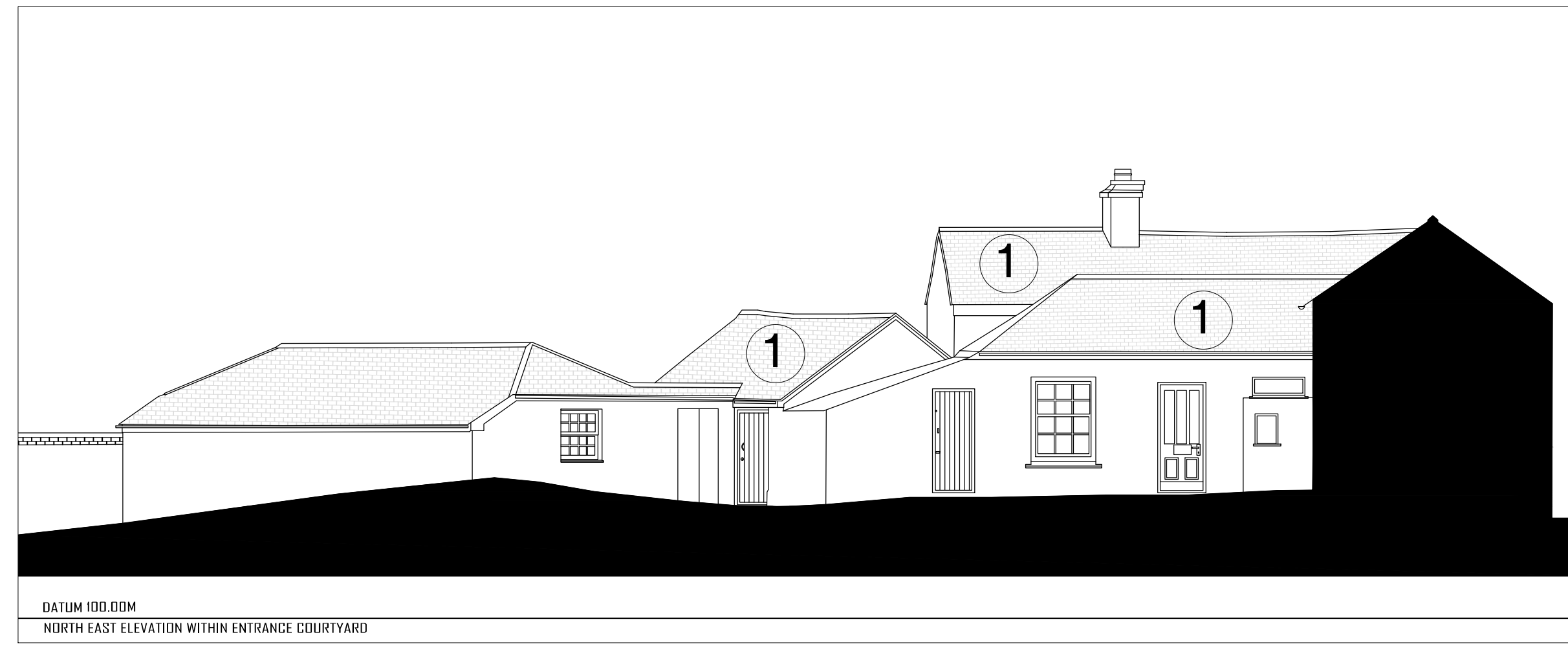


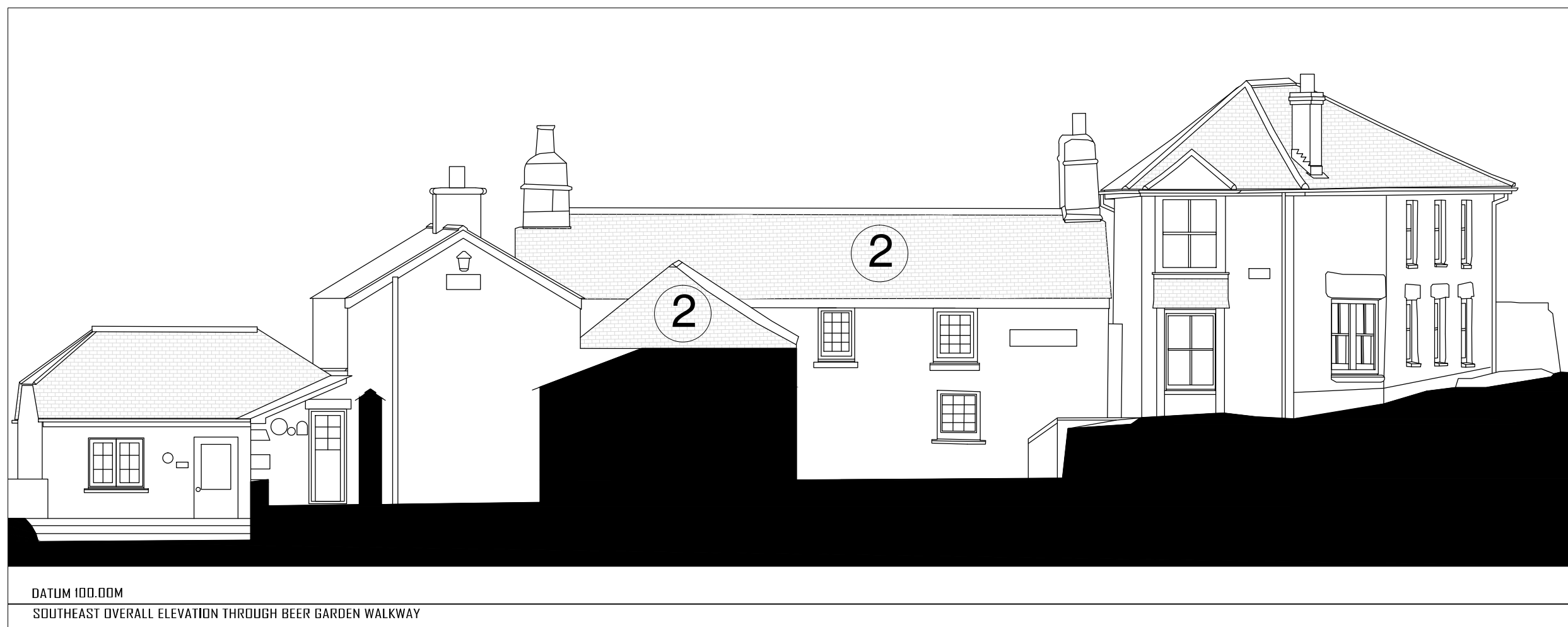
DATUM 100.00M
NORTHEAST OVERALL ELEVATION THROUGH REAR GARDEN

EXISTING ELEVATIONS TO REMAIN UNCHANGED



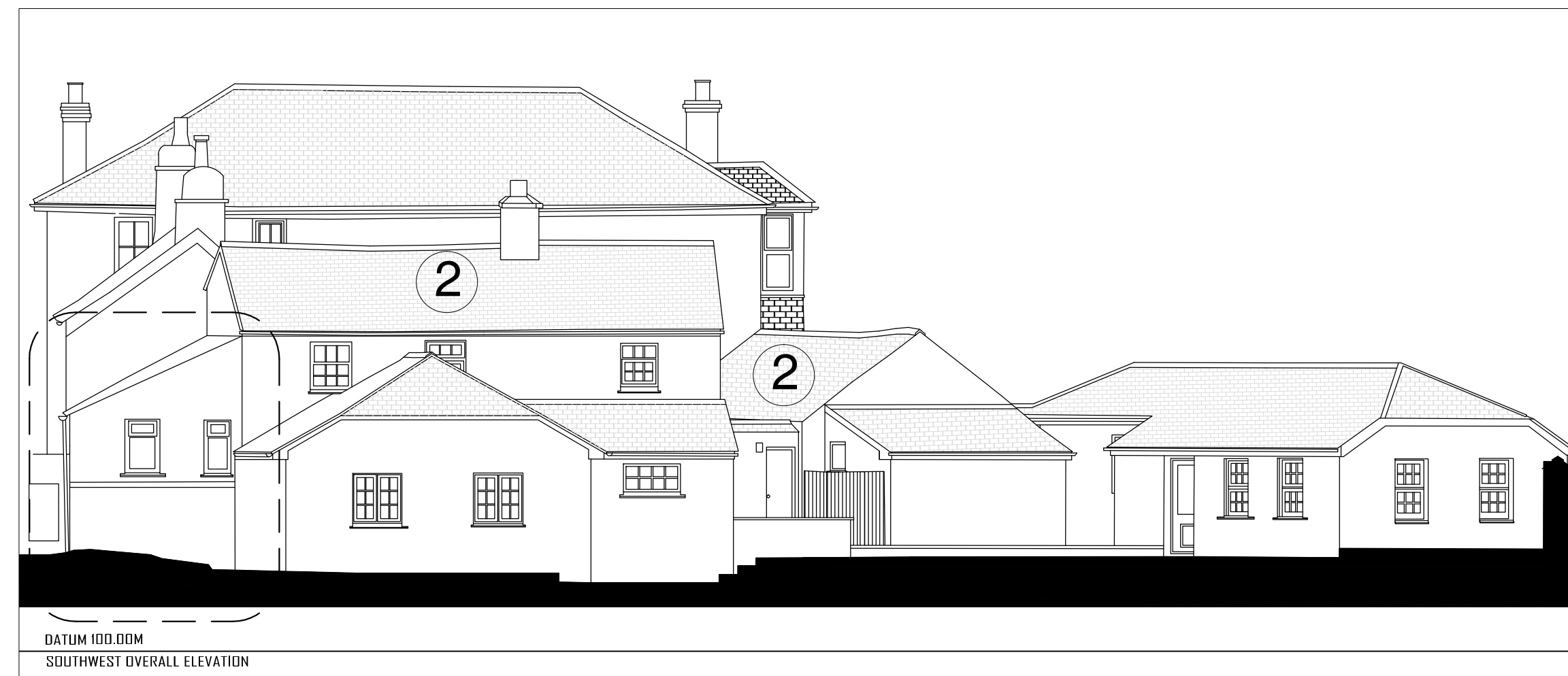
DATUM 100.00M
NORTH EAST ELEVATION WITHIN ENTRANCE COURTYARD

EXISTING ELEVATIONS TO REMAIN UNCHANGED



DATUM 100.00M
SOUTHEAST OVERALL ELEVATION THROUGH BEER GARDEN WALKWAY

EXISTING ELEVATIONS TO REMAIN UNCHANGED



DATUM 100.00M
SOUTHWEST OVERALL ELEVATION

EXISTING ELEVATIONS TO REMAIN LARGELY UNCHANGED EXCEPT FOR NEW ENTRANCE DOOR AND STEPS TO LADIES WC BLOCK (see below)



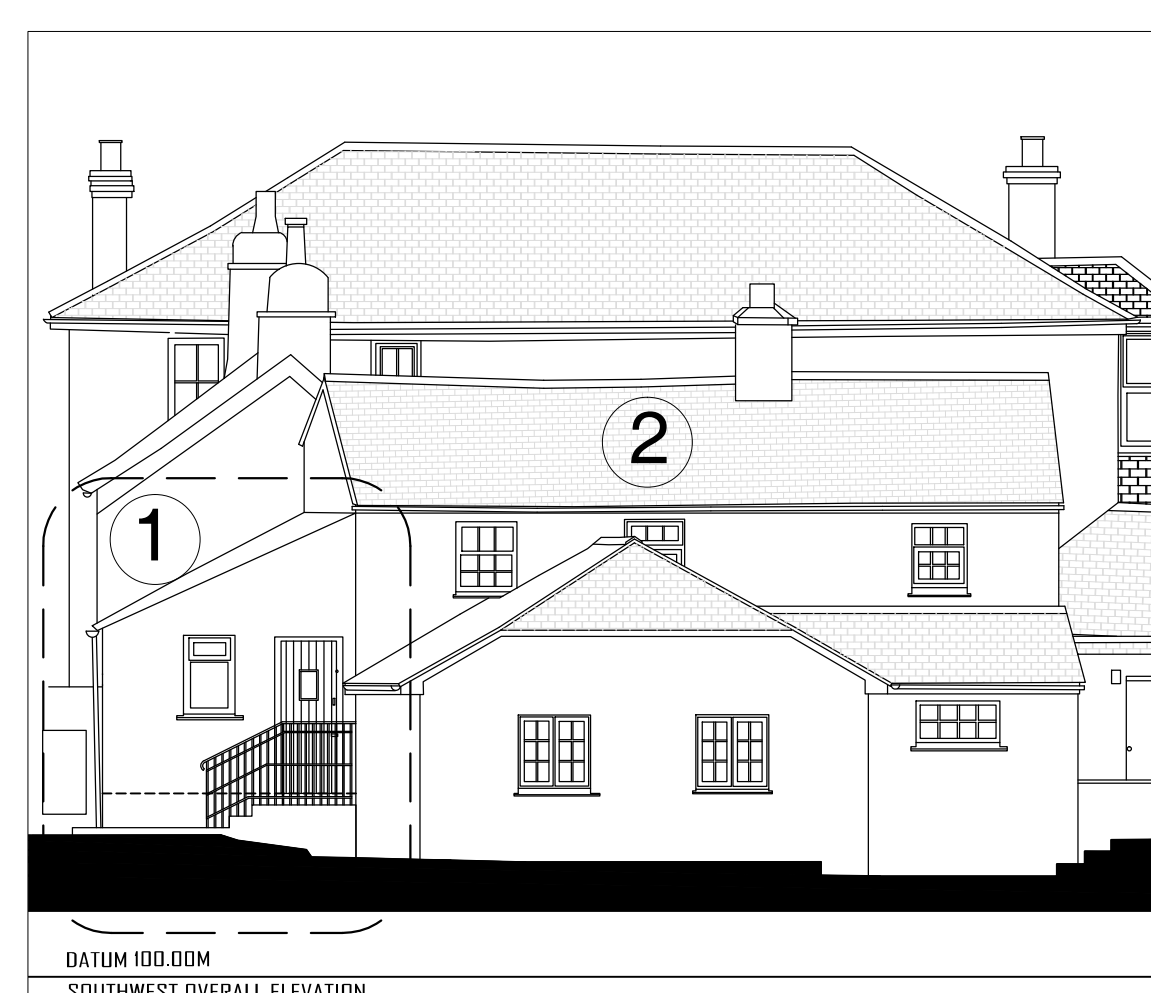
DATUM 100.00M
NORTHEAST ELEVATION OF WHITEHOUSE: BBB

EXISTING ELEVATIONS TO REMAIN UNCHANGED



DATUM 100.00M
SOUTHWEST ELEVATION OF WHITEHOUSE: BBB (pub removed for clarity)

EXISTING ELEVATIONS TO REMAIN UNCHANGED



DATUM 100.00M
SOUTHWEST OVERALL ELEVATION

PART ELEVATION INDICATING PROPOSED ENTRANCE DOOR AND STEPS

EXPLANATORY NOTE:

The elevations remain unchanged apart from a new entrance door and granite steps to the southwest elevation of the Ladies WC.

This discreet position sits behind a boundary wall and shrubbery and as such will have a minimal impact on the facades and will be virtually invisible from outside the site.

- ① New Timber "Plank" door (as per secondary doors within main pub entrance courtyard) with vision panel. To provide safe and secure access to first floor accommodation. Stepped access via granite built steps and traditional gunmetal railings.
- ② Failed roofs to be replaced with new slate roofs and replacement insulated ceiling as as part of previously agreed emergency works planning regularisation.

notes:

1. This drawing is the copyright of the Architects and may not be reproduced without licence.
2. The Contractor shall not scale off this drawing for construction purposes, only figured dimensions shall be worked from.
3. All dimensions and levels are to be checked on site by the Contractor before the commencement of any work and any discrepancies reported to the Architect.
4. No responsibility can be accepted for errors arising on site due to unauthorized variations from the Architects drawings.
5. The Contractor is recommended to visit the site before tendering to ascertain all local conditions and restrictions likely to affect the works. No claims arising from failure to do so will be considered.
6. Tenders must include for all the works described or being apparent on the drawings or can reasonably be inferred as being necessary for the proper execution of the works.
7. This drawing is for town planning and building regulations only and is not a complete working drawing.
8. Depth, size and design of foundations shown are preliminary only, actual foundation, depth, size and design may differ depending on site conditions.
9. On completion of the works, if a National Home Energy Rating Certificate is required by the client, contact the Local Authority Building Control Department.
10. L1 and L2 requirements for limiting thermal bridging & air leakage workmanship shall be executed by the Contractor in accordance with the appropriate sections and DEFREDTLR guidance document "Limiting Thermal Bridging & Air Leakage : Robust Construction Details for Dwellings and Similar Buildings" available from The Stationery Office Ltd.

revisions

P-5 14-10-21	Planning & LBC Application
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Client: **MOJOED Ltd**

Project:
**REFURBISHMENT OF STAFF
ACCOMMODATION AND RE-ORGANISATION
OF EXISTING KITCHEN & LADIES WC**

Title:
**TINNERS ARMS, ZENNOR
ELEVATIONS
EXISTING AND PROPOSED**

Scale/s: 1:100 @A1

Date: June 2021

Drawn: KB	Checked: KB
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Project No. LA-154	Drawing No. LA-154-040	Rev. P-5
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