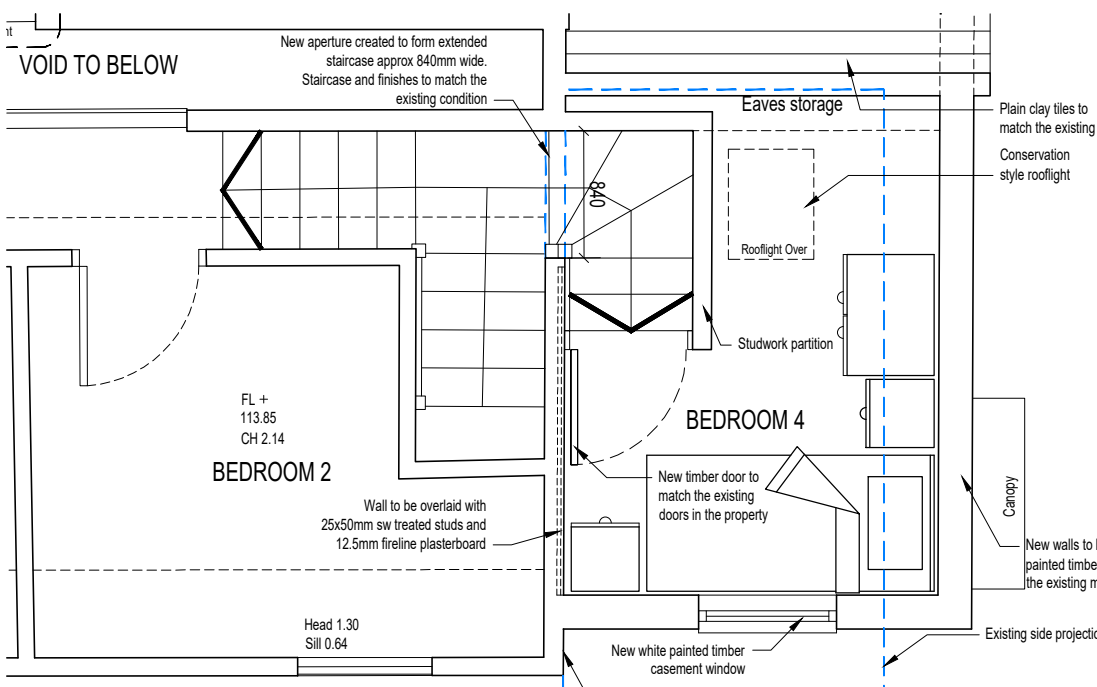


DO NOT SCALE FROM THIS DRAWING.  
 Except for planning purposes. All dimensions must be verified by the main contractor before the commencement on site of any item of work or the preparation of shop drawings for their own work or that of sub-contractor or suppliers.  
 This drawing is to be read in conjunction with all relevant documents. Any queries or discrepancies must be reported immediately to the architect.  
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Key	
	Planning Application Boundary
	Line of existing building



**2 PLAN**  
 Proposed First Floor Plan

- Roof Generally**
- Roof finishes, junctions and flashings to be reviewed on site by builder and made good as necessary
  - Loose tiles, leadwork, flashings, abutments, junctions, soakers and penetrations to be made good as required
  - Abutment junctions to be flashed with Code 4 lead flashings.
  - All materials to match the existing

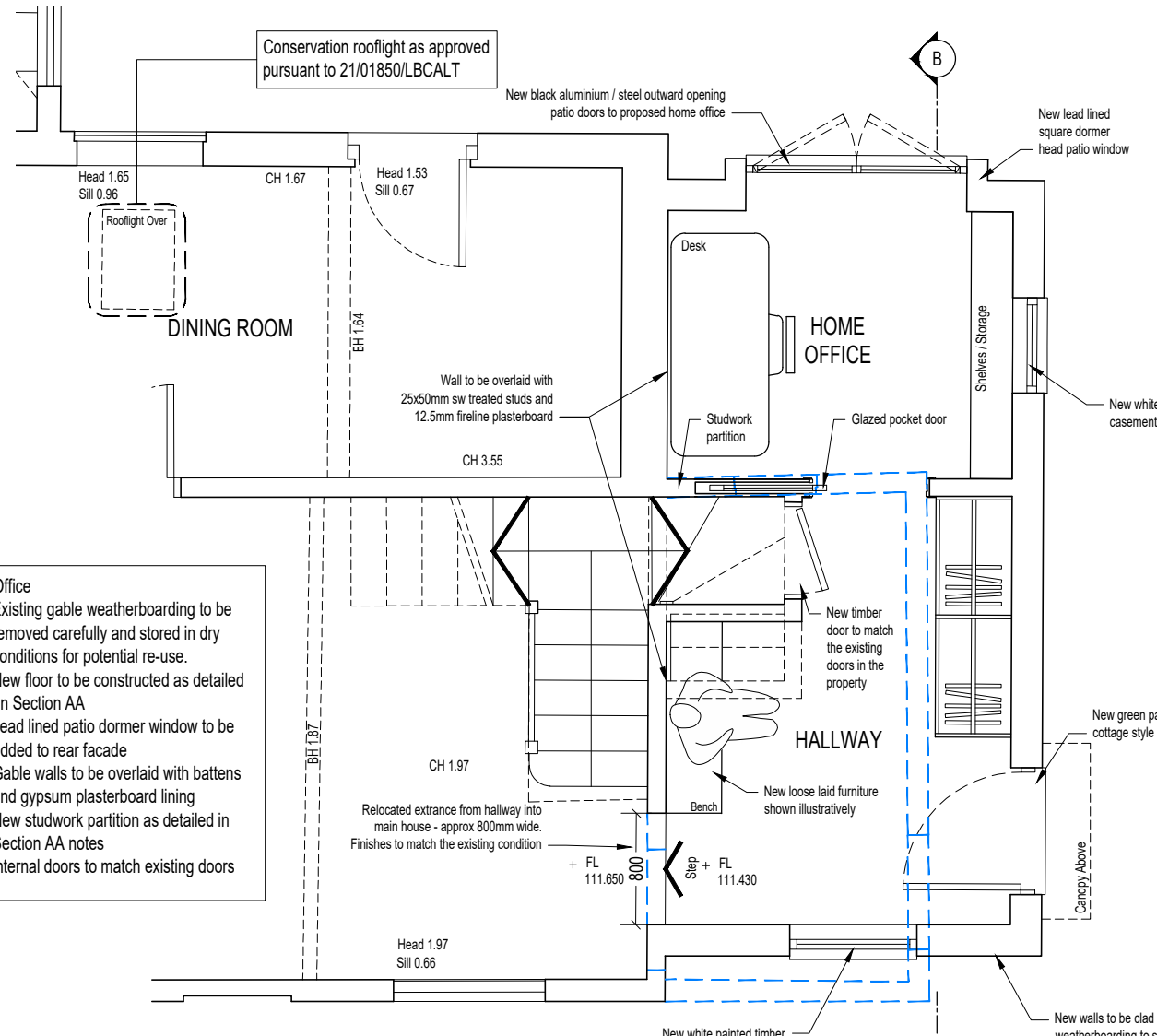
- Bedroom 4**
- Aperture created to existing gable wall for extended staircase
  - Existing gable weatherboarding to be removed carefully and stored in dry conditions for potential re-use.
  - New floor to be constructed as detailed on Section AA
  - Conservation rooflight to be added to rear facade
  - Eaves storage to be constructed to rear roof pitch

**Materials Generally**  
 All materials to be carefully removed by Contractor and re-used where possible  
 New wall / roofing materials to match the existing stock, coursing and detailing  
 New white painted timber casement windows to match the existing profiles and colour

**Internal Finishing Generally:**  
 Plaster repairs to be finished to match the existing plaster finish of the existing walls.

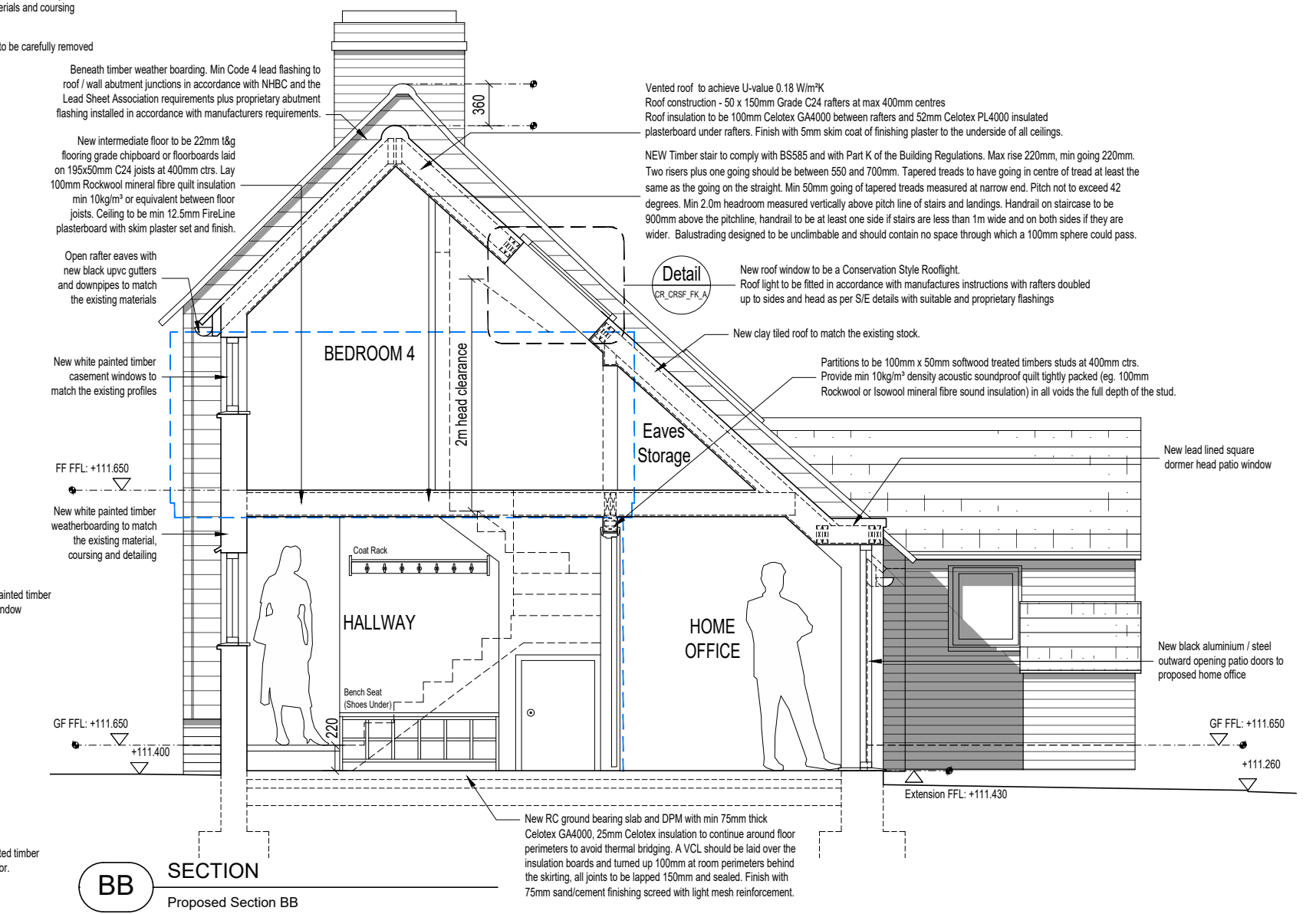
**Decoration Generally:**  
 Unless otherwise noted all walls and ceilings to be cleaned, and damages made good to match the existing conditions. To be re-painted throughout all affected areas of the proposals

**Services Generally:**  
 Drainage to be investigated, repaired and made good.  
 Damage to ceiling finishes to be made good locally to match the existing.  
 Electrics to be re-wired using existing routing. New back boxes and sockets / switches throughout. Any repairs to be made good locally to match the existing finishes.



**1 PLAN**  
 Proposed Ground Floor Plan

- Home Office**
- Existing gable weatherboarding to be removed carefully and stored in dry conditions for potential re-use.
  - New floor to be constructed as detailed on Section AA
  - Lead lined patio dormer window to be added to rear facade
  - Gable walls to be overlaid with battens and gypsum plasterboard lining
  - New studwork partition as detailed in Section AA notes
  - Internal doors to match existing doors



**BB SECTION**  
 Proposed Section BB

- Hallway**
- Existing side projection to be demolished by Contractor
  - Existing gable weatherboarding to be removed carefully and stored in dry conditions for potential re-use.
  - New ground floor to be constructed at lower level to be at grade to external levels and as detailed on Section AA
  - Existing opening into main house to be relocated. Eaves storage to be constructed to rear roof pitch

Scale 1:50  
 0m 1m 2m 3m

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*For planning submission purposes only*

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Drawing Title: Proposed Layouts	Scale: Noted @A3	
Drawing Number: 21019-P-400	Rev: F	