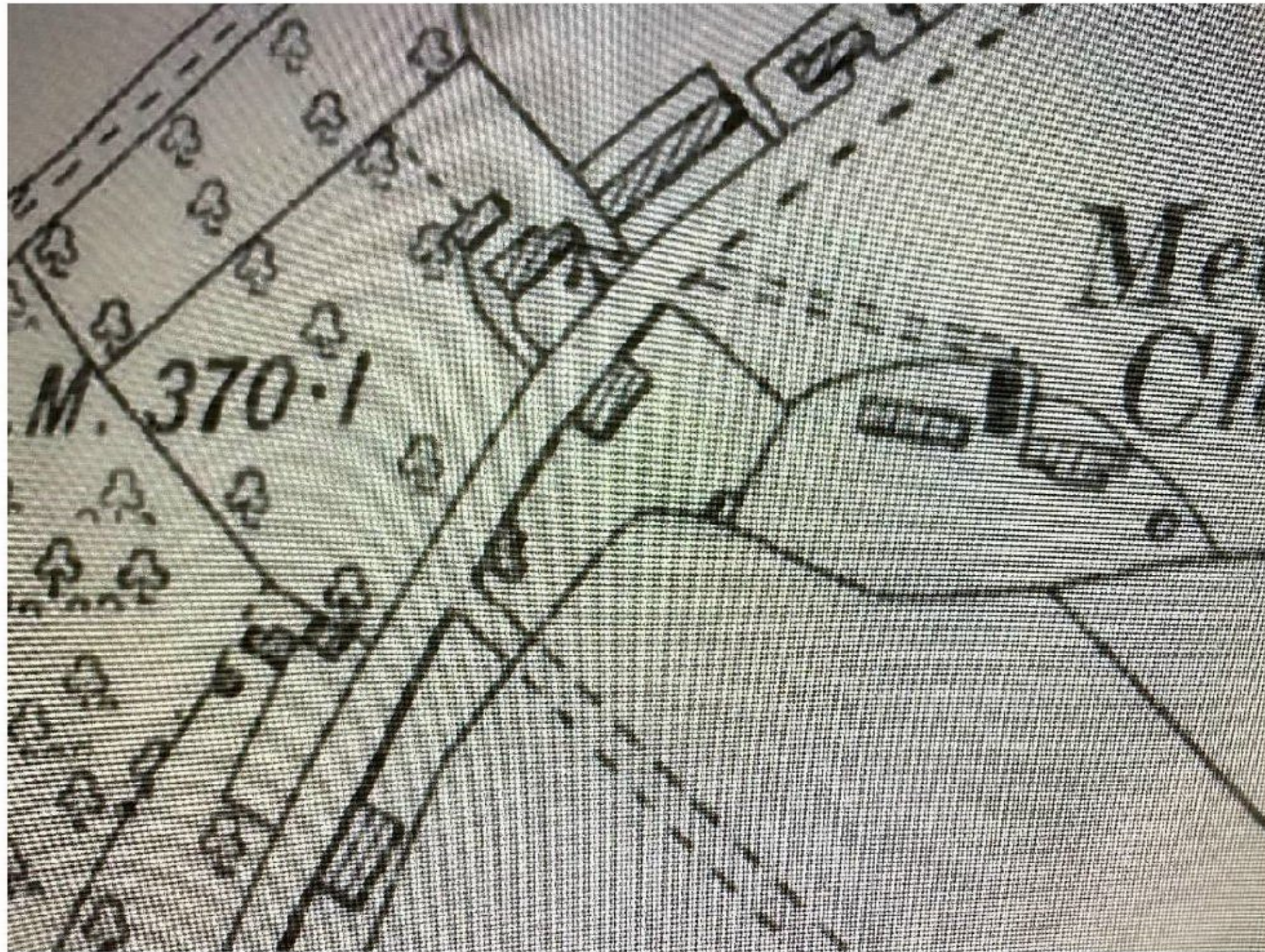
The planning history sets out consents for alterations including making the two cottages into one with related internal alterations. These include removal of the original staircases and the construction of a new one at the south end.

The existing single storey extension to the south is clearly late C20th being built on a brick plinth in stretcher bond, and constructed in weatherboarding to blend in with the original.

HISTORIC ORDNANCE SURVEY MAPS



Extract of OS 1871



Extract of OS 1907



Extract of OS 1938

THE PROPOSALS

The proposal is to demolish the modern extension and replace it with a two storey extension to provide additional family accommodation.

DISCUSSION

The origins of this building as a pair of cottages is still legible despite it now being one house and that form, together with the catslide roof to the rear and small outshot are the prominent features of it. The form of the late extension to the south fits comfortably with the building but is considered to be of no historic significance. The loss of this structure would not, therefore, be detrimental.

The provision of a two storey extension, in the form proposed (which is set back from the front and rear walls and set below the historic roof line and mirroring the catslide roof form) is considered to be an appropriate means of providing additional accommodation to this property.

Internally, the existing staircase is late C20th and there would be no harm in altering it to enable access to the first floor of the proposed extension.

The Sevenoaks Weald Conservation Area Appraisal and Management Plan refers to just two listed buildings within the Conservation Area and makes specific reference to Phoenix Cottage and its relationship with Patience Cottages behind. The proposals would not have an adverse impact upon that relationship

It is considered that there is no 'harm' either to historic fabric nor setting with these proposals.



Photo of south end wall

CONCLUSION

These proposals are considered to be entirely appropriate in this situation and cause no harm as defined in the NPPF, and planning permission and listed building consent is requested for them.

