

**TINNERS ARMS, ZENNOR
TR26 3BY**



**PLANNING AND LISTED BUILDING APPLICATION
DESIGN AND IMPACT STATEMENT**

October 2021

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Fig. 1 Google Image of Land's End

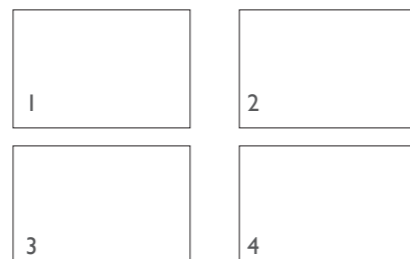


PHOTO KEY

- 1. Entrance courtyard from the east.
- 2. Beer Garden from the south
- 3. Rear Elevation of Pub from the west
- 4. White House B&B from northwest

Fig. 2 Elevation Photographs of Tinner's Arms

CLIENT STATEMENT

We purchased the Tinnors Arms approximately 6 years ago and were immediately aware of the shortcomings of the building and the affect it could have on the business.

A key issue was the fact that the whole of the first floor was rendered unusable as a result of an extremely dangerous staircase that sits within the commercial kitchen, precluding safe access and egress.

We engaged LOCi:architecture to carry out a study of the property to understand how best to sympathetically improve the safety of the property whilst bringing the unusable 1st floor accommodation back into beneficial use.

We have worked with Cornwall Council and the Heritage Building Team, over a number of years, to establish a viable project proposal. The conversation that ensued has led to a much simplified and more appropriate scheme, both in terms of layout and impact on this historic building.

Unfortunately, the existing roofs at The Tinner's Arms were at the end of their serviceable life and consequently failed during February 2021. This resulted in a flood event that irreparably damaged the interior finishes at the property. This necessitated a programme of emergency works which was agreed with Cornwall Council and added to the scope of the project.

It has been an extraordinarily difficult time for the business which, amongst other issues, has reinforced the need to have staff living on-site, both in support of the business and in order to respond promptly to any property related emergency.

This is a critical time for the Tinner's Arms and we believe this sympathetic proposal will secure the future of this popular public house at the heart of Zennor, for generations to come.

Anna and James George September 2021

1.00 INTRODUCTION

The Tinner’s Arms is a popular and historic public house and B&B located at the heart of Zennor Village on the north coast of the Land’s End Peninsula.

It comprises a group of buildings that have developed over the years from the 17th and 18th century through to the late 20th century. A Historic Building Appraisal has been carried out by Eric Berry and can be found in the Appendix to this document.

The property has suffered from a lack of investment in recent years, with poor quality services rendering the operation of business inefficient and difficult to manage.

A key issue for the pub has been the unusable first floor accommodation which has not been used for a number of years due to issues of fire and life safety.

1.01 AIMS AND OBJECTIVES

The existing 1st floor at The Tinner’s Arms is currently unusable as a result of the existing access stair, which sits in the middle of the commercial kitchen.

In order to bring the accommodation back into safe use, it is vital that the access stair is relocated to create a safe route for access and egress.

The existing accommodation is in extremely poor condition, exacerbated by the flood event of earlier this year.

The aim is to create viable, comfortable accommodation to allow staff to live on-site and in order to achieve this, the area requires up-grading to meet fire and life safety standards. Most notable by relocating the access stair to a safe location.

The proposal also includes for the refurbishment of the existing first floor rooms and the insertion of en-suites, whilst minimising the impact on the historic fabric.

Having an on-site staff presence is vital for the business and for the on-going monitoring of building fabric in the event of an emergency. The proposed programme of works will achieve this in a sensitive and considered manner.



Fig. 3. OS Plan of Tinner’s Arms within Village of Zennor

1.02 DESCRIPTION OF THE PROPOSED WORKS

The proposed programme of works is in 2 parts (Emergency Works and Refurbishment and Modification) described as follows:

“Regularisation of emergency works, previously permitted by exchange of correspondence, including replacement roofs and internal wall and ceiling finishes. Along with the proposed removal of existing dangerous access stair, insertion of a new access stair and entrance hall and refurbishment of first floor accommodation including the creation of 3 new en-suites.”

1.03 SCOPE OF THE APPLICATION

As noted above, the works are broken down into 2 packages of work, firstly the regularisation of emergency works and secondly proposed modifications to the layouts.

EMERGENCY WORKS FROM ROOF FAILURE AND FLOOD EVENT.

1. Replacement roofs:

The existing roofs were at the end of their serviceable life and failed in February 2021, necessitating their replacement. The works were agreed with Cornwall Council (Case Officer-Georgina Murray) and have now been completed in accordance with the proposed specification, ie reclaimed slate in a dry laid scantel format.

2. Replacement finishes to ceilings and walls at first floor level:

The existing finishes were a mish-mash of various poor quality finishes, including fibre board to ceilings and a mix of gypsum plaster, concrete and small areas of lime plaster to the walls.

Replacement finishes have been agreed via exchange of correspondence, including:

Ceilings: Plasterboard and skim with lightweight insulation, to upgrade the thermal performance of the roof whilst ensuring fire and life safety.

Walls: Internal linings to external walls, comprising lime pointing and bag rubbed render in order to strengthen and consolidate the existing poor quality granite, with a timber stud lining comprising breathable

insulation and timber panelled finish.

PROPOSED MODIFICATIONS TO EXISTING ACCOMMODATION:

1. Removal of existing dangerous access stair:

Remove stair within the commercial kitchen and make good walls and ceiling with fire resisting construction to create fire separation between kitchen and first floor accommodation.

2. Creation of new dedicated entrance at rear of the property.

A new entrance is to be formed within the existing Ladies WC (20th C construction) to permit access to the first floor, discreet from the operational area of the pub.

3. Formation of New Access Stair:

A new access stair is to be located within the back bar area of the pub, within a fire resisting enclosure, in order to bring the first floor into safe and compliant use.

4. Refurbishment of existing unusable accommodation:

Upgrading the accommodation to latest fire and life safety standards, including creation of fire separated access corridor to bedrooms,

I.04 PLANNING HISTORY OF THE PROPOSAL

As noted in the Client Statement, we have been working with Cornwall Council Heritage Building’s Team over a number of years, to identify the most appropriate scheme to achieve the aims and objectives noted above.

We have made 2 Pre-Application submissions since 2018, with the aim of improving the scheme and minimising the impact on the heritage asset, both in terms of historic fabric and the impact on the wider village of Zennor, whilst improving the sustainability of the property.

A summary of each application follows below.

PRE-APP. NO.1: PA18/00709/PREAPP
(Advice letter received 26th April 2018 refer to Appendix)

This pre-app referred to an earlier and larger proposal which included an extension to the 1980’s dining room (see Adjacent Pre App Drawings relating to this submission and feedback letter within the appendix).

It should be noted that the dining room extension is no longer part of the application, however some of the feedback from Cornwall Council remains pertinent and has informed the current proposal:

1. Removal of dangerous stair deemed acceptable.
2. Opening up of gable no longer required as new stair relocated internally, in order to minimise impact.
3. Some opening up of the fabric suggested to allow further investigation, including removal of timber panelling within back-bar to establish if a fire place was present (NB: No fireplace in this position- which supports this as the proposed location for the new access stair)

Following receipt of the Pre App feedback, further investigations were undertaken and the scheme proposal revised. Please see details of second Pre-App overleaf.



Fig. 4. Pre App 2018 Preliminary Layouts

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PRE-APP. NO.2: PA20/00339/PREAPP

(Advice letter received 6th May 2020. Refer to Appendix)

A subsequent Pre-application submission was made in February 2020 and feedback received in May 2020 (see adjacent drawings).

This application sought feedback on a much reduced scheme, focussing on the fire and life safety of the building, ie removal of existing dangerous stair, new entrance and stair and refurbishment of first floor accommodation.

This pre-application related to the scheme as proposed in this Full Planning and Listed Building Application. Feedback included:

1. Location of new staircase deemed acceptable. More detailed reference to the proposed location of the stair and entrance within the ladies WC and back bar area. Some concern expressed over a potential fireplace, however upon opening up, no fireplace existed.
2. Refurbishment of existing staff accommodation (unused) Proposed modifications to layouts deemed acceptable (incorporation of 3 new en-suites) with reference to leaving a "ghost" of a blocked up doorway within the access corridor.

PROGRAMME OF EMERGENCY WORKS:

As previously noted, the roof failure and flood event led to the need for a programme of emergency works. The detail of which was agreed by exchange of correspondence with Cornwall Council Planning Dept. during spring 2021.

The programme permitted replacement roofs and replacement internal finishes to first floor level.

All of the above engagement with the Planning Department at Cornwall Council has led to a more refined and appropriate solution for the Tinner's Arms.

We believe that the proposal contained in this application resolves the fire and life safety issues at the heart of the problem and supports the business operation of the pub all whilst respecting and enhancing this popular historic building and the heart of the village of Zennor.

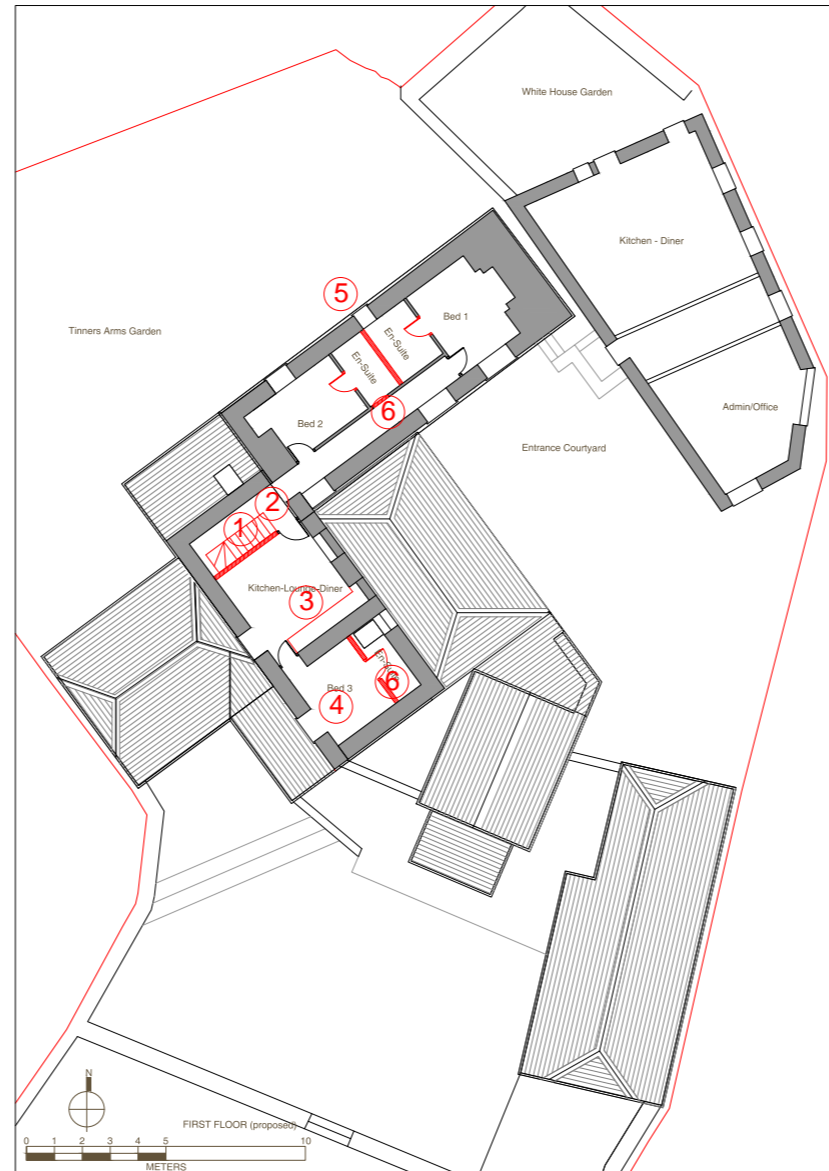
The existing and proposed layouts have been outlined in the following sections of this design statement along with a commentary for each floor level.



PLAN 2: PROPOSED GROUND FLOOR PLAN

PROPOSED WORKS: GROUND FLOOR

1. RELOCATE HAZARDOUS STAIR TO MANAGER'S APARTMENT (Currently sits within commercial kitchen).
2. RE-CONFIGURE COMMERCIAL KITCHEN AREA.
3. NEW EXTERNAL DOOR TO ACCESS STAIR
4. NEW STAIR TO MANAGER'S 1ST FLOOR APARTMENT (See 1 above)
5. RE-CONFIGURE LADIES WC
6. IMPROVE SIGNAGE TO TERRACE ENTRANCE AT REAR OF PUB.



PLAN 2: PROPOSED FIRST FLOOR PLAN

PROPOSED WORKS: FIRST FLOOR

1. CREATE NEW STAIRWELL ACCESS TO MANAGER'S APARTMENT FROM BELOW.
2. CREATE NEW FIRE AND DRAUGHT LOBBY TO MANAGER'S APARTMENT.
3. INCORPORATE NEW KITCHENETTE INTO MANAGER'S APARTMENT.
4. CREATE EN-SUITE BEDROOM 3 IN EXISTING BATH/STAIRWELL SPACE.
5. CREATE 2 NEW EN-SUITES WITHIN EXISTING SMALL BEDROOM
6. UPGRADE ACOUSTIC AND FIRE PERFORMANCE OF SEPARATING FLOORS BETWEEN GROUND AND 1ST FLOOR USES.
7. RE-DECORATE THROUGHOUT.

Fig. 5. Pre App 2020 Preliminary Layouts

2.00 EXISTING BUILDING LAYOUTS

2.01 EXISTING KEY PLAN

The adjacent plan is a reduced version of the Application drawing: LA-154-001-P05 EXISTING KEY-PLAN. It indicates the overall site layout of the Tineers Arms.

Key elements have been numbered on the plan, which refer to areas where work is proposed.

Please refer to Explanatory Note and Key below for details.



Fig. 6. Existing Key Plan

EXPLANATORY NOTE:

There are specific areas of essential works required to the Ground Floor at The Tinners Arms, in order to ensure that fire safety standards are met and that safe access can be provided to the first floor accommodation.

The existing access stair is extremely unsafe. It is the only stair within the building and does not allow for safe access and egress from first floor.

Further, the stair is located within the middle of a commercial kitchen and is therefore extremely unsafe and disrupts the workflow.

A new stair is to be located within the back bar area, which allows for safe escape in the event of fire.

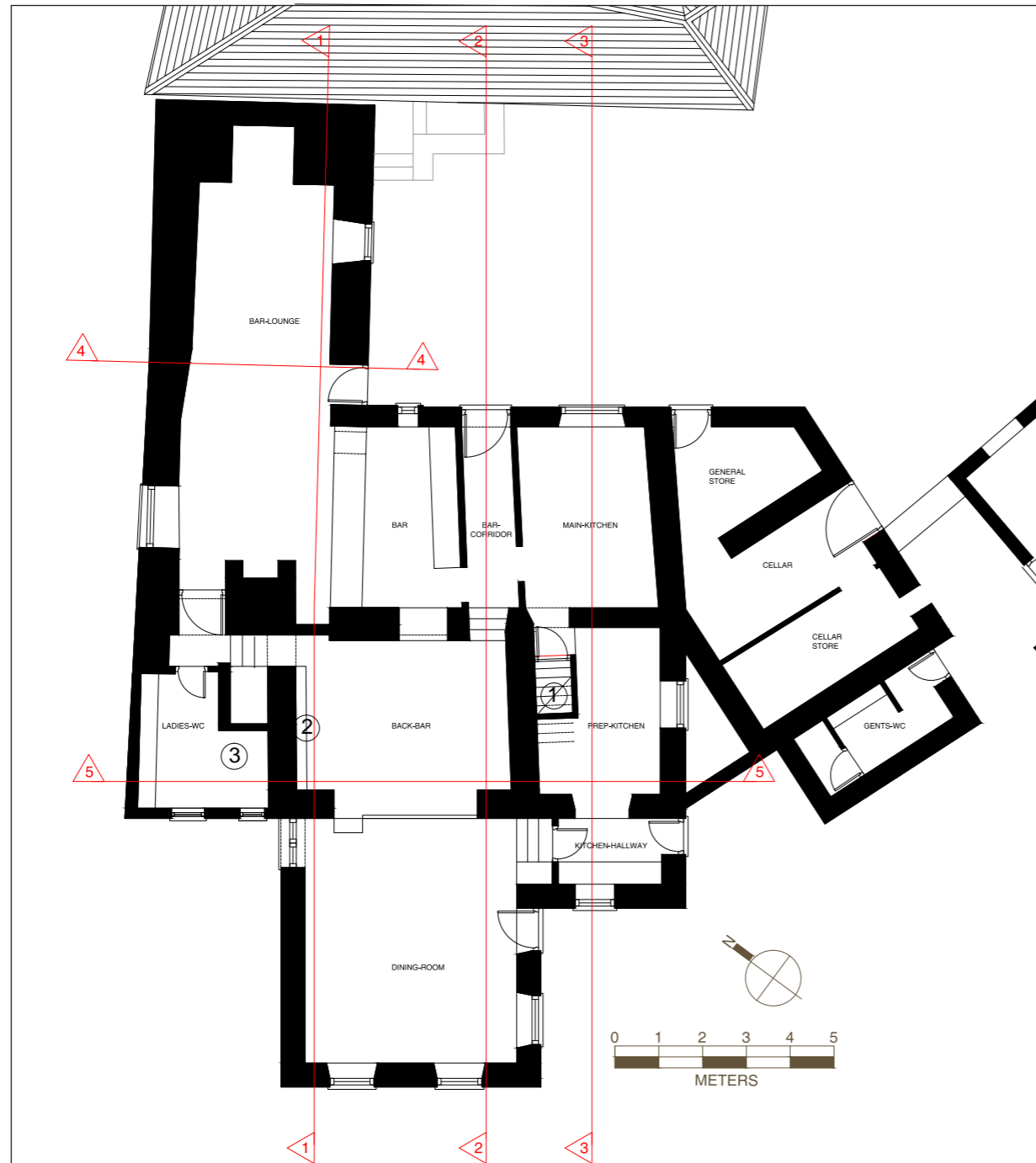
- ① Existing dangerous and non-compliant stair is located within the commercial kitchen. This stair is to be removed and the area made good.
- ② Existing back bar area to be home to new stairwell. Opening to be created between Ladies WC and Back-Bar. (Wall checked for signs of fireplace: would note there is no fireplace in this position).
- ③ Existing ladies WC sits within a late 20th addition to the pub. It is to be reconfigured to allow for a new entrance and stairwell to gain safe access to 1st floor accommodation.

2.02 EXISTING GROUND FLOOR

The adjacent plan is a reduced version of the Application drawing: LA-154-002 P05 EXISTING GROUND PLAN. It indicates the layout of the main buildings that comprise the public house.

Key elements have been numbered on the plan, which refer to areas where work is proposed.

Please refer to Explanatory Note and Key below for details.



EXPLANATORY NOTE:

There are specific areas of essential works required to the Ground Floor at The Tinnars Arms, in order to ensure that fire safety standards are met and that safe access can be provided to the first floor accommodation.

The existing access stair is extremely unsafe. It is the only stair within the building and does not allow for safe access and egress from first floor.

Further, the stair is located within the middle of a commercial kitchen and is therefore extremely unsafe and disrupts the workflow.

A new stair is to be located within the back bar area, which allows for safe escape in the event of fire.

- ① Existing dangerous and non-compliant stair is located within the commercial kitchen. This stair is to be removed and the area made good.
- ② Existing back bar area to be home to new stairwell. Opening to be created between Ladies WC and Back-Bar. (Wall checked for signs of fireplace: would note there is no fireplace in this position).
- ③ Existing ladies WC sits within a late 20th addition to the pub. It is to be reconfigured to allow for a new entrance and stairwell to gain safe access to 1st floor accommodation.

Fig. 7 Existing Ground Floor Plan

2.03 EXISTING FIRST FLOOR PLAN

The adjacent plan is a reduced version of the Application drawing: LA-154-003-P05 EXISTING FIRST PLAN. It indicates the layout of 1st floor accommodation over the operational area of the public house.

Key elements have been numbered on the plan, which refer to areas where work is proposed.

Please refer to Explanatory Note and Key below for details.

EXPLANATORY NOTE:

There are specific areas of essential works required to the Ground Floor. As previously noted, safe access to the first floor accommodation needs to be created to rectify the existing dangerous condition.

Further works are proposed at First Floor Level in order to refurbish the existing, unusable accommodation. This will allow for staff to live on-site in support of this popular local business.

In addition, there are works relating to the emergency works programme, including the replacement of internal wall and ceiling finishes and the inclusion of insulated wall panelling.

- ① Existing dangerous and non-compliant stair is to be removed and the area made good.
- ② New stairwell to be positioned against this gable wall, within fire rated construction.
- ③ A key element of the refurbishment is to insert new en-suite facilities, as the existing single bathroom is not suitable for shared accommodation. There are 3 en-suites to be located across the first floor plan.
- ④ WC to be inserted into niche in order to allow for connection into existing drainage provision.

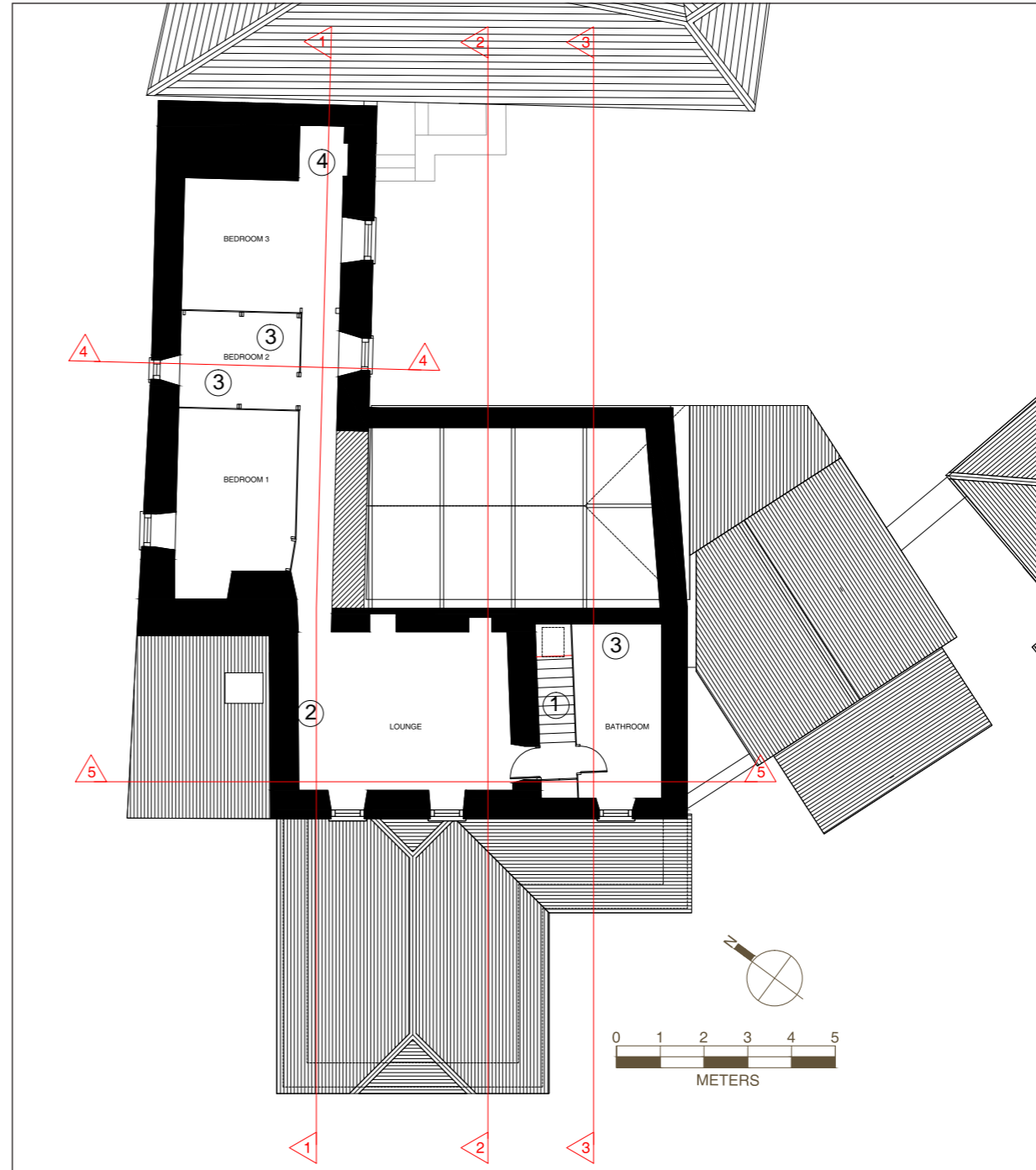


Fig. 8. Existing First Floor Plan

2.04 EXISTING ROOF PLAN

The adjacent plan is a reduced version of the Application drawing: LA-154-004-P05 EXISTING ROOF PLAN. It indicates the layout of the main buildings that comprise the public house.

Key elements have been numbered on the plan, which refer to areas where work is proposed.

Please refer to Explanatory Note and Key below for details.

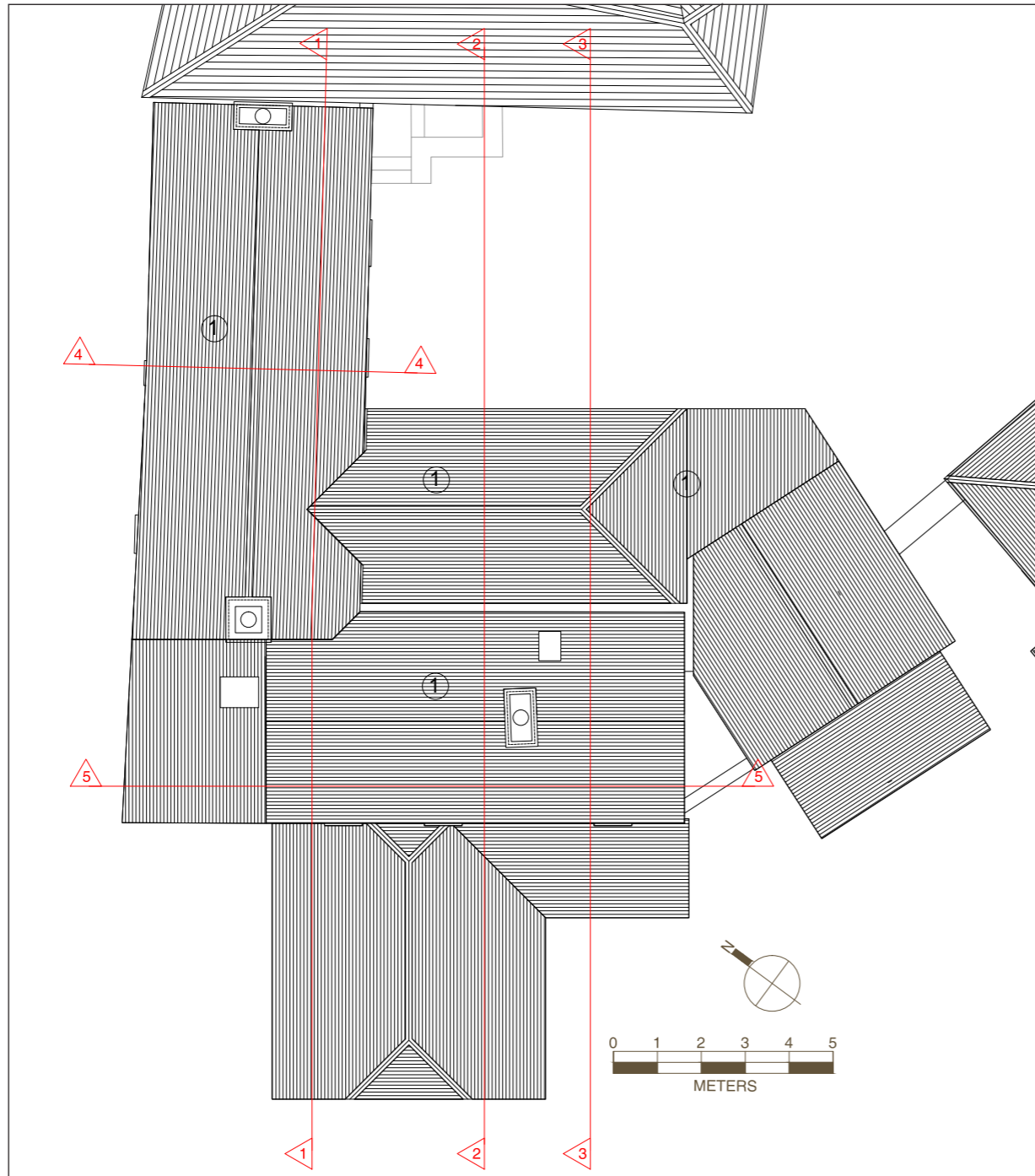


Fig. 9. Existing Roof Plan

EXPLANATORY NOTE:

Works at roof level relate to the emergency works programme previously agreed with Cornwall Council.

The roof across much of the Tinnars Arms had reached the end of their serviceable life, following a major failure, which resulted in considerable flood damage across the first floor.

- ① Failed roofs to be replaced with new slate roofs as part of emergency works planning regularisation.

3.00 PROPOSED BUILDING LAYOUTS

2.01 PROPOSED KEY PLAN

The adjacent plan is a reduced version of the Application drawing: LA-154-010-P05 PROPOSED KEY-PLAN. It indicates the overall site layout of the Tineers Arms.

Key elements have been numbered on the plan, which refer to areas where work is proposed.

Please refer to Explanatory Note and Key below for details.

EXPLANATORY NOTE:

There are specific areas of essential works required to the Ground Floor at The Tinnors Arms, in order to ensure that fire safety standards are met and that safe access can be provided to the first floor accommodation.

The existing access stair is extremely unsafe. It is the only stair within the building and does not allow for safe access and egress from first floor.

Further, the stair is located within the middle of a commercial kitchen and is therefore extremely unsafe.

A new stair is to be located within the back bar area, which allows for safe escape in the event of fire.

- ① Existing dangerous and non-compliant stair is located within the commercial kitchen removed and area made good with fire resisting construction.
- ② New stairwell giving safe access to first floor accommodation is located within back bar area. Stairwell to be built in fire resisting construction
- ③ New entrance and stair-hall created within reconfigured ladies WC. Stepped access from outside with new door inserted within the late 20th century external wall.
- ④ Existing Ladies WC reconfigured to allow for creation of new stair-hall and entrance.

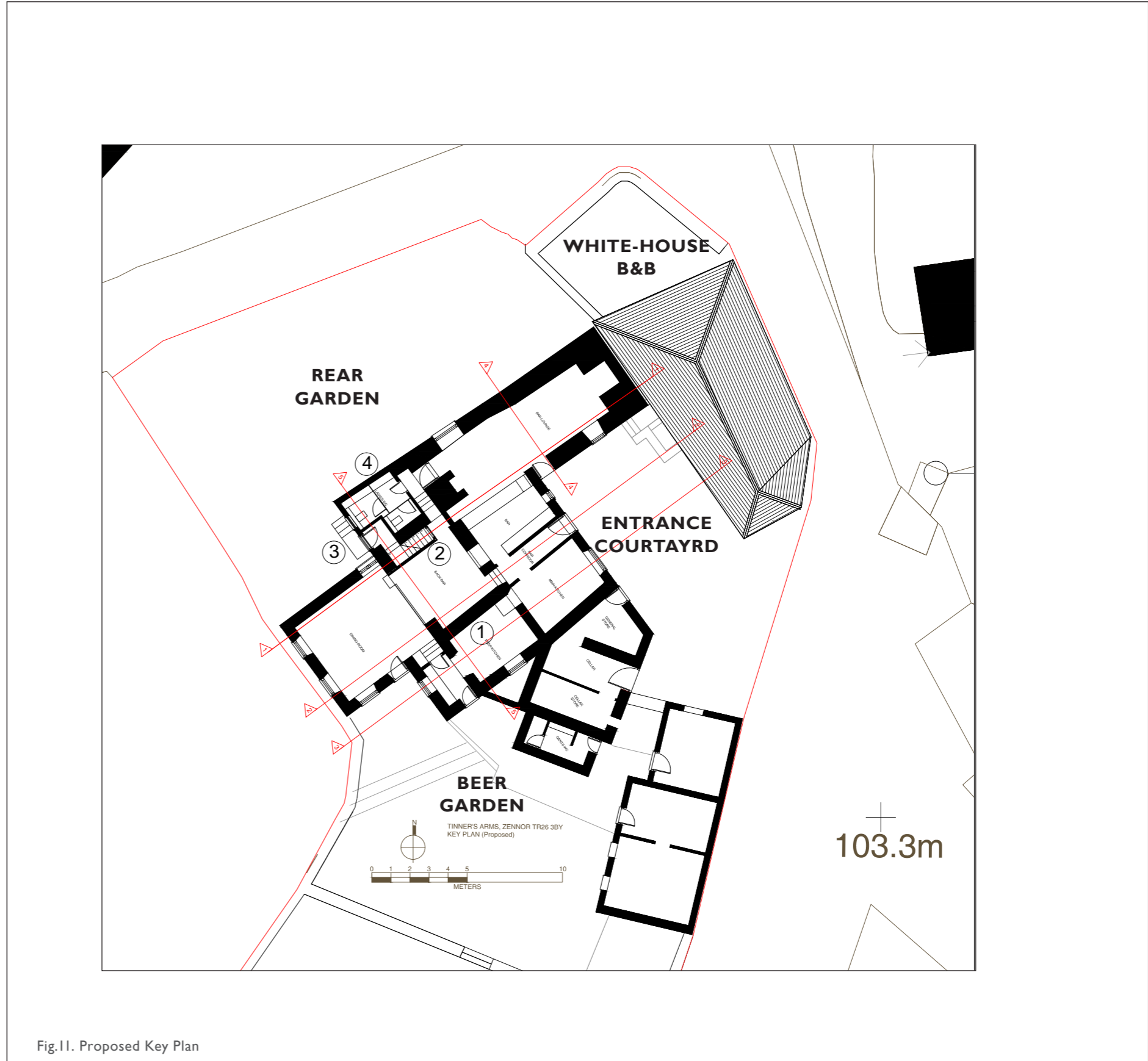


Fig.11. Proposed Key Plan

3.02 PROPOSED GROUND FLOOR

The adjacent plan is a reduced version of the Application drawing: LA-154-012-P05 PROPOSED GROUND PLAN. It indicates the layout of the main buildings that comprise the public house.

Key elements have been numbered on the plan, which refer to areas where work is proposed.

Please refer to Explanatory Note and Key below for details.

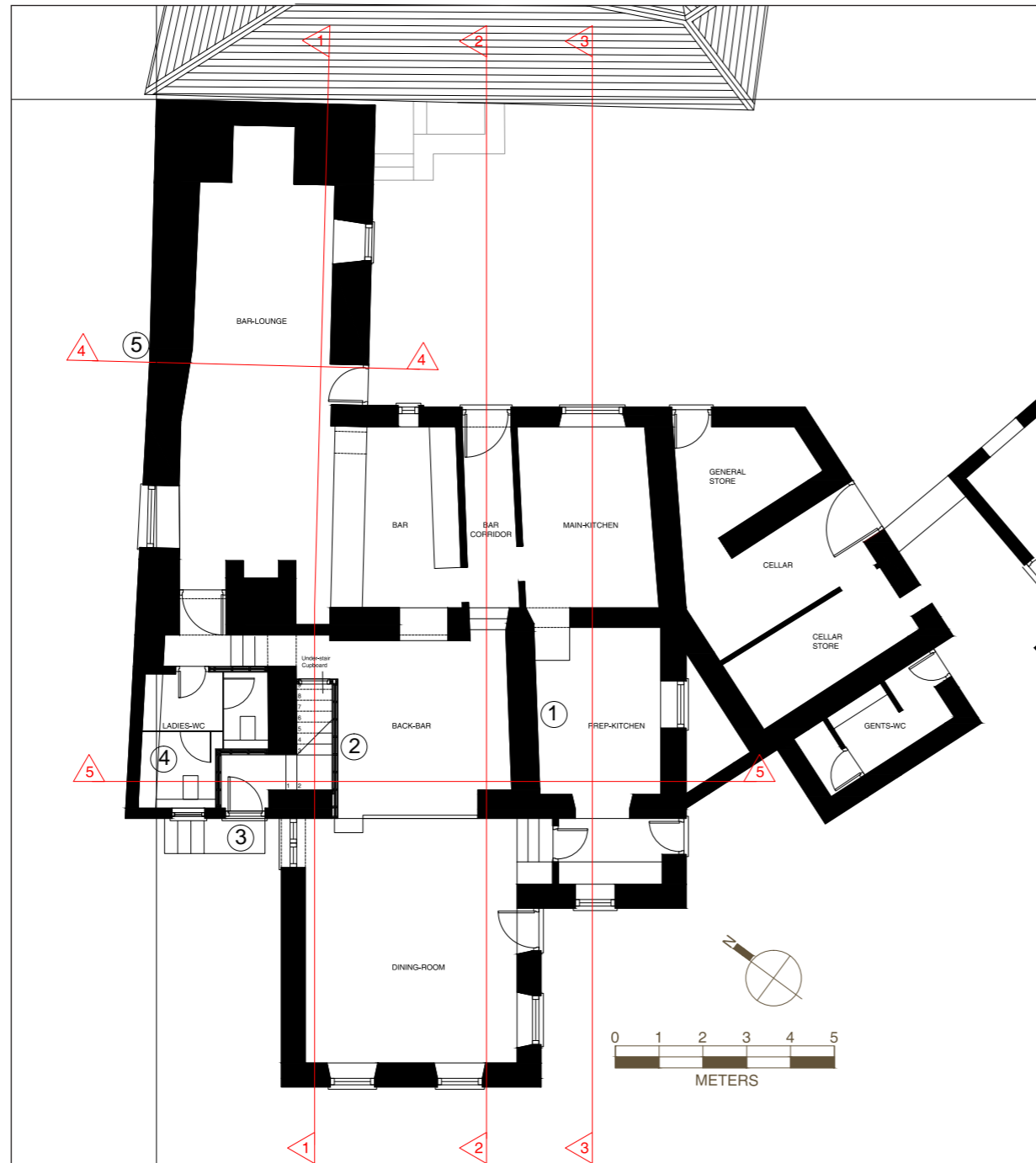


Fig.12. Proposed Ground Floor Plan

EXPLANATORY NOTE:

There are specific areas of essential works required to the Ground Floor at The Tinners in order to ensure that fire safety standards are met and that access can be provided to the refurbished first floor accommodation..

The existing access stair is extremely unsafe. It is the only stair within the building and does not allow for safe access and egress from first floor.

Further, the stair is located within the middle of a commercial kitchen and is therefore extremely unsafe.

A new stair has been located within the back bar area, which allows for a safe escape in the event of fire.

- ① Existing dangerous and non-compliant stair removed and ceiling made good with fire-resisting construction, to ensure fire safety standards are met.
- ② New access stair to 1st Floor accommodation. To be constructed from fire resisting construction to ensure fire-safety standards are met. Opening to be created between existing ladies WC and Back Bar to allow insertion of new stair.
- ③ New entrance to be created through flank wall of existing ladies WC. Stepped access to be formed in granite.
- ④ Existing Ladies WC to be reconfigured to permit creation of fire-rated entrance/ stair access hall.
- ⑤ Waste pipes from En-Suites at first floor to be inserted discreetly behind existing wall panelling and to pass through wall at low level to connect to existing drainage.

3.03 PROPOSED FIRST FLOOR PLAN

The adjacent plan is a reduced version of the Application drawing: LA-154-013-P05 PROPOSED FIRST FLOOR PLAN. It indicates the layout of 1st floor accommodation over the operational area of the public house.

Key elements have been numbered on the plan, which refer to areas where work is proposed.

Please refer to Explanatory Note and Key below for details.

EXPLANATORY NOTE:

First floor accommodation scope of work to include general refurbishment of the spaces, including up-grade to fire resistance to ensure fire safety standards are met.

Also to include regularisation of previously agreed Emergency Works Programme, including:

New wall linings comprising, re-pointing and bag-rubbed render to granite with timber stud lining and timber panelled finish. Breathable insulation to be incorporated (Rockwool or similar) to ensure breathability of external walls.

- ① Existing dangerous and non-compliant stair removed and floor made good with fire-resisting construction, to ensure fire safety standards are met.
- ② New access stair to 1st Floor accommodation. To be constructed from fire resisting construction to ensure fire-safety standards are met. Opening to be created between existing ladies WC and Back Bar to allow insertion of new stair.
- ③ New en-suites created with waste to discharge into existing drainage system at low level.
- ④ Small dining area created within existing bathroom area.
- ⑤ Partitions to be up-graded to ensure effective fire separation and to create a protected route in the event of a fire.
- ⑥ New fire-rated access door into plant space within attic over main kitchen.

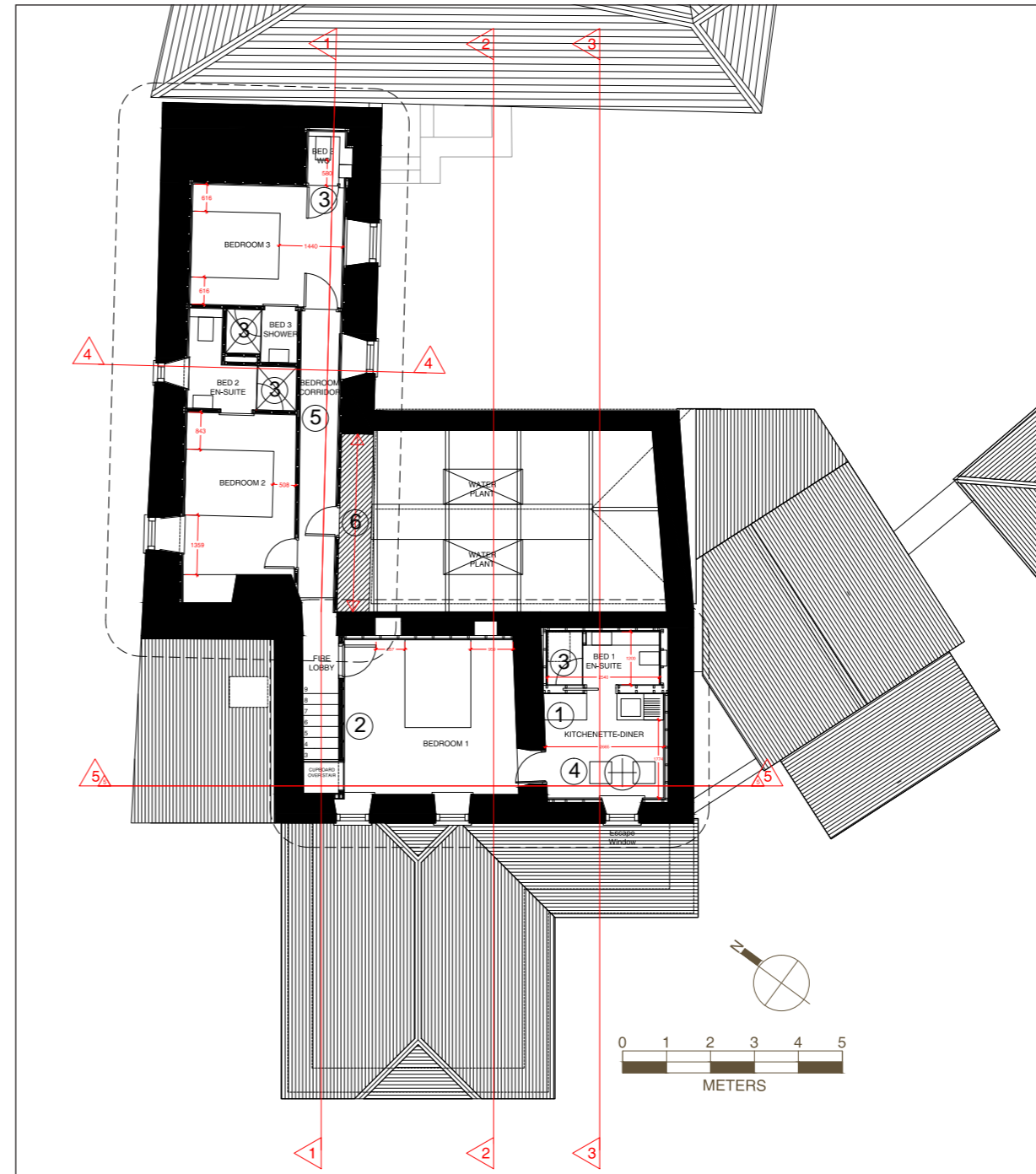


Fig.13. Proposed First Floor Plan

3.04 PROPOSED ROOF PLAN

The adjacent plan is a reduced version of the Application drawing: LA-154-014 P05 PROPOSED ROOF PLAN. It indicates the layout of the main buildings that comprise the public house.

Key elements have been numbered on the plan, which refer to areas where work is proposed.

Please refer to Explanatory Note and Key below for details.

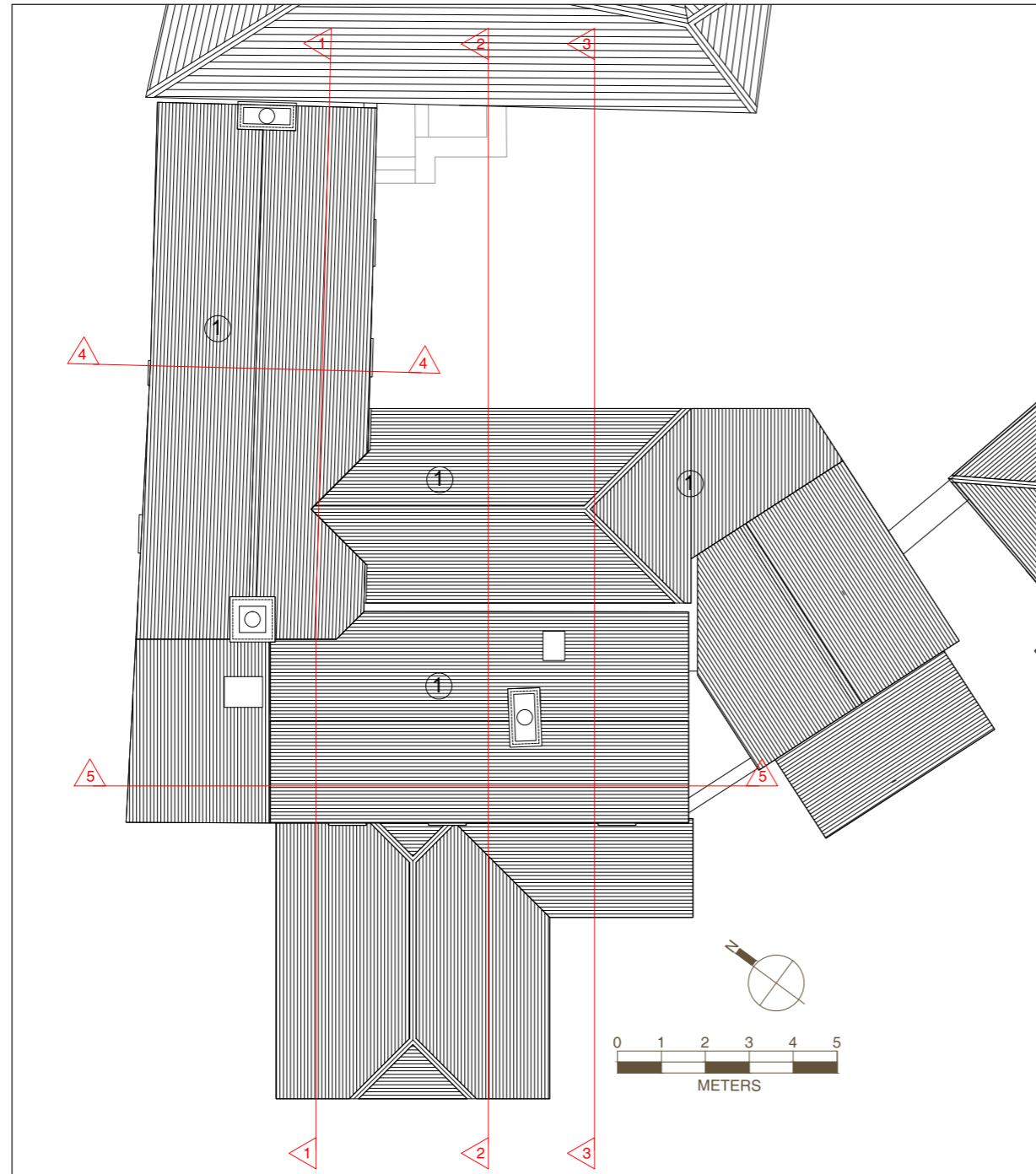


Fig.14. Proposed Roof Plan

EXPLANATORY NOTE:

Works at roof level relate to the emergency works programme previously agreed with Cornwall Council.

The roof across much of the Tinnars Arms had reached the end of their serviceable life, following a major failure, which resulted in considerable flood damage across the first floor.

- ① Failed roofs to be replaced with new slate roofs as part of emergency works planning regularisation. Comprising dry-laid scantel from reclaimed natural slate.

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3.05 EXISTING AND PROPOSED ELEVATIONS

The adjacent drawing is a reduced version of the Application drawing: LA-154-040-P05 EXISTING & PROPOSED ELEVATIONS. It indicates the main elevations of The Tinner's Arms as surveyed by Premier Surveys.

Generally, all elevations remain as existing except for the area of the Ladies WC where the new entrance is to be located. An enlarged part elevation of this area is included below.

Key elements have been numbered on the elevations, which refer to areas where work is proposed.

Please refer to Explanatory Note and Key below for details.

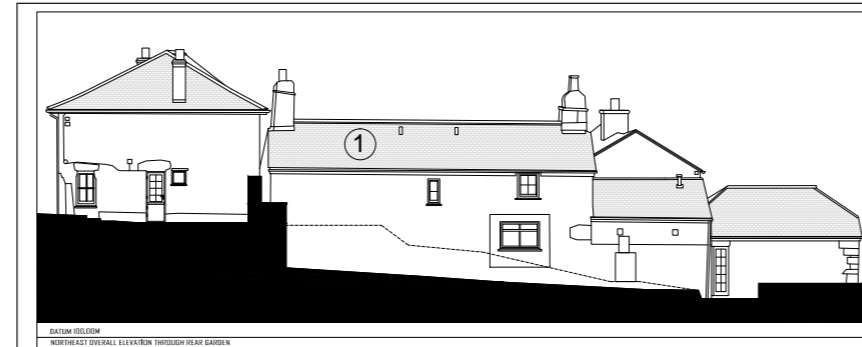


EXPLANATORY NOTE:

The elevations remain unchanged apart from a new entrance door and granite steps to the southwest elevation of the Ladies WC.

This discreet position sits behind a boundary wall and shrubbery and as such will have a minimal impact on the facades and will be virtually invisible from outside the site.

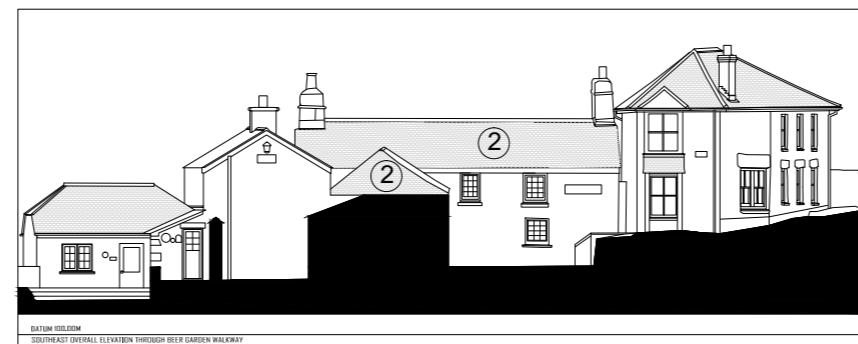
- ① New Timber "Plank" door (as per secondary doors within main pub entrance courtyard) with vision panel. To provide safe and secure access to first floor accommodation. Stepped access via granite built steps and traditional gunmetal railings.
- ② Failed roofs to be replaced with new slate roofs and replacement insulated ceiling as part of previously agreed emergency works planning regularisation.



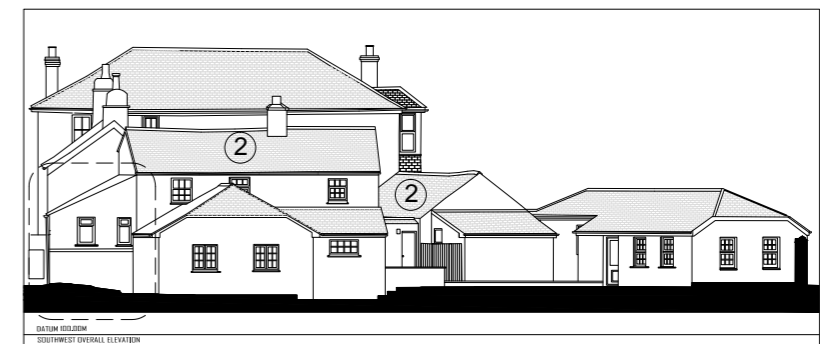
EXISTING ELEVATIONS TO REMAIN UNCHANGED



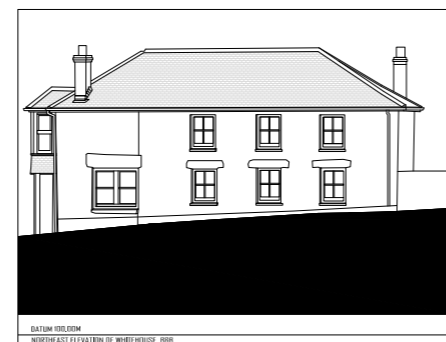
EXISTING ELEVATIONS TO REMAIN UNCHANGED



EXISTING ELEVATIONS TO REMAIN UNCHANGED



EXISTING ELEVATIONS TO REMAIN LARGELY UNCHANGED EXCEPT FOR NEW ENTRANCE DOOR AND STEPS TO LADIES WC BLOCK (see below)



EXISTING ELEVATIONS TO REMAIN UNCHANGED



EXISTING ELEVATIONS TO REMAIN UNCHANGED



PART ELEVATION INDICATING PROPOSED ENTRANCE DOOR AND STEPS

EXPLANATORY NOTE:

The elevations remain unchanged apart from a new entrance door and granite steps to the southwest elevation of the Ladies WC.

This discreet position sits behind a boundary wall and shrubbery and as such will have a minimal impact on the facades and will be virtually invisible from outside the site.

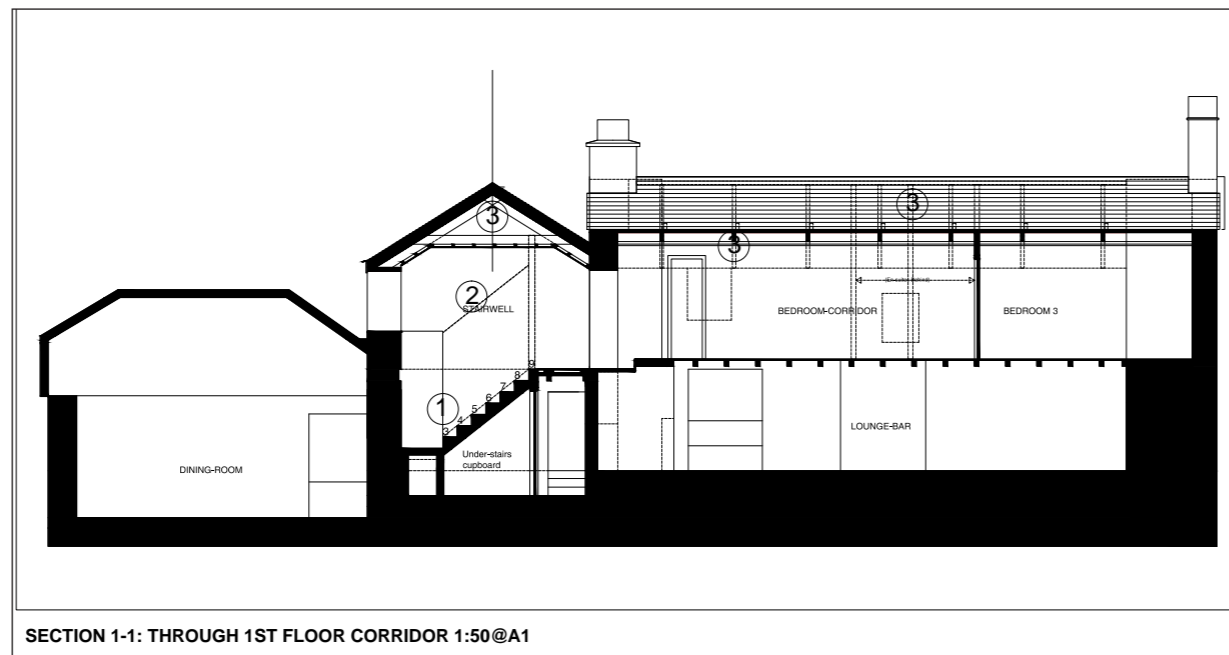
- ① New Timber "Plank" door (as per secondary doors within main entrance courtyard) with vision panel. To provide safe and secure access to first floor accommodation. Stepped access via granite built steps and traditional gunmetal railings.
- ② Failed roofs to be replaced with new slate roofs and replacement insulated ceiling as part of previously agreed emergency works planning regularisation.

Fig.15. Existing & Proposed Elevations

3.06 PROPOSED SECTIONS 1-1 & 2-2

The adjacent drawing is a reduced version of the Application drawing: LA-154-015-P05 PROPOSED SECTIONS 1-1 AND 2-2. It indicates 2 of the key sections through the building, indicating the position of the proposed new access stair.

Please refer to Explanatory Note and Key below for details.



EXPLANATORY NOTE:

There are specific areas of essential works required to the Ground Floor. As previously noted, safe access to the first floor accommodation needs to be created to rectify the existing dangerous condition.

Further works are proposed at First Floor Level in order to refurbish the existing, unusable accommodation. This will allow for staff to live on-site in support of this popular local business and in case of an emergency.

In addition, there are works relating to the emergency works programme, including the replacement of internal wall and ceiling finishes and the inclusion of insulated wall panelling

- ① New access stair to 1st Floor accommodation. To be constructed from fire resisting construction to ensure fire-safety standards are met. Opening to be created between existing ladies WC and Back Bar to allow insertion of new stair.
- ② Existing First Floor Accommodation to be refurbished, including replacement of internal wall and ceiling finishes, previously agreed as part of the emergency works programme.
- ③ Failed roofs to be replaced with new slate roofs and replacement insulated ceiling as as part of previously agreed emergency works planning regularisation.

Fig.16. Proposed Sections 1-1 & 2-2

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3.06 PROPOSED SECTIONS 3-3, 4-4 & 5-5

The adjacent drawing is a reduced version of the Application drawing: LA-154-016-P05 PROPOSED SECTIONS 3-4-5. It indicates 3 of the key sections through the building, indicating the position of the proposed new access stair along with the proposed works to first floor level

Please refer to Explanatory Note and Key below for details.



SECTION 3-3: THROUGH PREP KITCHEN 1:50@A1

EXPLANATORY NOTE:

There are specific areas of essential works required to the Ground Floor. As previously noted, safe access to the first floor accommodation needs to be created to rectify the existing dangerous condition.

Further works are proposed at First Floor Level in order to refurbish the existing, unusable accommodation. This will allow for staff to live on-site in support of this popular local business and in case of an emergency.

In addition, there are works relating to the previously agreed emergency works programme, including the replacement of wall and ceiling finishes and the inclusion of insulated wall panelling

- ① Existing dangerous and non-compliant stair removed from commercial kitchen and area made good with fire resisting construction.
- ② Replacement stair located within back bar area to be built from fire resisting construction to permit safe access to refurbished first floor accommodation.
- ③ Existing First Floor Accommodation to be refurbished, including replacement internal wall and ceiling finishes, previously agreed as part of the emergency works programme.
- ④ New en-suite facilities incorporated at first floor level. En-suites to drain into existing drainage system.
- ⑤ Failed roofs to be replaced with new slate roofs and replacement insulated ceiling as as part of previously agreed emergency works planning regularisation.

EXPLANATORY NOTE:

There are specific areas of essential works required to the Ground Floor. As previously noted, safe access to the first floor accommodation needs to be created to rectify the existing dangerous condition.

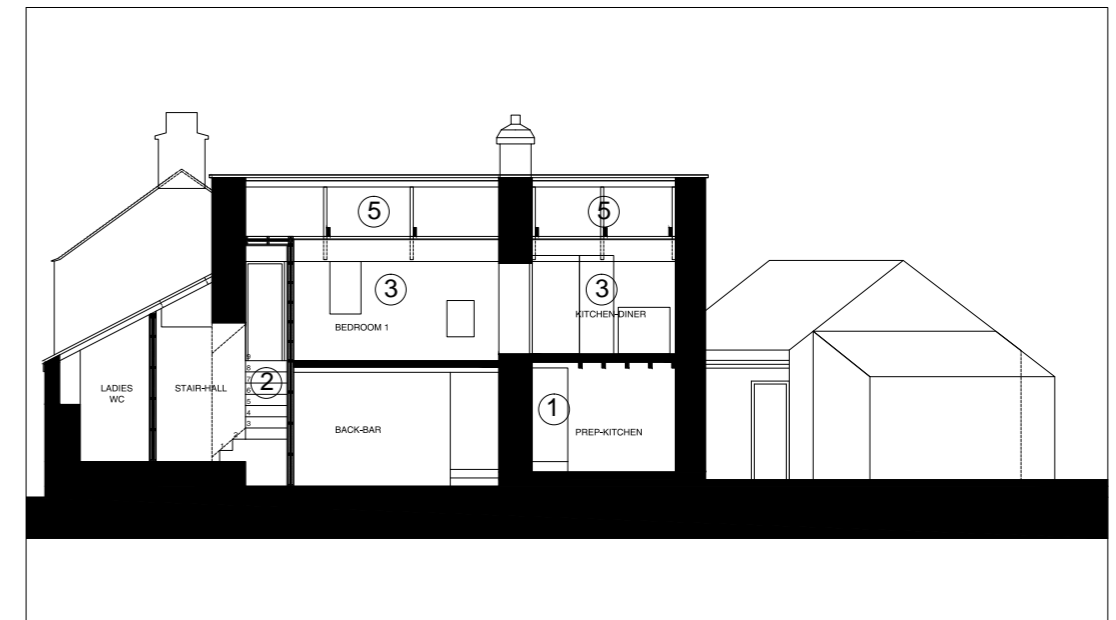
Further works are proposed at First Floor Level in order to refurbish the existing, unusable accommodation. This will allow for staff to live on-site in support of this popular local business and in case of an emergency.

In addition, there are works relating to the previously agreed emergency works programme, including the replacement of wall and ceiling finishes and the inclusion of insulated wall panelling

- ① Existing dangerous and non-compliant stair removed from commercial kitchen and area made good with fire resisting construction.
- ② Replacement stair located within back bar area to be built from fire resisting construction to permit safe access to refurbished first floor accommodation.
- ③ Existing First Floor Accommodation to be refurbished, including replacement internal wall and ceiling finishes, previously agreed as part of the emergency works programme.
- ④ New en-suite facilities incorporated at first floor level. En-suites to drain into existing drainage system.
- ⑤ Failed roofs to be replaced with new slate roofs and replacement insulated ceiling as as part of previously agreed emergency works planning regularisation.



SECTION 5-5: THROUGH BAR-BLOCK 1:50@A1



SECTION 4-4: THROUGH LADIES WC 1:50@A1

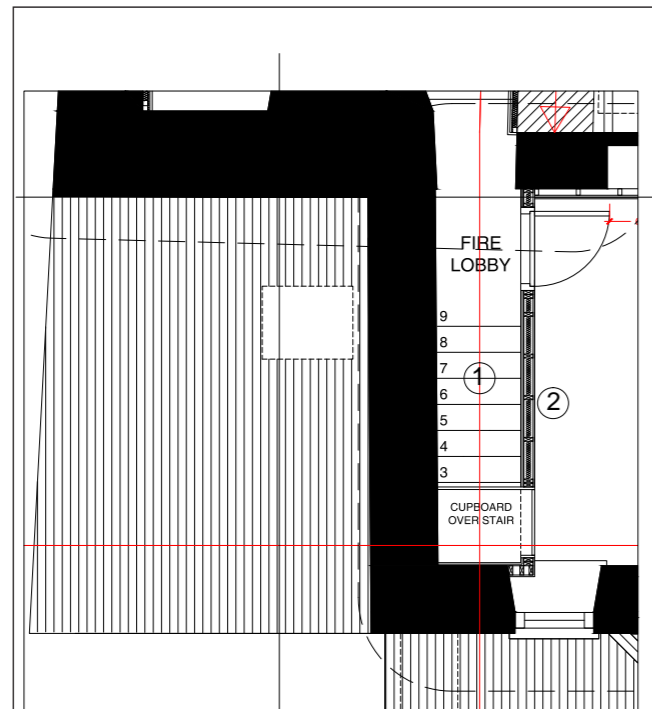
Fig.17. Proposed Sections 3-3, 4-4 & 5-5

3.07 PROPOSED STAIR DETAILED STUDY

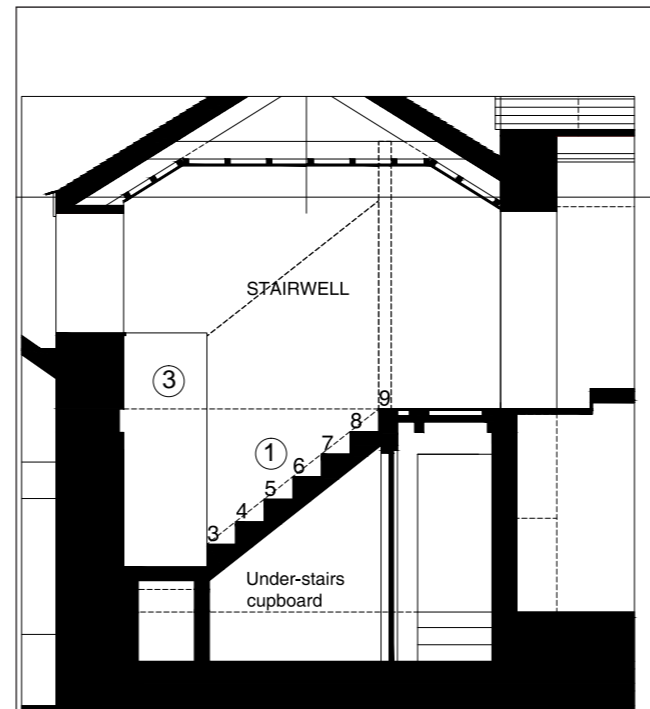
The adjacent plan is a reduced version of the Application drawing: LA-154-020-P05 PROPOSED STAIR DETAIL PLAN. It indicates the proposed stair plan at Ground and First Floor along with the associated sections through the stairwell.

Key elements have been numbered on the plan, which refer to areas where work is proposed.

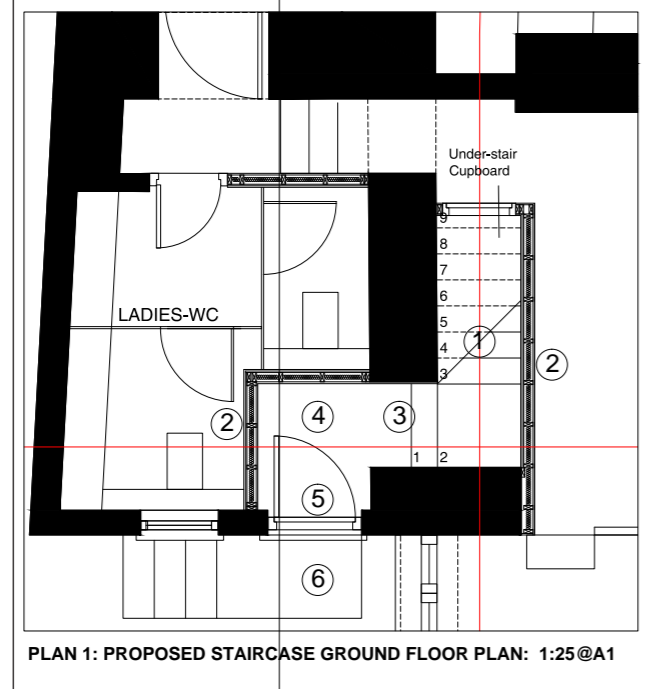
Please refer to Explanatory Note and Key below for details.



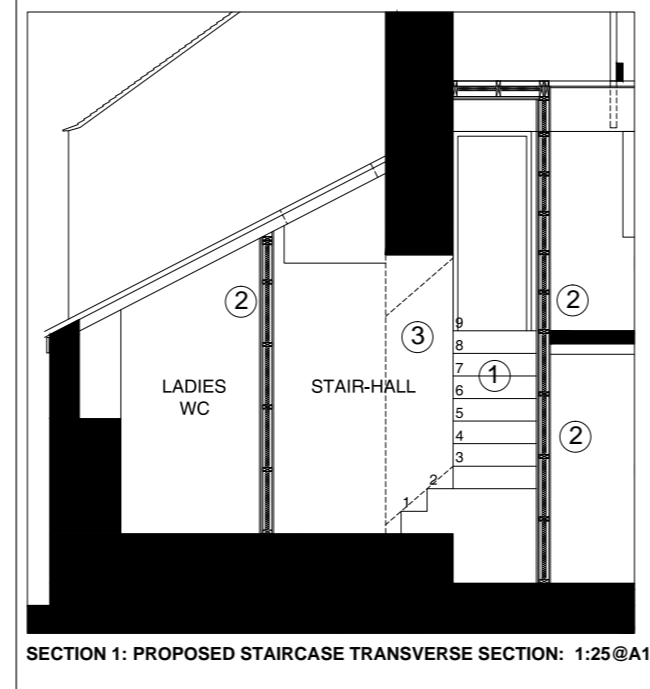
PLAN 2: PROPOSED STAIRCASE FIRST FLOOR PLAN: 1:25@A1



SECTION 2: PROPOSED STAIRCASE LONGITUDINAL SECTION: 1:25@A1



PLAN 1: PROPOSED STAIRCASE GROUND FLOOR PLAN: 1:25@A1



SECTION 1: PROPOSED STAIRCASE TRANSVERSE SECTION: 1:25@A1

- ① New timber staircase created within stairwell of fire-resisting construction to create safe access and egress from first floor accommodation.
- ② Stairwell created in fire resisting construction comprising timber framing with fire-resisting plasterboard to create a fire rated enclosure
- ③ Opening created in separating wall to create access from new entrance hall into stairwell.
- ④ New entrance hall.
- ⑤ New entrance door within existing late 20th century external wall.
- ⑥ New stepped access from rear garden.

EXPLANATORY NOTE:

The replacement stair is to be located within the back bar area aligning with the separating wall between the back bar and the Ladies WC at ground floor level.

A new entrance door has been included within the external wall of the Ladies WC with a new entrance hall created in the reconfigured Ladies WC.

A new opening has been created in this separating wall to allow access into the new stair well from the new entrance hall.

NB: There was concern that the separating wall would have a fireplace within it. This is not the case and so only a small area of granite wall would need to be removed.

The new stairwell and entrance hall would need to be built from fire resisting construction, comprising timber framing and fire-resisting plasterboard.

The new stair will be constructed from timber.

Fig.18. Proposed Stair Detail Plan

4.00 DESIGN RATIONALE

This application proposal has emanated from a detailed assessment of the issues affecting The Tinner’s Arms, including:

1. Listed Status of the property and the historic fabric of the building as detailed in the Historic Building’s Assessment undertaken by Eric Berry and included in the appendix to this document.
2. Existing lack of effective Fire and Life Safety provision.
3. Business operation of this popular and historic public house.
4. On-going protection of the historic fabric.
5. Roof failure and flood event (emergency works)

These issues have been thoroughly investigated through various studies and engagement with the Planning Department and Heritage Building Team at Cornwall Council, resulting in an appropriate solution in terms of up-grading the property whilst respecting its Heritage Status.

As previously noted there are 2 elements to this Planning and Listed Building Application including, regularisation of emergency works and proposed up-grading and modifications to the existing building.

The following commentary describes the Design Rationale applied by LOCi:architecture in defining this application proposal.

4.01 EMERGENCY WORKS:

4.01.01 REPLACEMENT ROOFS:

Following the roof failure in February 2021, the Client approached Cornwall Council to establish if emergency works could proceed. The Case Officer for this was Georgina Murray.

The Client approached a local roofing company experienced in working with Listed Buildings (JS Roofing) and a proposed approach was agreed that included the removal of the existing roofs, reclamation of slates, repair of roof timbers and the relaying of reclaimed slates in a dry laid scantel format.

These works have now been completed to an extremely high standard

and the appearance of The Tinner’s Arms has been vastly improved whilst constructing a roof that will protect the property for generations to come (see before and after photographs overleaf).

4.01.02 EMERGENCY WORKS: REPLACEMENT FINISHES TO FIRST FLOOR.

LOCi:architecture submitted proposals to Cornwall Council for replacement finishes to both the ceilings and walls across the first floor following the damage incurred by the flood event.

A study of the existing finishes was undertaken by LOCi:architecture and builder Peter Williams. The damage found was extensive and required the removal of the existing finishes.

4.01.03 REPLACEMENT CEILING FINISHES:

It should be noted that the vast majority of the ceilings were constructed from poor quality fibreboard, which whilst being unsightly, also provided no form of protection from spread of fire.

We proposed the use of plasterboard ceilings in order to meet fire and life safety standards with the use of lightweight insulation in the line of the plasterboard ceiling, in order to up-grade the thermal performance of the roof, whilst not adding unnecessary weight to the existing roof timbers.

4.01.04 REPLACEMENT WALL FINISHES:

The wall finishes were also a mish-mash with gypsum plaster, cement and small areas of lime plaster. The damaged finishes needed to be stripped back to bare granite walls.

This action uncovered extremely poor quality masonry with crumbling or missing pointing to the granite and poor quality stonework. It quickly became evident that the masonry walls needed to be consolidated and we proposed the use of Lime Pointing and Bag-Rubbed Lime Render to the inside face of the exposed granite walls. This allows the walls to breathe.

The internal finish proposed was a timber stud lining (set in from the external wall to allow for on-going breathability of the fabric) with a timber panelled finish. The thermal performance of the walls has been up-graded through the use of breathable insulation (Rockwool or similar) which sits within the stud lining.

We would note that large areas of cement render were left in place, most notably in the east-west block as removal would have potentially caused more damage. Please see details on page 10 of this report.

We would also note that the removal of finishes uncovered a serious potential issue with fire spread within the existing bedroom access corridor.

A route for fire spread was discovered between the commercial kitchen and the first floor bedrooms. This will necessitate the construction of a fire wall between the commercial kitchen roofspace and the first floor accommodation. It is proposed that a fire door is incorporated into this wall for access to services which are located in the roof space.



Fig. 19. Poor quality masonry to 1st floor.



Fig. 20. Fire path from kitchen to bedrooms.



ROOFS PRIOR TO FAILURE

REPLACEMENT ROOFS

Fig. 21. Before & After Roofs (Emergency Works)



POOR QUALITY MASONRY



FIRE PATH



FIRE PATH

Fig. 22. Poor Quality Masonry and Fire Path from Kitchen to Bedroom Level

4.01.05 SURVEY OF EXISTING WALL CONDITIONS POST STRIP OUT OF DAMAGED FINISHES.


The adjacent first floor plan has been marked up with the conditions of the internal walls, post reveal.

As can be seen there are 4 broad wall types, with their condition noted in the key below.


Broadly speaking the existing granite walls are in a very poor state and are not suitable to be left exposed as per our original note regarding the emergency works.

Further, the fire hazard created by the timber framing to the kitchen roof void needs to be addressed as this was not apparent until the reveal had taken place.

WALL TYPE 1: 
Extremely poor granite with no pointing.

WALL TYPE 2: 
Chimney Breasts are more substantial walls.
Could be re-pointed and left partially exposed

WALL TYPE 3: 
Timber Screen: Extreme Fire Hazzard with path from Commercial Kitchen Roofspace into bedroom block.

WALL TYPE 4: 
Cement pointing: not removed as would severely damage underlying granite

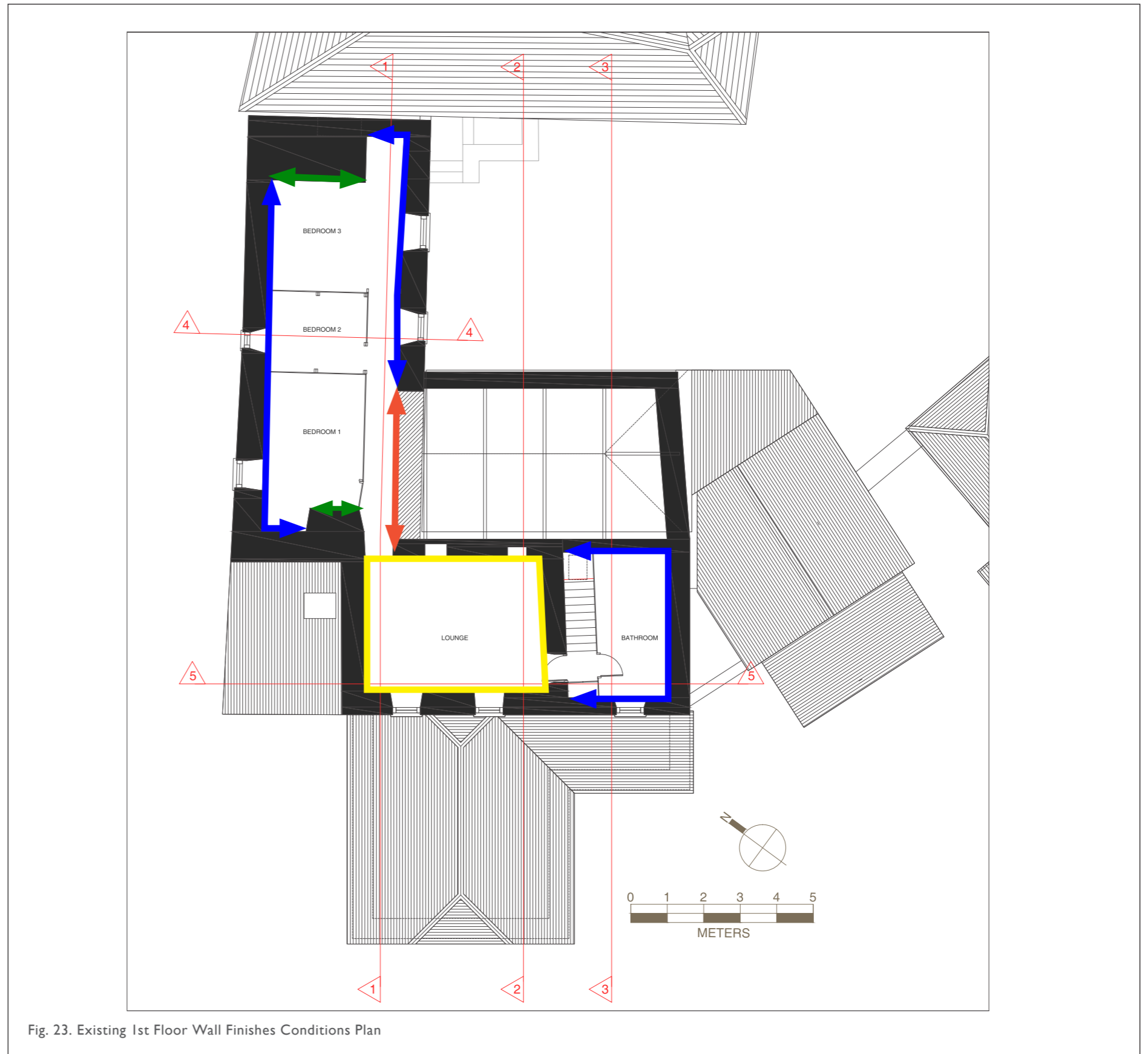




Fig. 23. Existing 1st Floor Wall Finishes Conditions Plan

4.01.06 PROPOSED FINISHES AGREED AS PART OF EMERGENCY WORKS


The adjacent floor plan has been marked up to match the wall types described in Fig.23 (previous page). We have outlined the proposed emergency works below with reference to each of these wall types.

WALL TYPE 1: 

Rake-out what remains of poor quality pointing. Re-point with lime mortar and apply bag rubbed lime render as per photos. Walls to be lined with timber panelling and breathable insulation.

WALL TYPE 2: 

Rake-out what remains of poor quality pointing. Re-point with lime mortar. Lower portion to be bag-rubbed render with upper portion left exposed as Chimney breasts are constructed from better quality granite. Dado panelling to lower portion.

WALL TYPE 3: 

Timber Screen: Extreme Fire Hazzard with path from Commercial Kitchen Roofspace into bedroom block. This portion of the wall will need to secured via a fire rated screen. This will require 2 layers of plasterboard and skim. We would also note that there is the need for additional brickwork to ensure it is structurally sound.

WALL TYPE 4: 

Cement pointing: not removed as would severely damage underlying granite. Walls to be lined with timber panelling and breathable insulation.

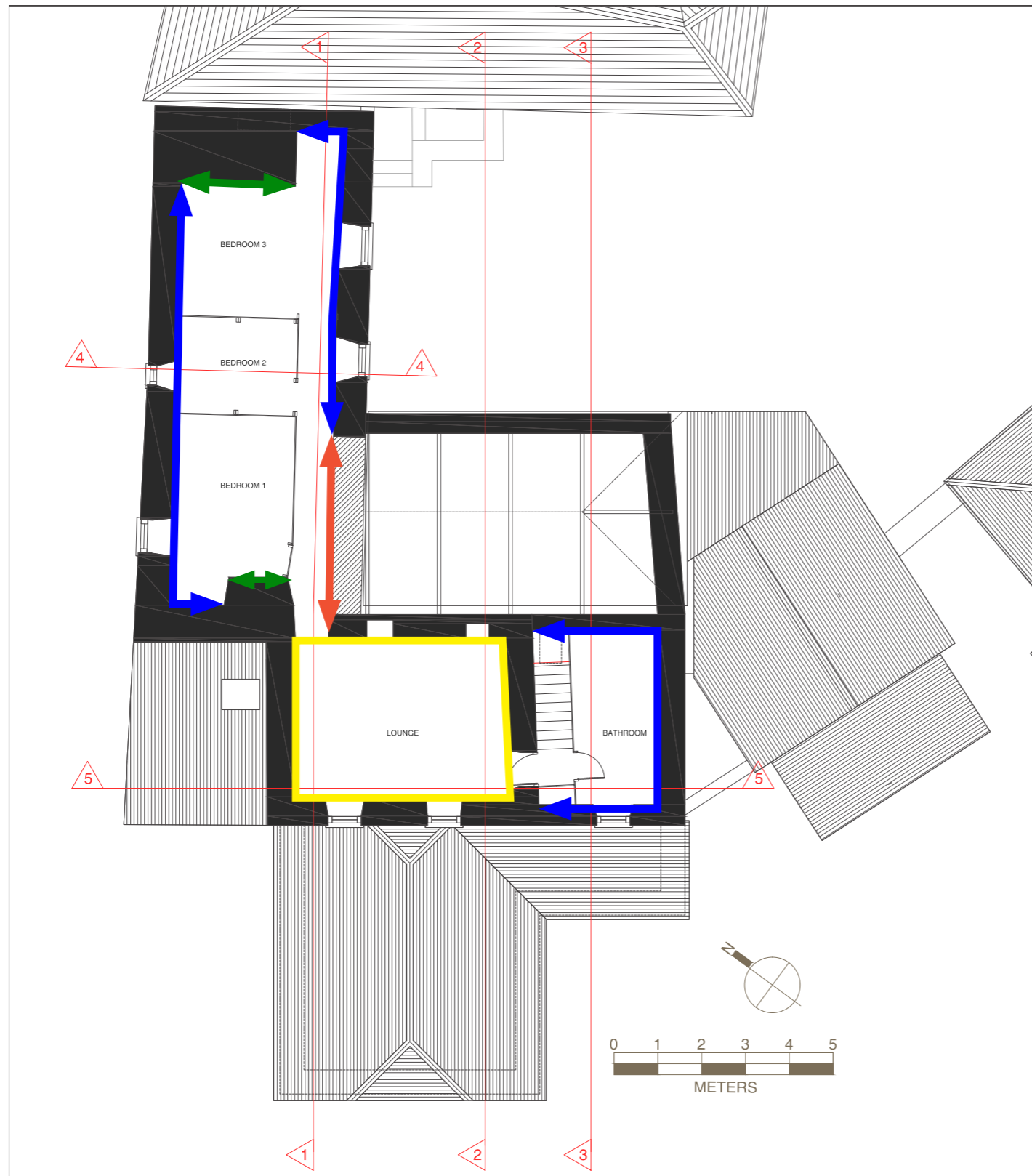


Fig. 25 Existing 1st Floor Plan (Agreed Emergency Works to walls)



Example of Lime mortar bag-rubbed render to be utilised on interior face of external walls.

Fig.24. Example of bag-rubbed render

4.02 PROPOSED MODIFICATIONS TO EXISTING LAYOUTS:

4.02.01 REMOVAL OF EXISTING DANGEROUS ACCESS STAIR

The only access stair to the existing first floor accommodation sits in the middle of the commercial kitchen, rendering the upper level completely unusable.

It is proposed that the existing stair is removed from this location and walls and ceiling made good with fire resisting construction. This will also require a new area of flooring to be inserted at first floor level. (See adjacent photographs and part Ground Floor Plan of the existing condition).

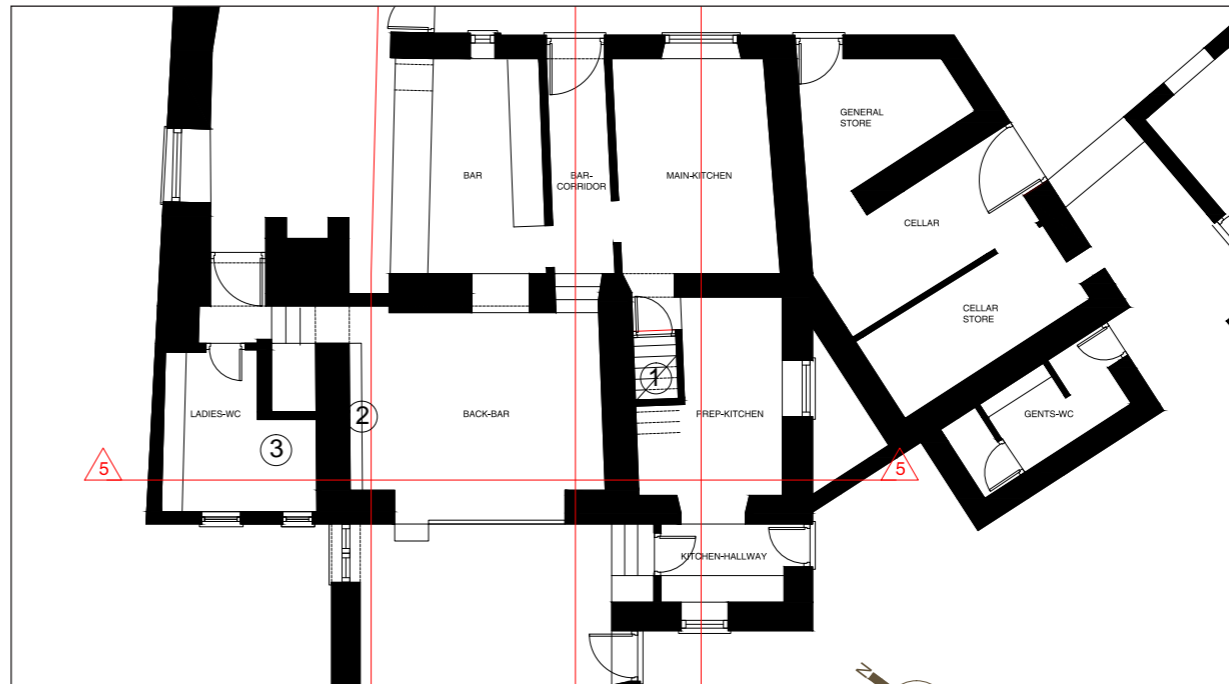


Fig. 26. Part Ground Floor Plan Indicating Position of Dangerous Stair, along with Associated Photographs

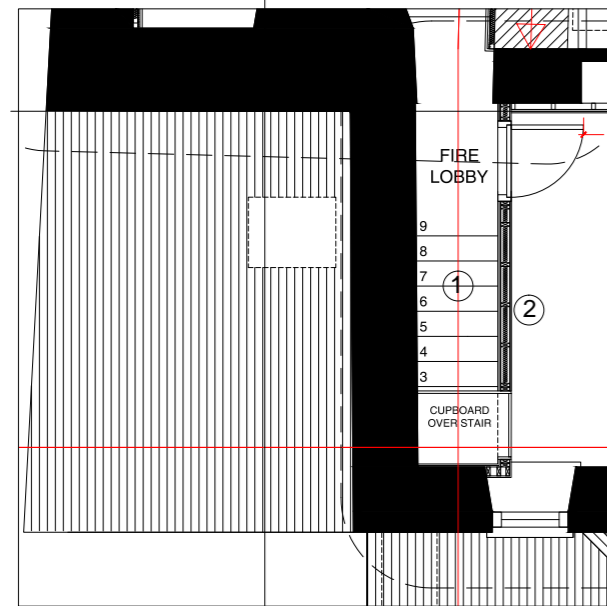
4.02.02 NEW ACCESS STAIR

A number of options for the location of a new access stair were investigated and discussed with Cornwall Planning Department and the Heritage Building Team, including an external stair on the west façade of the N-S block. These options were too imposing and had a detrimental impact on the façade.

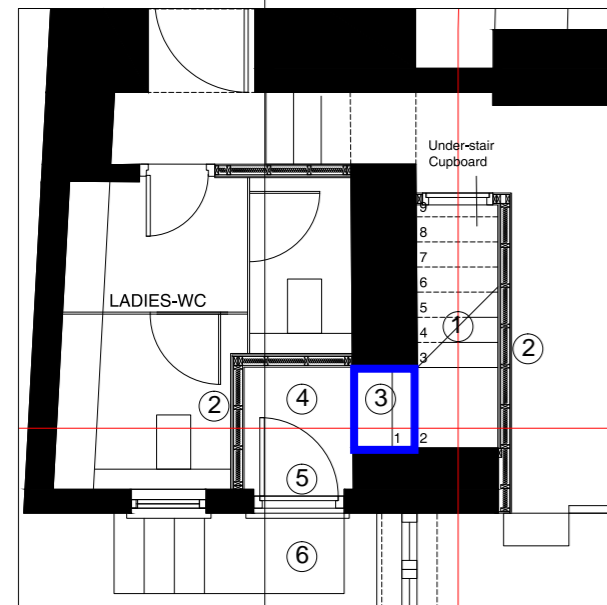
Subsequently a solution was found that allowed for a discreet internal stair to be constructed, which forms this application proposal.

A new timber stair is to be constructed within a fire resisting compartment, within the back bar area. This stair location requires the opening up of part of the granite separating wall between the Back Bar and the Ladies WC. This position was deemed acceptable in the Pre-Application responses.

The existing finishes to this separating wall were opened up to establish if a fireplace was present in this location. No fireplace was found and it can be seen that the impact on the historic fabric is minimal and discreet, whilst providing for this vital new and safe access route.



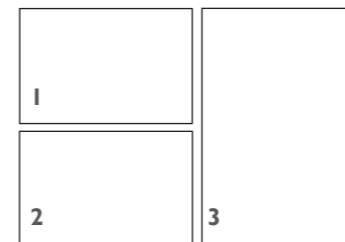
PLAN 2: PROPOSED STAIRCASE FIRST FLOOR PLAN: 1:25@A1



PLAN 1: PROPOSED STAIRCASE GROUND FLOOR PLAN: 1:25@A1

KEY

1. View of proposed location for new stair.
2. Reveal of proposed location for new stair. Please note there is no fireplace in this position.
3. View of are of Ladies WC wall to be opened up for new stair.



NB: Approximate area of opening up of separating wall is edged in blue.

Fig. 27. Plan of Proposed New Stair along with Location Photographs

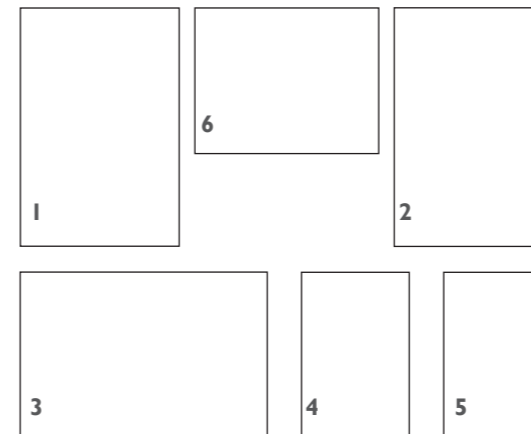
4.02.03 NEW ENTRANCE TO REAR OF PROPERTY

The location of the new stair allows for a discreet entrance to the upper level, separate from the operational area of the pub, within the existing Ladies WC.

It should be noted that the external wall of the Ladies WC is a 20th Century addition to the fabric of the building.

Access to the door and entrance hall will be via a small set of granite built steps.

It can be seen that the entrance has a minimal impact on the external appearance of the building (being set-back from the boundary and in a discreet corner, behind boundary planting). Further, the entrance door will be constructed within the existing late 20th C construction, therefore having a minimal impact on the historic fabric.



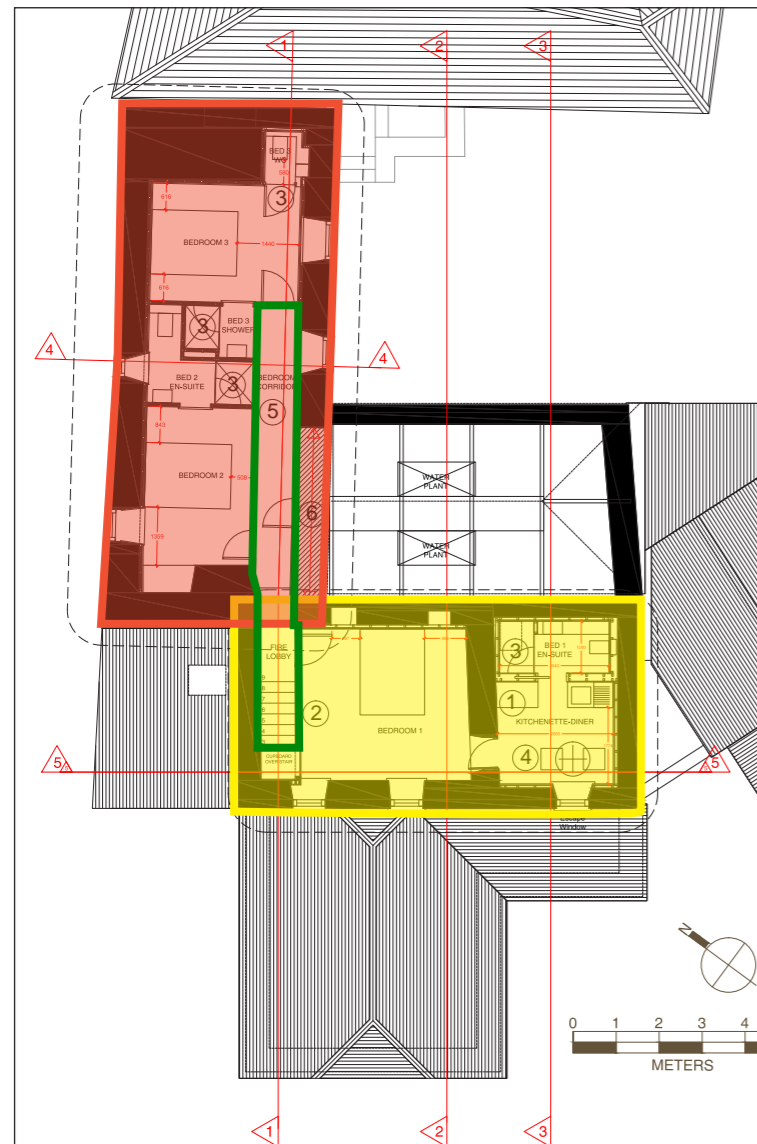
KEY TO ADJACENT PHOTO PANEL

1. View of Ladies WC where Door is to be Created for New Entrance.
2. View of Ladies WC where Door is to be Created for New Entrance.
3. View back to Ladies WC from Rear Garden. NB: Proposed entrance cannot be seen from outside the site as it sits discretely behind boundary planting.
4. External Photo of South Elevation to Ladies WC
5. External Photo of South Elevation to Ladies WC
6. Proposed South Elevation Indicating New Entrance.

NB: Approximate area of opening up for new door is edged in blue.



Fig. 28. Photos Describing Location for New Entrance to Rear of Pub.



- ① Existing dangerous and non-compliant stair removed and floor made good with fire-resisting construction, to ensure fire safety standards are met.
- ② New access stair to 1st Floor accommodation. To be constructed from fire resisting construction to ensure fire-safety standards are met. Opening to be created between existing ladies WC and Back Bar to allow insertion of new stair.
- ③ New en-suites created with waste to discharge into existing drainage system at low level.
- ④ Small dining area created within existing bathroom area.
- ⑤ Partitions to be up-graded to ensure effective fire separation and to create a protected route in the event of a fire.
- ⑥ New fire-rated access door into plant space within attic over main kitchen.

Fig. 29. First Floor Plan Describing N-S & E-W Blocks

4.02.04 REFURBISHED FIRST FLOOR ACCOMMODATION:

The first floor accommodation is configured in an L-shape comprising a N-S block over the Bar (Red on Adjacent plan) and an E-W Block over the Rear Bar and Commercial Kitchen (Yellow on adjacent plan)..

The existing, original layout of the first floor is to largely remain, with the exception of the existing stairwell (to be removed) and the new stairwell enclosure which will occupy part of the E-W block at first floor level.

There are currently 3 rooms within the N-S block and the existing partition layout will be retained. The smaller, central room is to be sub-divided to house 2 en-suite shower facilities, serving the 2 larger rooms. A further WC is incorporated into a niche at the northern end of the N-S block allowing discharge into the existing drainage infrastructure that sits between the public house and the B&B.

The E-W block currently houses 3 elements, a staff lounge area, stairwell and bathroom. This area is to be modified with the stairwell removed and new flooring installed to create a larger room that will be home to a 3rd en-suite shower room and small dining area (over the kitchen). The existing staff lounge will become the 3rd bedroom (over the rear bar area).

The location of the new en-suites has been carefully considered to allow them to drain discretely into the existing drainage infrastructure and to avoid any further pipework to be affixed to the outside of the building.

4.02.05 FIRST FLOOR FIRE PROTECTED ACCESS CORRIDOR

The bedrooms are to be accessed via the existing corridor that aligns the East side of the N-S block. It is essential that this corridor is upgraded to latest fire and life safety requirements, with the walls and ceilings constructed from fire resisting materials (plasterboard and skim) to create a fire protected corridor linking the bedrooms to the new fire escape stair. (Edged in green on adjacent Proposed First Floor Plan).

4.02.06 UPGRADED SERVICES AND FIRE SAFETY EQUIPMENT

The existing services provision has been added to in an ad-hoc fashion and is not fit for purpose. These services have been stripped out where required and repairs made to any damaged building fabric. The existing electrical wiring and oil fuelled heating is to be up-graded to ensure that sufficient capacity exists for the Pub-Kitchen as well as the refurbished accommodation.

A new fire detection and alarm system is to be installed to latest fire and life safety standards to ensure protection of occupants. These proposed upgrades will remove unsightly and outdated equipment and provide for a modern system in support of the business whilst protecting life and building fabric.

TINNERS ARMS, ZENNOR, TR26 3BY

5.00 HERITAGE IMPACT STATEMENT

5.01 CHRONOLOGY

A full Heritage Building Appraisal has been undertaken by Eric Berry, which can be found in the Appendix to this document. A Phase Development Plan has been included in the adjacent Ground Floor Plan.

The development of the public house can be seen to have taken place over 2-300 years, with each phase being modified over time.

Whilst there have been buildings on the site for many years prior to the current configuration, the oldest extant element of the building is the N-S block which contains the bar. This block was modified in later years and the roof lifted (possibly post 1838 as a window can be found in the space between the pub and the White House B&B, which is dated 1838).

The E-W block was constructed in the early 19th Century, which has also been altered over the years including significant changes in the late 20th century to house the kitchen and to allow for the refurbishment of the 1st floor accommodation.

The block fronting the entrance courtyard is a later addition, dating from c. 1900 which contains the bar area and commercial kitchen.

Late 20th Century additions can be found to the southern aspect of the plan, including the Ladies WC, Dining Room and external Gents WC.

The proposed entrance is to be created through the 20th Century wall to the ladies WC. The stair requires only a small opening to be created in the 19th C separating wall between Ladies WC and the back bar area.

CHRONOLGY OF DEVELOPMENT

(After Eric Berry- see Appendix for full Appraisal)

- C17th -C 18th (Excluding later alterations)
- Early C19th (With C20th alterations)
- Circa 1900 (With C20th alterations)
- C20th



Fig.30. Proposed Ground Floor Plan Illustrating Development Chronology

5.02 HERITAGE IMPACT SUMMARY STATEMENT

The design proposal has been carefully considered to ensure essential fire and life safety provision whilst minimising any impact on the historic fabric.

We have worked closely with Eric Berry (see full Heritage Building Appraisal in the Appendix) throughout the development of this application proposal, in order to determine where best to locate the essential interventions in order to have the minimum impact on the historic fabric of the building.

The locations of any proposed intervention have been further determined with on-going discussion with the Heritage Buildings Team through the Pre-Application process.

The impacts have been minimised with interventions limited to a single, discreet area of the plan (Ladies WC and Back Bar) to allow for the new entrance and access stair.

As noted above the new entrance door will be formed within the 20th C external wall to Ladies WC. The entrance hall is connected to the new stair via a small opening within the granite separating wall between the 2 spaces.

Earlier concern over a potential fireplace in this area have proved unfounded and the pre-application advice has identified this area as the preferred location for the stair.

The existing elevations of the building remain largely unchanged, save for the new entrance, which is located in a discreet position and is pretty much invisible from outside the site.

The original layout of the first floor is intact with discreet interventions for the en-suite facilities and existing drainage infrastructure is to be utilised, avoiding any further pipework to the facades.

New finishes to the first floor level have been agreed as part of the emergency works and in so doing, the thermal performance has been up-graded whilst ensuring breathability of the external fabric of the property.

The design proposal can be justified, as these essential works are required for fire and life safety and the safe operation of the business and the careful positioning of any intervention has minimised their

physical impact on the historic fabric.

These proposals will ensure that The Tinnars Arms will be a sustainable business at the heart of the community of Zennor whilst securing this valuable heritage asset to be enjoyed by generations to come.

6.0 APPENDIX OVERLEAF, INCLUDING:

6.01 HERITAGE BUILDING APPRAISAL (Eric Berry)

6.02 PRE-APP 2018 FEEDBACK LETTER.

6.03 PRE-APP 2020 FEEDBACK LETTER

Tinners Arms, Zennor
Historic Building Appraisal

Cover photographs: Tinners Arms from SE and from south



By Eric Berry
August 2018

Tinners Arms, Zennor
Historic Building Appraisal

By Eric Berry
August 2018

ERIC BERRY Historic Buildings Consultant

ericberryhbc@btinternet.com

Cathedral Cottage, Busveal, Redruth, Cornwall, TR16 5HH Tel: and 01209 821 274 and 01872 870 868

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3 Methods

4 Proposal Concept

5 Historic Maps and Historic Text

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6.1 Status

6.3 Plan with phase annotation (ground-floor)

6.4 Materials

6.5 Exterior

6.6 Interior

7 Sources

8 Significance

9 Discussion

10 Photographs

APPENDIX: Context edited list descriptions

1 Background

The Tanners Arms is an iconic public house located in the historic village of Zennor. The building is now being assessed for its historic and architectural merits and a detailed scheme will result from a better understanding of its historic interest.

2 Aims

This appraisal is intended to inform the way that the building is repaired, adapted and presented. It is anticipated that by explaining the character of the building within its context and the way that it has evolved will provide a strong framework for decisions relating to the progress of the design and detail of a sustainable and innovative scheme.

3 Methods

Site meetings involving the owner, architect, and the author of this report, resulted in agreement to a framework within which a draft site proposal could result. The site has subsequently been assessed to establish the likely date, phasing and former functions of the building. The principal areas of the building have been photographed and a selection of the photographs is used in this report. All photographs have been edited using Photoshop software to include improvement to lighting balance and to correct for converging verticals. Within the report the photographs have been cropped to remove unnecessary content and compressed so that the overall report achieves a document size that is acceptable to the local authority.

4 Proposal Concept

The following fundamental principles or methods should apply with respect of the building:

- Repairs to the traditional parts of the building should be carried out according to good conservation principles.
- Rebuilding and extension should result in enhancement to the historic character and sustainability of the building and better contribute to the historic village of Zennor.

5 Historic Maps and Historic Text



Fig 1: Circa 1840 Tithe Map: Note building of similar size to Tanners parallel to the NW side



Fig 2: Circa 1880 OS map: Former building parallel to rear of Tanners then shown as a building site



Fig 3: Circa 1907 OS map: By this time what is now the kitchen wing has encroached into the SW courtyard and the rear building site is not shown but still survives today as a mound of building stone and mortar; An angled building to the south is all that remains (or has been rebuilt on the site of) of what was once a much larger structure

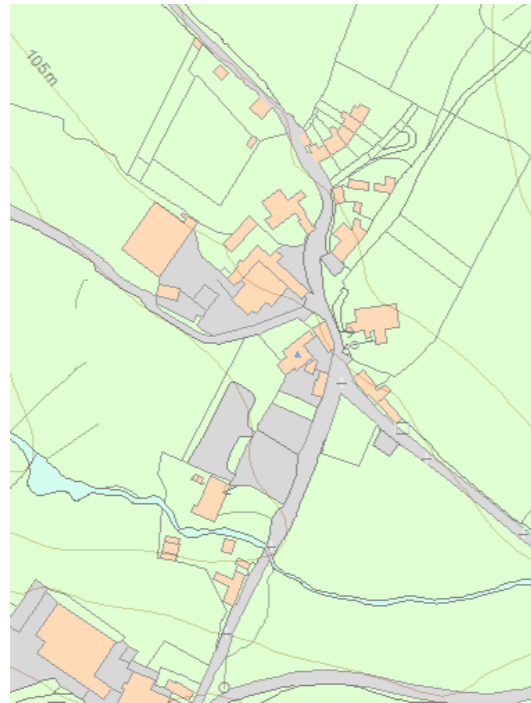
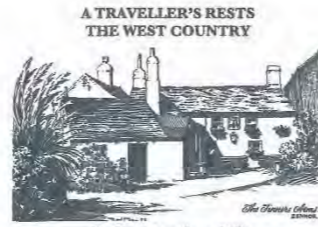


Fig 4: Listing map



**A TRAVELLER'S RESTS
THE WEST COUNTRY**

(The Tinnars Arms, Zennor, 1959)

Alan Roulstone was based in the West Country at several dates during what he came to call his "pub-crawl for life". In 1955 (or thereabouts) he even produced a slim guidebook devoted primarily to Somerset and Dorset, *A Pub-Crawler's Companion: The West Country* - a series title which wouldn't have passed muster a dozen or so years later once the breathalyzer had been introduced to Britain. Whenever he lived in Cornwall, however, he tried to concentrate on painting, and for this and a variety of other reasons a preponderance of the drawings reproduced in this pictorial anthology date from 1960; though this should cause no dismay, 1960 (along with 1964 and 1971) being one of Roulstone's peak years.

The majority, too, like that of the *Tinnars Arms at Zennor*, (to the west of St Ives, dating from 1959, are views of exteriors rather than interiors. This is scarcely, however, to be wondered at. Out of the 835 surviving examples of Roulstone's work dating from the 1950s a total of 523 show their subjects' outsides, and for the very good reason that it was not until the 1960s, when enormous changes began to overtake the licensed trade, that pub lounges and dining-rooms started acquiring the comforts - not to mention the

Fig 5: Excerpt text

6.2 Plan and Plan Development

Phased development of the site is aided by historic maps. The evidence contained in the maps combined with evidence displayed in the surviving building enables the following likely sequence:

C17-C18

The original building has chimneys and one kneeler stone that are characteristic of a late C17 or early C18 date.

Early C19

A west extension is shown on the circa 1840 Tithe Map, and also an angled building, are shown to the west of this. A small part of this survives or has been rebuilt on the NW end of this site. An adjoining building dated 1838, known as 'Bos Cres', is also part of the Tinnars ownership and is used as a holiday let.

Late C19- early C20

An extension in the angle between the original building and the early C19 west extension was added between circa 1880 and circa 1907.

Mid-late C19

Other buildings are mid-late C20 extensions. During this period the present layout and facilities have evolved in a piecemeal way that have enabled the building to continue its commercial function but at the expense of losing much of its potential for efficient use of its internal spaces.

6 Building description

6.1 Status

The Tinnars Arms is a grade II listed building within the historic village of Zennor that contains a high percentage of listed buildings. The village relates to an Area of Outstanding Natural Beauty (AONB) and Heritage Coast.

List Descriptions (edited)

ZENNOR ZENNOR SW 43 NE 4/339 The Tinnars Arms 9.2.88 GV II Public house. Probably circa early C18 extended in the C19 and C20. Granite rubble with granite moorstone dressings. Grouted or slurried scantle slate roofs. Dressed granite stacks over the original gable ends. Plan: 2 room plan house (now 1 room) with larger hall/kitchen, right, and parlour over lower ground, left. Possibly there was an unheated middle room for there is a small blocked window right of the doorway. In the C19 extended on the left and at right angles to the front, left. Exterior: 2 storeys. Originally a slightly irregular 2 or 3 window front but left-hand bay obscured by C19 addition. Doorway left of middle. Window openings are C19 altered or added except for blocked opening right of doorway. C20 door and windows. Interior: large fireplace, right and small fireplace, left. D. H. Lawrence stayed at the Tinner's Arms in 1916 with his wife Frieda, while looking for a cottage to rent. They eventually found Higher Tregerthen (Rananim q.v.).

Listing NGR: SW4543838502

National Grid Reference: SW 45439 38496

ZENNOR ZENNOR SW 43 NE 4/346 House adjoining north east of The Tinnars Arms GV II House. Datestone 1838, extended circa mid C19. Painted granite rubble with granite dressings. Slurried scantle slate hipped roof with deep eaves and brick chimney over original right-hand (north) side wall. Plan: originally a shallow double-depth house with 2 front rooms and central lobby or cross passage. Circa mid C19 a 1-room plan bay was added at the left-hand side, slightly irregularly shaped because of the site and with its windows in the left-hand end. Exterior: 2 storeys. Originally symmetrical 3 window east front with central doorway. Doorway now in left hand window opening. C19 4-panel door; circa late C19 4-pane horned sashes except circa mid C19 12-pane hornless sash to left-hand end (ground floor). Over the end window is a circa late C19 oriel bay window with hipped roof. Interior: not inspected.

Plan with phase annotation (ground-floor)

C17-C18 (excluding later alterations): - - - -

Early C19: - - - - Circa 1900: - - - - C20: - - - -

'Bos Cres' (right) is dated 1838

Late C20 ancillary buildings not annotated



PLAN 16-1035-0100 GROUND FLOOR PLAN

6.4 Materials

The Tinnars Arms is built from granite rubble moor-stone with granite dressings bedded in earth mortar. Most of the walling is pointed with hard cement mortar. The roofs over the oldest parts of the building are scantle slate. There are two original granite chimneys, one over each end gable end of the core building. There is a later axial granite chimney over the early C19 wing.

6.5 Exterior (Figs 7-15)

The external appearance of the building is the result of centuries of addition and changes and it harmonises well within its historic setting.

The front wall of the original phase 1 building is incomplete having lost its SW end at ground-floor level to enable insertion of a serving bar, probably in the early C20. A circa 1900 extension blocks most of the upper floor at this end. The part of the front wall that is still external displays much evidence of alteration, re-facing and heightening (Fig 8).

The rear wall of the phase 1 building (Fig 10) has also experienced changes since it was first built. Significant differences to the character of the walling suggest that the left-hand end has been rebuilt or refaced. There is a clear line of later eaves heightening and a kneeler stone survives at the SW end. A window opening to ground-floor right is a C20 insertion or enlargement.

The NE external wall of the phase 2 building at the SW end of the site is hidden behind a circa 1900 extension (now kitchen and bar). The SW wall is within the C20 Sitting Room but partly external at first-floor level where there is a series of three window openings.

6.6 Interior (Figs 16-55)

The original core building has walls panelled with vertical boarding and the ceiling appears to be a 19th century replacement with open joists. There is a C19 rebuilt granite fireplace at either end of what is now one long room but was probably originally two main rooms plus a central smaller room and stair hall. The fireplace at the NE end (Fig 19) is larger and designed to serve the presumed original kitchen. The fireplace at the opposite end is large enough to have been fitted with an iron range and may have been enlarged/rebuilt from a former parlour fireplace.

Apart from some C19 doors, frames and architraves and a simple C19 staircase there is little of interest in other parts of the building. However, there is much opportunity to re-open features currently hidden by later additions and surfaces.

7 Sources

- Images of England and Heritage List websites
- Websites relating to the Tinnars Arms
- Cornwall Council for Historic Maps

8 Significance

The Tinnars Arms is a grade II listed building within the 'churchtown' village of one of the most historic parishes in Cornwall. The village of Zennor boasts one of the highest concentrations of listed buildings of village groups in the county. The village is set within a prehistoric field system that contains many prehistoric settlements and historic farmsteads. It also relates to an Area of Outstanding Natural Beauty (AONB) and Heritage Coast. Within this area there are also many remains of the of the once productive tin and copper mining and tin streaming areas within the Cornish Mining World Heritage Site. The subject building is an iconic public house that celebrates its historic interest. The core building dates from at least circa 1700 and has been extended during the 19th century and 20th century in response to its essential role in the village and its popularity at large. The significance of the Tinnars Arms is multi-faceted and steeped in history partly due to the building itself but also within its historic environment.

9 Discussion

Tinners Arms is a very popular public house and has been adapted over many phases to keep pace with customer demand. However, its layout and facilities are now stretched to the limit. Its layout is seriously compromised by the location of the only staircase in the old west wing accessed through the kitchen area. The result of this is that the first-floor rooms have limited function or are unusable. The C20 west dining room is now inadequate for demand and the building is not presented in a way that fully explains its evolution. Tinners Arms is now facing a challenge of how to retain and enhance its character but also accept small changes that will enable the first-floor rooms to be fully used and the dining area to be extended. It is anticipated that by clever design small changes can be devised that resolve all the difficulties that the building currently experiences and provide a facility that capitalises on its unique historic character, and that also provides the building with a properly sustainable future.

10 Photographs



Fig 6: Tinners Arms from east: 'Bos Cres' (right) was built in 1838 (datestone) and is possibly on the site of a former pre-Reformation church house; a building type that often became a public house in the post-Reformation period and this may be the origin of the Tinners Arms that survives today



Fig 7: Tinners Arms from east: original circa 1700 building on right; early C19 extension behind towards left; circa 1900 wing in front of it



Fig 8: Front wall of original building annotated to show anomalies including: former probable window opening left of centre; re-facing, rebuilding or remodelling of much of first-floor stonework, and original probable eaves level at top



Fig 9: 'Bos Cres' and Tinners from north: note 1838 inscription and reused medieval cross shaft over end window



Fig 11: Parish church, 'Bos Cres', and Tinners, from west



Fig 10: Tinners rear wall annotated to show original probable eaves level with kneeler stone at far right; walling left of central former stair window has larger stones probably due to re-facing or rebuilding; C20 inserted window at far right



Fig 12: As previous image but a more distant view to include C20 dining room extension at far right

TINNERS ARMS, ZENNOR, TR26 3BY



Fig 13: Tinners from south: C20 dining room on left; early C19 wing, centre; mid C19 angled wing, right



Fig 15: Tinners late C19 or early C20 extension, left and centre, now containing kitchen and serving bar



Fig 14: 'Bos Cres' from SW showing functional relationship with the SE courtyard of Tinners



Fig 16: Tinners main room from NE



Fig 17: Main room SW end



Fig 19: NE fireplace clearly rebuilt in the C19 including granite lintel with drill holes of post 1800 type; traces of limewash indicate former decorative inner wall finish



Fig 18: Tinners main room from SW



Fig 20: Smaller C19 rebuilt fireplace at SW end



Fig 21: Large portion of SE wall removed when serving bar first constructed



Fig 22: Passage SE to dining room



Fig 23: To Ladies WC



Fig 26: From Ladies WCs to Dining Room



Fig 27: Dining Room from SW: wall with hatch may contain many features of interest behind panelling



Fig 24: Ladies WCs from NE

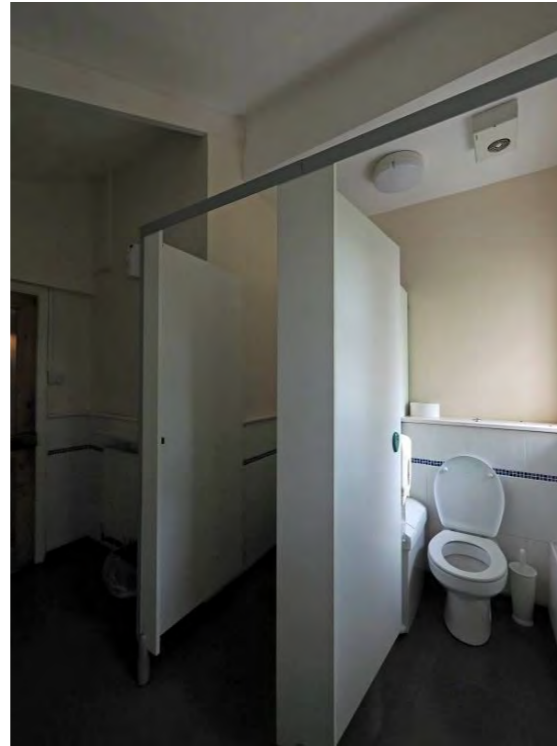


Fig 25: Ladies WCs from west



Fig 28: Dining Room NE end from SE



Fig 29: Dining Room from NE



Fig 30: Dining Room from SW



Fig 31: Dining Room from north



Fig 32: Serving Bar from south



Fig 33: Kitchen from west



Fig 38: Bathroom from west



Fig 39: From Bathroom to Sitting Room



Fig 34: Passage between Serving Bar and Kitchen



Fig 35: Utility Room from north

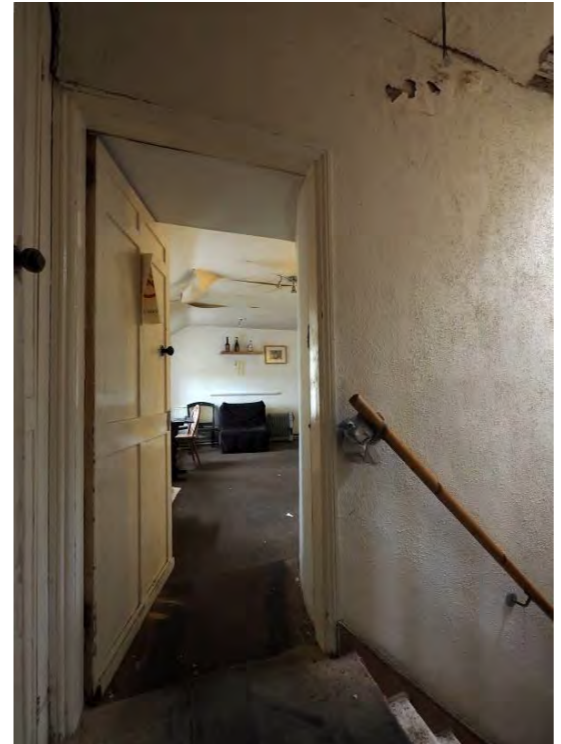


Fig 40: From Stair Landing to Sitting Room

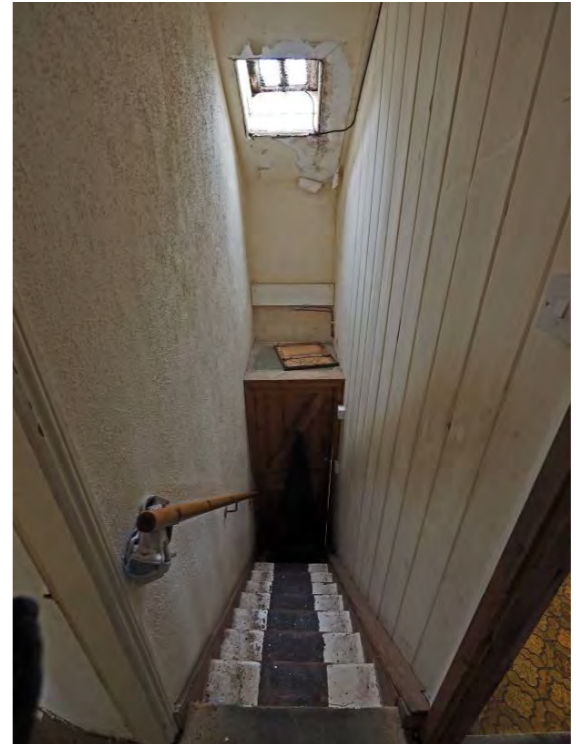


Fig 41: Staircase from SW

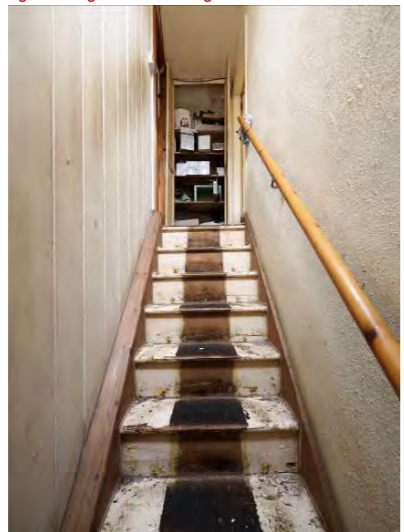


Fig 36: C19 stairs to upper floor of early C19 west wing



Fig 37: Bathroom from north (SE end of early C19 west wing)



Fig 42: Sitting Room from south



Fig 43: Sitting Room from north

TINNERS ARMS, ZENNOR, TR26 3BY



Fig 44: Sitting room SW wall



Fig 45: Sitting Room NE wall



Fig 50: Central Bedroom from south (lit by former stair window)



Fig 51: Central Bedroom from west



Fig 46: First floor over original building from south



Fig 47: Doorway from Sitting Room to first-floor passage



Fig 52: NE Bedroom from south



Fig 53: NE Bedroom from west

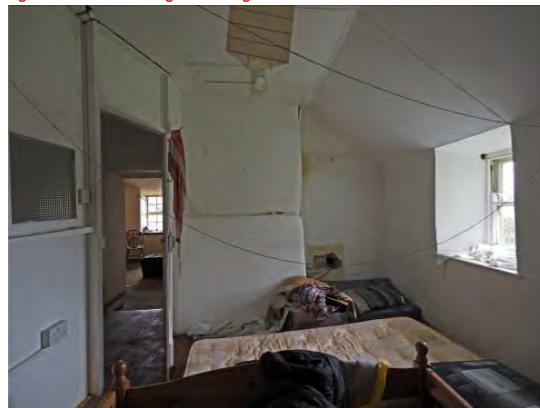


Fig 48: SW Bedroom from NE

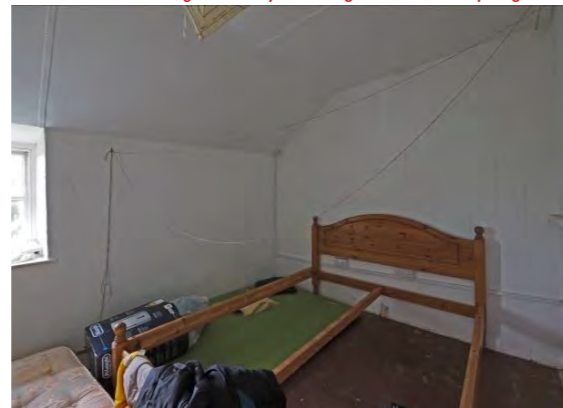


Fig 49: SW Bedroom from south

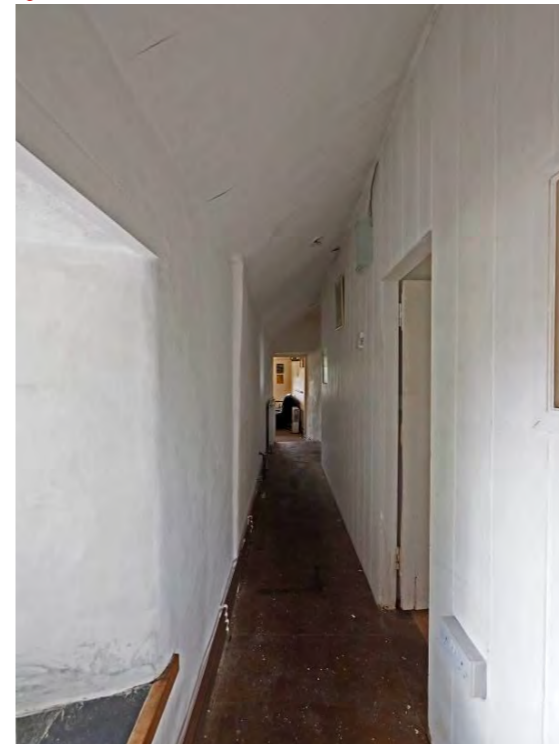


Fig 54: Passage serving Bedrooms from NE



Fig 55: From Sitting Room to Stair Landing and Bathroom

APPENDIX: Context edited list descriptions

ZENNOR ZENNOR SW 43 NE 4/329 Church of Saint Sennar 10.6.54 GV I Parish church. Parts of south wall possibly C12 or C13, C13 font, C13 or C14 south transept and chancel, C15 north aisle and west tower and later porch. Reroofed and partly rebuilt in the C19. Granite moorstone with granite dressings, granite ashlar tower and north aisle, with gable ends. Plan: nave/chancel, west tower, north aisle, south transept and south porch. Squint between south transept and chancel. Chancel is narrower than nave. Exterior: 3 stage embattled west tower with 4-centred arched doorway, 3-light window over and louvred traceried 3-light windows to upper stage. Lancet window in south wall left of porch and C19 lancet in chancel gable, C15 2-light window right of transept and reset 3-light C15 window in west gable end of north aisle, otherwise C19 windows, mostly in Perpendicular style but the south window of the south transept has intersecting tracery possibly copy of C13 original. Porch doorway has steep rounded arch possibly C18. Sundial to south wall of tower is inscribed: Paul Quick fecit 1737. Interior: pointed tower arch, C15 6-bay arcade with octagonal piers and basket arches between nave and north aisle; similar 2-bay arcade between nave and south transept; C19 waggon roofs, chancel roof carried on granite corbels. Walls stripped of plaster in the C19. Fittings: probably C13 font with octagonal bowl carried on round central shaft and with 4 corner shafts cranked out where they engage the bowl; 2 C15 bench ends made into a small seat, one end with a carved saint, the other end the famous mermaid of Zennor, otherwise C19 or C20 fittings. Monuments: granite coffin lid in tower inscribed: IQ 1784.

Listing NGR: SW4547838514 National Grid Reference: SW 45474 38513

ZENNOR ZENNOR SW 43 NE 4/342 Zennor Bridge - GV II Road bridge over stream. Circa early-mid C19. Granite rubble and granite lintels. Iron handrails. Single span bridge of simple lintelled construction. Handrails over low plinths as parapets are threaded through iron stanchions. Listing NGR: SW4542538403 National Grid Reference: SW4542538403

ZENNOR ZENNOR SW 43 NE 4/343 Bridge Cottage (Zennor, Wayside Museum) 9.2.88 GV II Millers house. Circa late C17 or early C18, remodelled early C19. Granite rubble and dressed granite moorstone. Grouted scantle slate roof with dressed granite stacks over the gable ends. Plan: 2 room plan: larger hall/kitchen right and parlour, left, with cross passage between leading to single storey C19 wing at right angles behind rear left. Exterior: 2 storeys. Nearly symmetrical 3 window south front with doorway slightly left of middle. Original small window openings to ground floor (and in right-hand gable). First floor openings are circa 1805 (house guide) when the eaves were heightened. Interior: large fireplace with domed stone oven in kitchen, small fireplace in parlour and granite flagged floor incorporating some millstones, otherwise C19 carpentry and joinery. Listing NGR: SW4541038386 National Grid Reference: SW 45410 38386

ZENNOR ZENNOR SW 43 NE 4/337 Churchyard walls north, west and - south of Church of St Sennar GV II Churchyard walls. Circa early C19. Granite rubble, dressed granite and some granite copings. Listing NGR: SW4549338494 National Grid Reference: SW 45495 38494

ZENNOR ZENNOR SW 43 NE 4/332 Berryman headstone at approximately - 4 metres north of east end of Church of St Sennar GV II Headstone. Early C19. To Thomas Berryman, died 18-- (probably 1814). Nowy-headed granite monolith. Listing NGR: SW4548538525 National Grid Reference: SW4548538525

ZENNOR ZENNOR SW 43 NE 4/331 Cross at approximately 5 metres - south of tower of Church of St Sennar GV II Cross. Medieval. Granite monolith with wheel head. Relief carving to each face. East face has Greek cross, west face has Latin cross. Listing NGR: SW4546638501 National Grid Reference: SW4546638501

ZENNOR ZENNOR SW 43 NE 4/330 Davey headstone at 1 metre - south of tower of Church of St Sennar GV II Headstone. Early C19. To Elizabeth Davey, daughter of John and Ann Davey, died 1810.

Nowy-headed granite monolith with inscribed slate insert.

Listing NGR: SW4546538506 National Grid Reference: SW4546538506

ZENNOR ZENNOR SW 43 NE 4/327 Former school at approximately 30 - metres north of Church of St Sennar GV II Former village school and its yard walls, circa mid or late C19. Granite rubble with granite dressings. Hipped grouted scantle slate roof. Plan: rectangular plan schoolroom with 4 windows to the front (east) and roughly square entrance porch adjoining the rear right-hand corner. At the right-hand end is a small walled playground with a roofless earth closet at the north end. Exterior: Single storey. Regular 4-window east front with C20 windows in original openings. Interior: not inspected.

Listing NGR: SW4546338552 National Grid Reference: SW 45463 38551

ZENNOR ZENNOR SW 43 NE 4/335 Stile with gate piers and gate - north of Church of St Sennar GV II Stile, gate piers and gates. Probably C18, gates C19. Dressed granite. Grid stile with central coffin rest flanked by 2 stone settles with high back. The north arm rests are also the gate piers and are rebated on one side for the closing of the original gate. C19 iron gates.

Listing NGR: SW4546038520 National Grid Reference: SW 45460 38528

ZENNOR ZENNOR SW 43 NE 4/336 Steps, stile, gate piers and gate - south west of Church of St Sennar GV II Steps, stiles, gate piers and gate. Circa early C19. Dressed granite. Wrought iron gate. Grid stile flanked by parallel ashlar walls with gate hung to outer end (south). Stepped pyramid flight of steps up to the gateway and the reverse another flight of steps inside the gateway.

Listing NGR: SW4545938523 National Grid Reference: SW 45462 38499

ZENNOR ZENNOR SW 43 NE 4/323 Vicarage Meadow - GV II Coach house with groom's accommodation, now a house. Circa early C19. Granite rubble with granite dressings. Grouted scantle slate roof with brick chimneys over the gable ends. Plan: originally a coach house left and grooms cottage, right and over. Original wide doorway in front of coach house now partly blocked and fitted with window. Later C19 lean-to service rooms at rear. Exterior: 2 storeys. Now a nearly symmetrical south front with approximately central doorway flanked by 2 windows, window over doorway and window at first floor left. C20 ledged door and horned sashes with glazing bars to 3 main windows. Interior: partly remodelled in the C20 but retaining much of the original structure. Listing NGR: SW4542138614 National Grid Reference: SW 45421 38614

ZENNOR ZENNOR SW 43 NE 4/334 Borlase chest with 2 crosses at - approximately 12 metres north of Church of St Sennar GV II Chest tomb with cross set over either end. Medieval crosses, late C19 chest. To: William Borlase, Vicar of Zennor, died 1888; MB, died 1850; ABM, died 1861; MJB, died 1862; AMB, died 1867 and Admiral John Borlase, CB, died 1895. Granite monolith with inset lead letters. Rectangular on plan. The granite crosses are wheel-headed monoliths. The east cross has crucifixion figure to either face. The west cross has crucifixion on its east face and cross patee on the west face. Relief carving. Descendants of William Borlase the distinguished C18 antiquarian. Listing NGR: SW4547438534 National Grid Reference: SW4547438534

ZENNOR ZENNOR SW 43 NE 4/325 Row of houses immediately north - north east of The Vicarage GV ZENNOR ZENNOR SW 43 NE 4/325 Row of houses immediately north - north east of The Vicarage GV II Row of 4 houses. C18 and circa early and late C19. Granite rubble with scantle slate roofs, grouted or slurried. Some cast-iron ogee gutters. Stone stacks to C18 house otherwise brick chimneys all over the gable ends or cross-party walls. Plan: from left: C18 2 room plan house with central lobby entrance; otherwise double depth houses, each with 1 or 2 rooms at the front; second and third houses have entrances on their left, and right-hand house has central entrance, formerly a pair of cottages, (Gerald's Cottage), Exterior: 2 storeys. From left: nearly symmetrical 2 window front with approximately central doorway; regular 3 window front; slightly irregular 2 window front and on the right a 3-window front with central blocked window over former pair of doorways. Mostly circa late C19 casements or sashes except for third house which has C20 windows. C20 doors. Interior: not

inspected.

Listing NGR: SW4546438607 National Grid Reference: SW 45459 38599

ZENNOR ZENNOR SW 43 NE 4/341 Piggery, plague stone and cross - immediately north of Bridge Cottage GV II Piggery, plague stone and cross. Medieval cross. Circa mid C19 piggery, presumably C17 plague-stone. Granite rubble and dressed moorstone. Grouted scantle slate roof with gable ends. Small rectangular building with 3 doorways (2 blocked) in east wall. The plague stone is by the south gable end. A small trough is cut into the top, this trough apparently was filled with vinegar to disinfect money when it changed hands. A re-sited unfinished wheelhead granite monolith cross stands near the plague stone. The cross has no inscription.

Listing NGR: SW4541538397 National Grid Reference: SW4541538397

ZENNOR ZENNOR SW 43 NE 4/344 Mill at approximately - 50 metres north west of Bridge Cottage GV II Mill. Circa early C19 on older site. Granite rubble with some dressed granite. Half-hipped grouted scantle slate roof. Plan: square on plan mill with C19 machinery still in situ at north side. 2 stones on first floor above. Hub of former overshot wheel only survives outside. Exterior: 2 storeys. Doorway in west wall; first floor window towards right in south wall and first floor window to the middle of both south and north walls under the half-hip. Interior: original floors and roof structure. The mill is now used to display not only its original machinery but also a miscellany of C19 tools including those required for a smithy including bellows.

Listing NGR: SW4537638404 National Grid Reference: SW 45376 38404

ZENNOR ZENNOR SW 43 NE 4/338 Farmhouse immediately west of The - Vicarage GV II Farmhouse and adjoining cottages, now 1 house. C18, extended circa early C19. Granite ashlar. Scantle slate roof with dressed granite stacks over the gable ends. Cast-iron ogee gutters. Plan: 2 room plan house with larger left-hand room (probably kitchen) and cross passage between, extended circa early C19 with one room plan cottage at the left-hand end. Later C19 lean-to at far left. Exterior: 2 storeys. Overall 4 window south front. To the left the 1 window cottage, with former doorway on its right. To the right, nearly symmetrical 3 window front of farmhouse with central doorway. C19 doorcase and 4-panel door to farmhouse, circa late C19 12-pane horned sashes. Interior: not inspected.

Listing NGR: SW4541138555 National Grid Reference: SW 45411 38554

ZENNOR ZENNOR SW 43 NE 4/340 Chy-an-Eglos - GV II House and adjoining cottage. Circa early to mid C19. Granite ashlar and granite rubble with granite dressings. Scantle slate roofs. Hipped roof with deep eaves over house. Brick chimneys at side of house and axial stack to cottage. Cast-iron ogee gutters. Plan: shallow partly double depth house with 2 front rooms, probably service room behind left-hand room and probably stair behind right-hand room. Adjoining at right-hand end is a single-storey 3-room plan cottage with wider room on the left and lobby entrance between the right-hand rooms. Exterior: 2-storey house, left, and single-storey cottage right. House has symmetrical 3 window west front; central doorway with C20 glazed porch; circa late C19 4-pane horned sashes and granite sills. The cottage is set back to the right: 1 storey, asymmetrical 4-window range of circa late C19 4-pane sashes, and a plain doorway towards the right. Interior: not inspected.

Listing NGR: SW4546838484 National Grid Reference: SW 45472 38482

ZENNOR ZENNOR SW 43 NE 4/324 Gazebo, adjoining walls, raised walk and granite fence posts in 12.04.88 rear garden of Vicarage Meadow GV II Gazebo, adjoining walls raised walk and fence posts. Circa late C19. Probably built for Admiral John Borlase or William Borlase, former vicar of the parish. Granite rubble with granite dressings. Pyramidal scantle slate roof with parapets on the sides facing the garden. Plan: square gazebo in corner of garden with high walls of garden adjoining the rear and left-hand walls of the gazebo. The wall in front of the left-hand side has a raised walk on the garden side, parallel to this and the other garden wall within the garden are fencing posts to divide the meadow from the garden area in front of the gazebo. Exterior: Single storey gazebo with miniature symmetrical 2 window front with central doorway. Leaded lights. At the left-hand end is a 2 light

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mullioned window. Interior: has a small fireplace and ceiling beams to support a false floor.

Listing NGR: SW4539038642 National Grid Reference: SW 45390 38642

ZENNOR ZENNOR SW 43 NE 4/333 War memorial at approximately 8 - metres north of tower of Church of St Sennar GV II War memorial to those who died in the First World War (1914-1918). Dressed granite. A square-on-plan pier with plinth and cornice surmounted by 4 carved figures at the head. North west face has incised inscription to Greek cross in relief to: RH Osborne DCM SE Taylor Later plaque under to those who died in the 1939-45 war.

Listing NGR: SW4546338523

This List entry has been amended to add sources for War Memorials Online and the War Memorials Register. These sources were not used in the compilation of this List entry but are added here as a guide for further reading, 13 December 2016.

Selected Sources

Websites

War Memorials Online, accessed 13 December 2016

from <https://www.warmemorialsonline.org.uk/memorial/139683>

War Memorials Register, accessed 13 December 2016

from <http://www.iwm.org.uk/memorials/item/memorial/9372>

National Grid Reference: SW4546338523

ZENNOR ZENNOR SW 43 NE 4/326 The Vicarage, adjoining - outbuildings, front garden walls and gate GV II Vicarage, adjoining outbuildings, front garden walls and gate. Circa late C18 or early C19, extended in the C19. Roughly coursed granite rubble with granite dressings. Half-hipped scantle slate roof with dressed granite stacks over the side walls. Plan: shallow double-depth plan with 2 rooms at the front (right-hand room wider) with cross passage leading to stair between. In the C19 a 2-room plan garden front addition was added parallel to the rear middle and right. Also added in the C19: an outbuilding at the right-hand end and a stable and trap house at right angles to the front right. Exterior: 2 storeys. Nearly symmetrical 3-window south front with doorway central to fenestration. Hipped-roofed porch with side entrance. Possibly original 16-pane hornless sashes to all openings except later sash at ground floor left. More circa early C19 sashes at rear and at right hand side. Interior: not inspected. Garden walls are dressed granite or granite rubble with granite dressings. Square edged granite coping. Round-headed granite monolithic gate piers and C19 wrought- iron gates with hooped bracing.

Listing NGR: SW4543038568 National Grid Reference: SW 45431 38567II Row of 4 houses. C18 and circa early and late C19. Granite rubble with scantle slate roofs, grouted or slurried. Some cast-iron ogee gutters. Stone stacks to C18 house otherwise brick chimneys all over the gable ends or cross party walls. Plan: from left: C18 2 room plan house with central lobby entrance; otherwise double depth houses, each with 1 or 2 rooms at the front; second and third houses have entrances on their left, and right-hand house has central entrance, formerly a pair of cottages, (Gerald's Cottage), Exterior: 2 storeys. From left: nearly symmetrical 2 window front with approximately central doorway; regular 3 window front; slightly irregular 2 window front and on the right a 3-window front with central blocked window over former pair of doorways. Mostly circa late C19 casements or sashes except for third house which has C20 windows. C20 doors. Interior: not inspected.

Listing NGR: SW4546438607 National Grid Reference: SW 45459 38599

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Loci Architecture
Jenning's House
Jenning's Street
Penzance
Cornwall
TR18 2LU

Your ref:
My ref: PA18/00709/PREAPP
Date: 26 April 2018

Dear Sir/Madam

Pre-application enquiry reference PA18/00709/PREAPP
Proposal Pre-application advice for various urgent works to listed building and extension to existing ground floor dining block
Location Tinnars Arms Zennor St Ives Cornwall
Applicant Anna And James George

I refer to your enquiry received on 5 March 2018 concerning the above and would inform you that this letter is written on the basis of the information supplied with your enquiry and the submitted drawings.

Proposal

This pre-application enquiry seeks formal advice regarding the undertaking of internal and external restoration/alteration works to the Grade II-listed Tinnars Arms in the village of Zennor.

Site constraints

- o Cornwall Area of Outstanding Natural Beauty;
- o Zennor Conservation Area;
- o Flood Zone 2;
- o Flood Zone 3;
- o Penwith Heritage Coast;
- o Grade II Listed Building (The Tinnars Arms);
- o Potentially Contaminated Land (Cemetery, modern burial grounds and grave yards); and
- o Potentially Contaminated Land (Metal smelting and refining (Includes furnaces and forges, electroplating, galvanising and anodising)).

Relevant site planning history

- o W1/78/P/0109 - Lounge bar and toilets extension to public house - Approved 19/02/1979;
- o W1/80/P/0126 - Construction of bedroom extension and domestic garage - Approved 17/04/1980;

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- o W1/80/P/0484 - Construction of domestic garage - Approved 30/06/1980;
- o W1/83/P/0667 - Extension of approved garage to form store - Approved 10/10/1983;
- o W1/84/P/0200 - Lounge and kitchen extension - Approved 09/04/1984;
- o W1/85/P/0219 - Retention of lounge & kitchen extension - Approved 15/04/1985;
- o W1/88/H/0066 - Store and garden room - Approved 01/07/1988;
- o W1/91/H/0032 - Construction of 12 car parking spaces - Approved 09/08/1991;
- o W1/91/P/0356 - Construction of 12 car parking spaces - Approved 09/08/1991;
- o W1/04/P/1534 - Installation of ventilation duct - Approved 14/12/2004;
- o W1/04/H/0157 - Installation of ventilation duct, re-roofing in wet laid scantle slate & formation of access to lower bar - Approved 13/12/2004; and
- o PA17/09106 - Listed building consent for proposed works to incorporate a new shower-room within the existing ground floor of the B&B - Approved 01/11/2017.

Relevant policies and guidance

Cornwall Local Plan Strategic Policies 2010-2030 (Adopted 22nd November 2016)

- Policy 1 Presumption in favour of sustainable development
- Policy 2 Spatial Strategy
- Policy 4 Shopping, services and community facilities
- Policy 12 Design
- Policy 13 Development standards
- Policy 16 Health and wellbeing
- Policy 23 Natural environment
- Policy 24 Historic environment
- Policy 26 Flood risk management and coastal change

National Planning Policy Framework

- Section 1. Building a strong, competitive economy
- Section 3. Supporting a prosperous rural economy
- Section 7. Requiring good design
- Section 8. Promoting healthy communities
- Section 10. Meeting the challenge of climate change, flooding and coastal change
- Section 11. Conserving and enhancing the natural environment
- Section 12. Conserving and enhancing the historic environment

Planning Practice Guidance

Cornwall Design Guide 2013

Cornwall Area of Outstanding Natural Beauty Management Plan 2016-2021

Planning (Listed Buildings and Conservation Areas) Act 1990

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Consultation responses

Historic Environment Planning (28 March 2018)

"This application does not currently comply with sections 66 and 72 of the Town and Country Planning (Listed Buildings and Conservation Areas) Act 1990 with policies 12 and 24 of the Cornwall Local Plan and paragraphs NPPFP128 and NPPFP134.

Prior to any application or further drafting of proposals, this site requires a building recoding to informed a Statement of Significance, the first part of a Heritage Impact Assessment as required by NPPFP128.

There are concerns with the current scheme and these include the extension extending beyond the gable end of historic building and changing a pitched roof to flat roof. Also potential for the listed building and the business there may be better solutions and it would be a shame to miss this opportunity.

The information already submitted on the evolution of the building is interesting but further work is suggested to inform any future schemes. The Tithe Map provides some interesting land use for the side "primrose garden."

It was suggested during the site meeting that some limited opening up works to establish the state and significance of historic fabric, to be agreed as part of this pre-app via exchange of letters and sketches.

The floor of the 1988circa dining extension could be raised to assist the spatial proportions so its respects the higher significance and character of the main bar. The cladding in the circa 18th range, of the dining room has been boarded up to match the circa 1988 extension, and it is proposed to remove the modern cladding and hopefully exposed a fire place and other historic fabric to return some character to the room.

On the upper floor the breaking into the gable wall of potentially the oldest history fabric is a concern, as it the creation of a flat roof where there is currently a pitched roof. Therefore this part of the proposals should be reconsidered. The removal of the existing staircase, would provide a more functional kitchen and remove the fire potential fire access, this should be recorded prior to any consented removal. The paneling forming the partition should be re-used within the building.

One possible solution to a new access to the upper floor is creating a partition in the northern bedroom of the N-S range and creating a stairway onto higher ground level. However from a visual inspection, the lower part of this wall may be older hat the upper fabric and this should be assessed. The paneling removed from the stair could be reused in the location and the door removed from its current position to the form the new door to the reduced sized bedroom. There would be harm to the spatial proportions and the symmetry of this bedroom. This has to be carefully weighed up with the benefit of achieving a safe access to the upper floor to allow the upper for to be lived in, heated and ventilated which is required.

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There are potential opportunities to uncover fireplaces, and vent any unused stacks to return some character to the upper floor

There is an opportunity to improve the rear window in the bar (N-S) range which appears to be a widened post WWII window with a ten over ten window single glazed sash or something similar proportioned to the existing replacement windows. There is at least one window in that range on the first floor is a circa Victorian. So the windows should not be replaced but the lower pane should be replaced, but not the whole window. The removal of the internal artex on some walls and ceilings would help allow the building to breathe, but there could be the need to repair or replace the newly re-exposed plaster with lime plaster.

There appears to be no loft hatches and there is a concern in that the potential oldest range, E-W range, that the slurred Delabole scantle slate roof is starting to fail and this should be looked into as a matter of urgency and perhaps as a standalone application. There currently appears to be no internal access and a loft hatch should be considered, again to be agreed as part of this pre-app via exchange of letters and sketches.

The pergola concept would add further build structures into an already scattered array of buildings and instead a well design entrance to the dining room would be a better method of achieving this.

Some of the ceilings on the ground floor are formed with floorboards some of age and some probably 20th century. Upgrading of the ceilings for fire and acoustic regulations should be sensitively designed to minimise the level of intervention to historic fabric, including the first floor timber partitions on the N-S range. It is suggested sections are shown of the existing and proposed in any future application. The first step to move this interesting project is to understand this complex building and its significance and condition. A second pre-app once a building assessment has been carried out may be of considerable benefit."

Assessment

S66(1) of the Planning (Listed Buildings and Conservation Areas) Act 1990 advises that, in considering whether to grant planning permission for development which affects a listed building or its setting, the local planning authority shall have special regard to the desirability of preserving the building or its setting or any features of special architectural or historic interest which it possesses. This is supported at policy level by policies 2 and 24 of the Cornwall Local Plan Strategic Policies 2010 - 2030 and paragraphs 131 and 132 of the National Planning Policy Framework (NPPF), which seek to sustain and enhance designated heritage assets.

The Tinnars Arms is a Grade II-listed building, with its List Entry Summary stating as follows:

"ZENNOR ZENNOR SW 43 NE 4/339 The Tinnars Arms 9.2.88 GV II Public house. Probably circa early C18 extended in the C19 and C20. Granite rubble with granite moorstone dressings. Grouted or slurried scantle slate roofs. Dressed granite stacks over the original gable ends. Plan: 2 room plan house (now 1 room) with larger

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hall/kitchen, right, and parlour over lower ground, left. Possibly there was an unheated middle room for there is a small blocked window right of the doorway. In the C19 extended on the left and at right angles to the front, left. Exterior: 2 storeys. Originally a slightly irregular 2 or 3 window front but left-hand bay obscured by C19 addition. Doorway left of middle. Window openings are C19 altered or added except for blocked opening right of doorway. C20 door and windows. Interior: large fireplace, right and small fireplace, left. D. H. Lawrence stayed at the Tinner's Arms in 1916 with his wife Frieda, while looking for a cottage to rent. They eventually found Higher Tregerthen (Rananim q.v.).

Listing NGR: SW4543838502"

The submitted supporting statement advises that the proposals involve refurbishing the first floor manager's accommodation; adjusting the layout of the pub; extending the existing dining area to the rear of the property; and relocating the access stairs to the manager's accommodation. In addition to the statement, the enquiry is accompanied by existing and proposed floor plans demonstrating how these works are intended to be undertaken.

The Council's Historic Environment Officer has visited the site with the Applicants and/or Agent in order to discuss the proposals, and has since provided details comments above. The comments set out a range of recommendations, both physically in terms of the works to the building and procedurally in terms of how these works are considered moving forward, which are considered to be reasoned bearing in-mind the historic sensitivity of the listed building.

Provided that the advice of the Historic Environment Officer is suitably reflected in subsequent application submission(s), it is considered that the proposed internal and external restoration/alteration works to the Grade II-listed Tinner's Arms would have the potential to achieve officer support.

You should note that this letter does not constitute a formal decision by the Council (as local planning authority). It is only an officer's opinion given in good faith, and without prejudice to the formal consideration of any planning application. However, the advice note issues will be considered by the Council as a material consideration in the determination of future planning related applications, subject to the proviso that circumstances and information may change or come to light that could alter the position. It should be noted that the weight given to pre-application advice notes will decline over time.

Yours faithfully

Adam Carlyon MRTPI

Senior Development Officer
 Planning and Sustainable Development Service
 Tel: 01209 614019
 Email: planning@cornwall.gov.uk



Your ref:
 My ref: PA20/00339/PREAPP
 Date: 06/05/2020

Dear Keith,

Pre-application enquiry reference	PA20/00339/PREAPP
Location	The Tinner's Arms, Zennor, TR26 3BY.
Proposal	The relocation of existing dangerous stair, creation of new access stair and revisions to layout of manager's apartment at first floor level.

I refer to your pre-app enquiry received on 14/02/20 and our subsequent site meeting on the 05/03/2020. This response is written on the basis of the information supplied with your enquiry and our discussions on site.

Relevant legislation and policies:

- Planning (Listed Buildings and Conservation Areas) Act 1990
- National Planning Policy Framework (NPPF) 2018 – Section 16
- Cornwall Local Plan – Policy 12 and 24

The site is a grade II listed public House, in Zennor Conservation Area, in the Area of Outstanding Natural Beauty in West Penwith. This HBA and site meeting follows a previous planning pre-app, reference PA18/00709/PREAPP and site meeting. This HBA is welcomed as it has considered all the previous points raised in the previous pre-application. Also, advice has been obtained from the services of a Historic Buildings Consultant, Eric Berry.

The proposal is now to rearrange the toilets in the 1970's extension and break through the gable wall to the side of a possible fireplace, roughly the size of a doorway and return the stairs on the internal face of the gable. This is a more acceptable location, given that this is an internal staircase. However, the end gable wall, may under the layers of modern materials have the remains, and maybe intact of a fire place. Therefore, it is suggested that limited opening up works are carried out to investigate what is behind the modern finishes. The proposed staircase would run in front of any fireplace, and therefore the fireplace would still be hidden from view. This proposal would require a hole through a historic probably early 19th century gable wall, so if consent was granted, then a watching brief condition would be required, so its presence recorded, and any scheme should leave the fireplace intact. So, the proposed construction and loading of any staircase should be detailed as part of any future application.

The managers flat is currently unused and has quite a few modern coverings and finishes to the walls and ceilings. It is suggested the modern unbreathable wall paper, paint and hardboard could and should be removed to allow the

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flat to breathe and assist in opening up works. Where there are historic lathe and plaster ceilings and walls, small opening up, to see the condition of the window lintels and wall plate, given the condition of the plaster and the remainder of these should be left in place until consent is granted for their repair or replacement like for like.

Subsequent to the site meeting an email and plan was submitted for opening up work and removal of modern materials on 11/03/20 which is considered acceptable.

The proposed reconfiguration of the managers accommodation is to provide en-suite bathrooms, to facilitate accommodation for seasonal workers. It is proposed to divide one small bedroom into two and create two en-suites. This would require the blocking up of the passage doorway and two new openings. It is suggested that the doorway to the passageway is infilled but recessed slightly to leave the ghost of the outline to evidence the former doorway. The door rehung in one of the openings and a new salvage door of the correct 19th century four panel type is proposed.

The retaining of the 19th staircases and to board it over is considered appropriate. This could allow for a new cupboard on the ground floor. The bathroom now becomes an inner room and therefore it is suggested you seek professional advice regarding building regulations. The current arrangement of three top hung three over six fixed pane windows could be improved upon. It is suggested that the proposes include changing the windows to single glaze timber (again) three over six sliding sashes with the windows being changed when time and finances permit. It is suggested to condition windows details as pre-commencement of that element, not the whole scheme. Also, the rear window on the ground floor on the north west elevation of the core building should also be included in any future application, and it is suggested changing it to a more appropriate single glazed sliding sash window, either a tripartite window or a double sash window, to improve the appearance of the listed building. The two new bathrooms will require new ventilation extracts and it is suggested one is added for the existing bathroom, to improve ventilation. There are a number of companies providing arrange such as small lead triangle vents, which are more attractive than the standard black UPVc ones.

The proposed upgrade of fire and acoustic, should be detailed in any future application as these works can affect the special character for a historic building. It is suggested that breathable materials are sourced wherever possible. This is particular relevant for any thermal upgrade.

You should note that this letter does not constitute a formal decision by the Council (as the local planning authority). It is only an officer's opinion given in good faith, and without prejudice to the formal consideration of any planning application. However, the advice note issues will be considered by the Council as a material consideration in the determination of future planning related applications, subject to the proviso that circumstances, and information may change or come to light that could alter the position. It should be noted that the weight given to pre-application advice notes will decline over time.

This correspondence concludes your historic building advice pre-application response, but should you require further advice this can be arranged by contacting myself who can provide guidance on the appropriate fees and subsequent course of action. If no further contact is made within the next 21 days, it will be presumed that you do not require any further advice and the pre-app is concluded.

I trust this information is helpful.

Yours sincerely

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Nina Paternoster
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