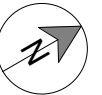


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NOTES



Revision

Rev	Notes	Date
A	Planning Issue	01/11/2021

KEY

- Existing walls
- Boundary line
- Existing furniture
- Level line
- 1.5m head height
- 1.8m head height

JOB TITLE

Proposed garage conversion to residential annexe with new parking provisions to front, floor plan redesign and all associated works at 83 Bevendean Crescent

STATUS

Planning Drawings

DRAWING TITLE

Existing Floor Plans

CLIENT

Russell Harkin

SCALE

1 : 100 at A3

DRAWN

AR

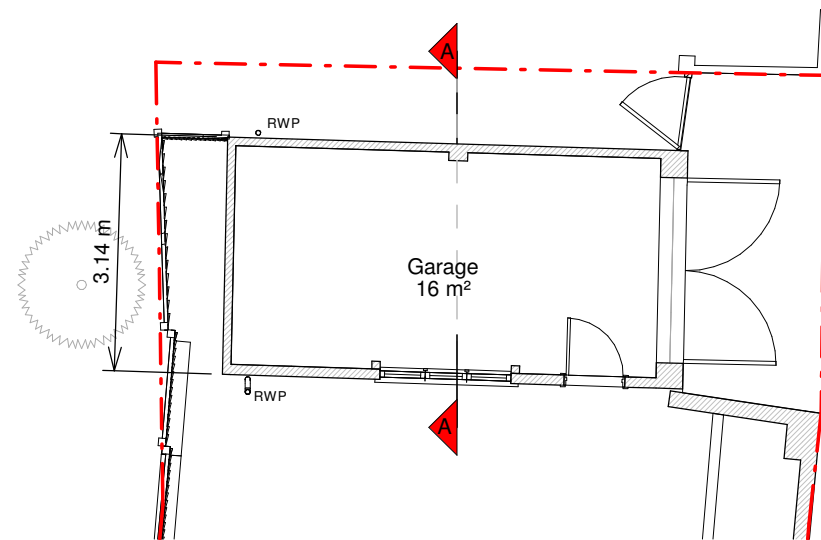
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Nov 2021

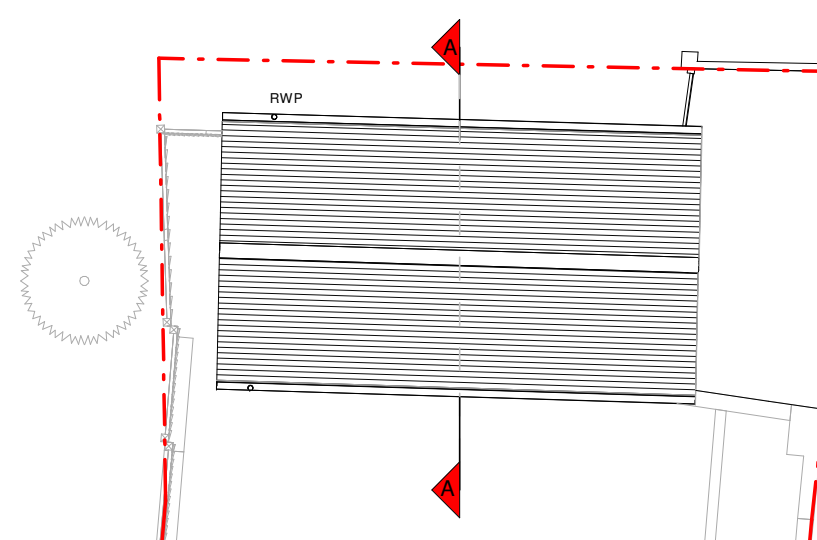
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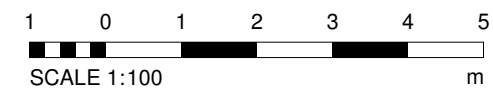
DRAWING NO. B108616 - 1100 A



Garage Floor Plan



Garage Roof Plan



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NOTES

Existing Materials:

Brickwork / Walls : Red bricks (garage)

Pitched roof : Clay tiles (garage)

Windows : Iron framed, timber (garage), uPVC glazed windows

Doors : Metal (garage), uPVC glazed door

RWP's / Gutter's / Fascia's : Cast iron downpipes, gutters, and black painted timber fascia

Revision

Rev	Notes	Date
A	Planning Issue	01/11/2021

KEY

- - - Boundary line
- - - Level line
- ▨ Neighbouring context

JOB TITLE

Proposed garage conversion to residential annexe with new parking provisions to front, floor plan redesign and all associated works at 83 Bevendean Crescent

STATUS

Planning Drawings

DRAWING TITLE

Existing Elevation

CLIENT

Russell Harkin

SCALE

1 : 100 at A3

DRAWN

AR

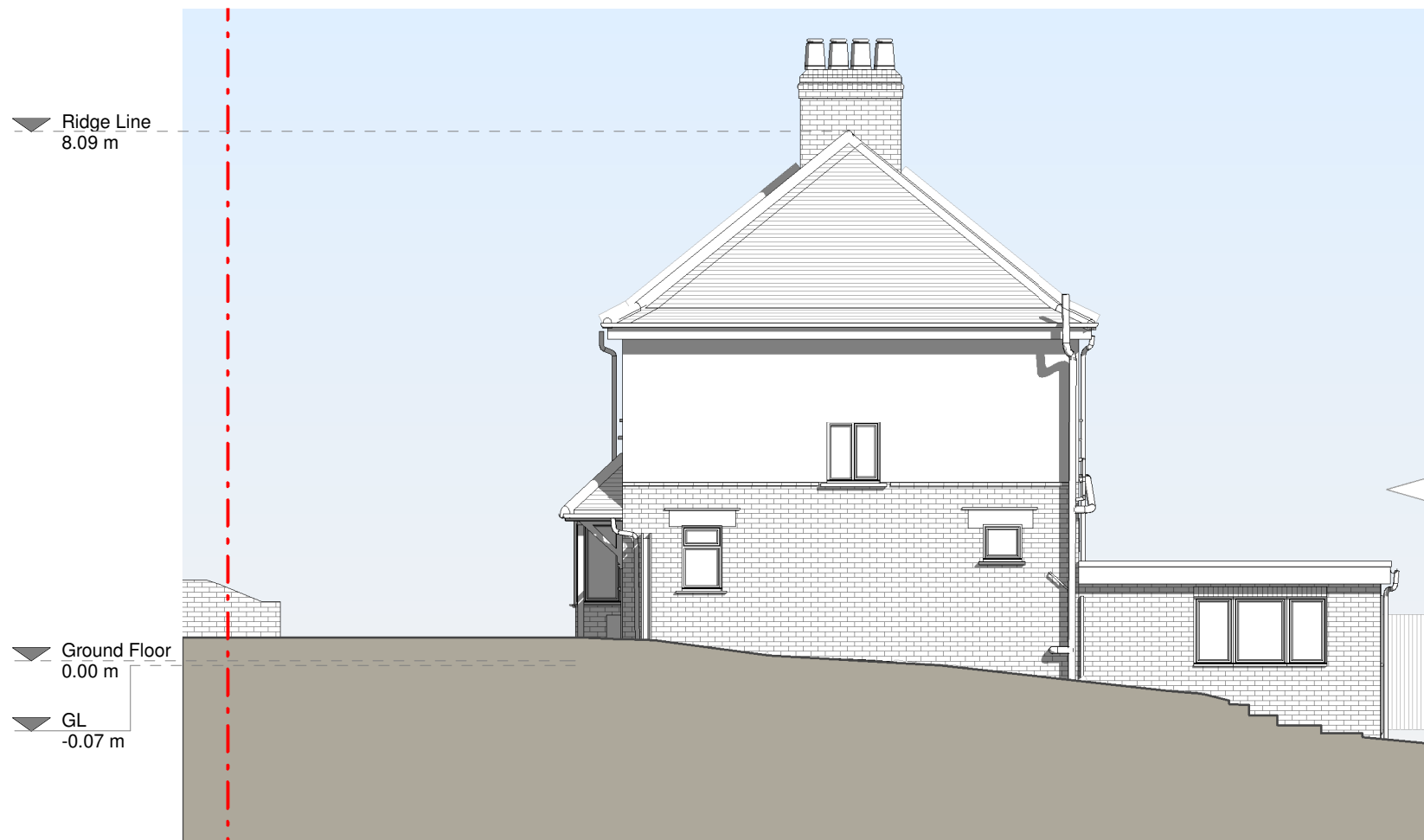
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Nov 2021

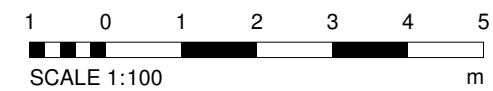
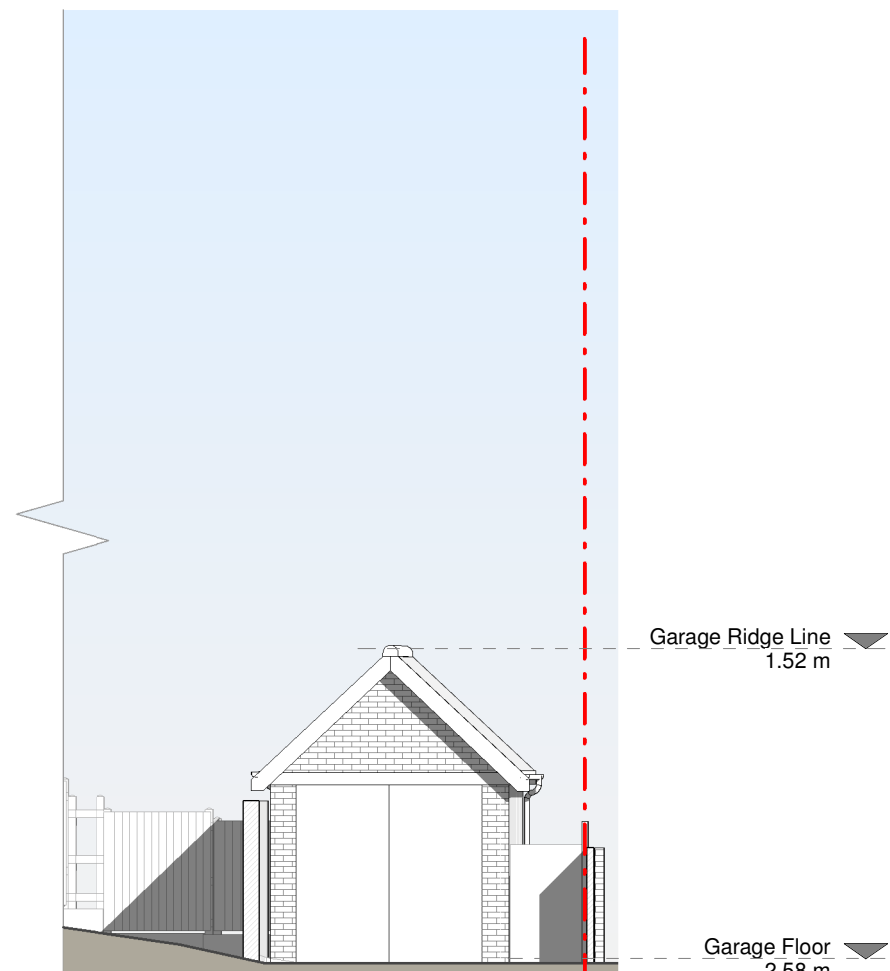
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DRAWING NO. B108616 - 1200 A



Right Side Elevation



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NOTES

Existing Materials:

Brickwork / Walls : Red bricks (garage)

Pitched roof : Clay tiles (garage)

Windows : Iron framed, timber (garage), uPVC glazed windows

Doors : Metal (garage), uPVC glazed door

RWP's / Gutter's / Fascia's : Cast iron downpipes, gutterings, and black painted timber fascia

Revision

Rev	Notes	Date
A	Planning Issue	01/11/2021

KEY

- - - Boundary line
- - - Level line
- ▨ Neighbouring context

JOB TITLE

Proposed garage conversion to residential annexe with new parking provisions to front, floor plan redesign and all associated works at 83 Bevendean Crescent

STATUS

Planning Drawings

DRAWING TITLE

Existing Elevation

CLIENT

Russell Harkin

SCALE

1 : 100 at A3

DRAWN

AR

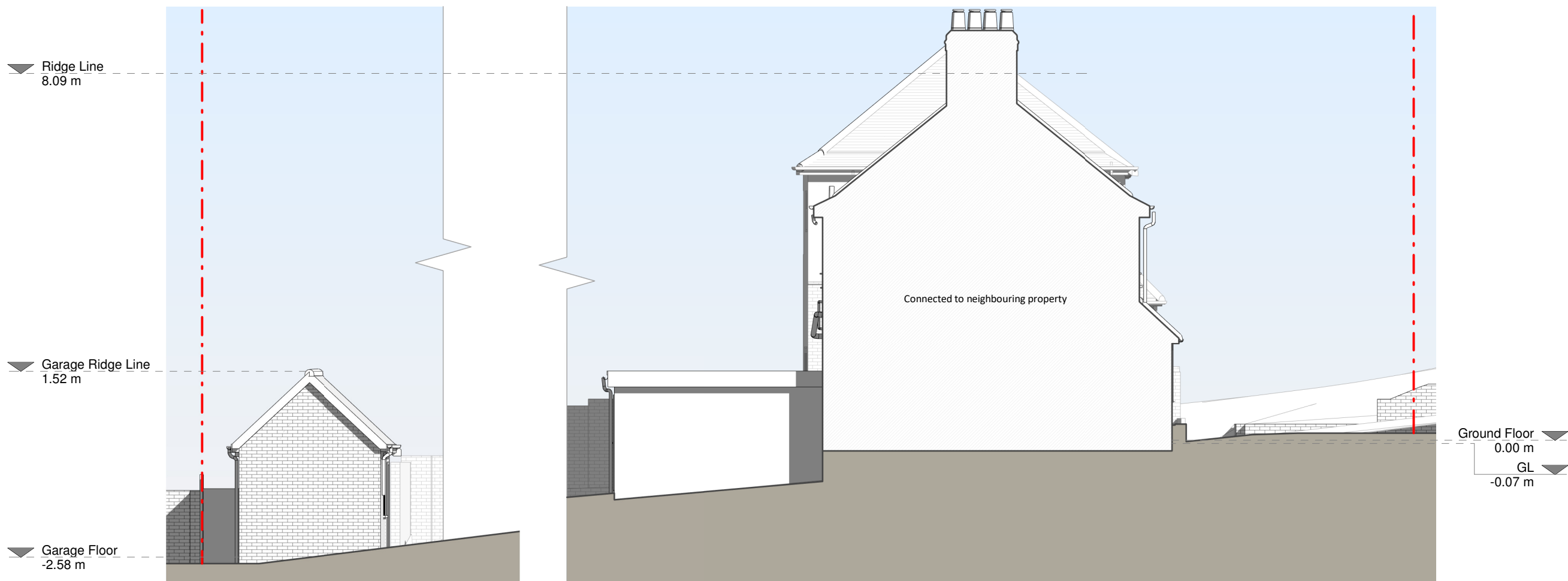
DATE

Nov 2021

CHECKED

GP

DRAWING NO. B108616 - 1201 A



Left Side Elevation

1 0 1 2 3 4 5
SCALE 1:100 m

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NOTES

Existing Materials:

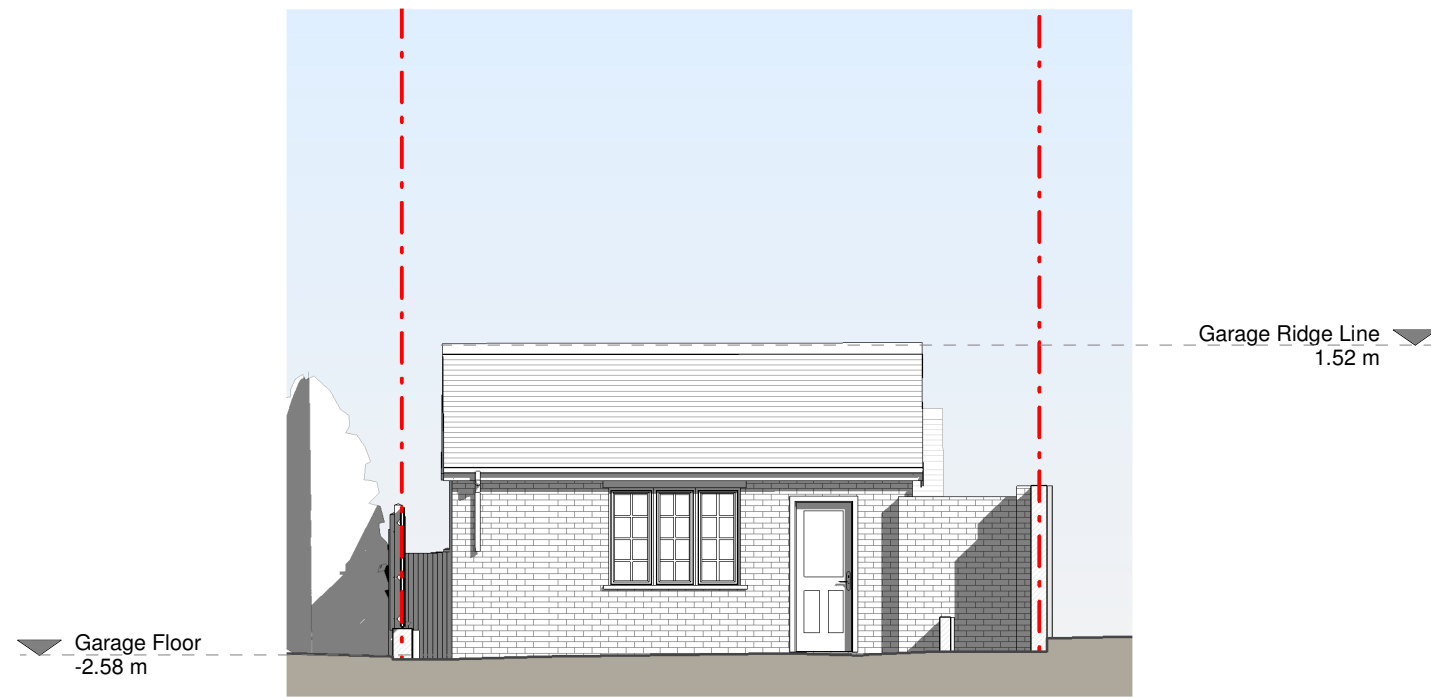
Brickwork / Walls : Red bricks (garage)

Pitched roof : Clay tiles (garage)

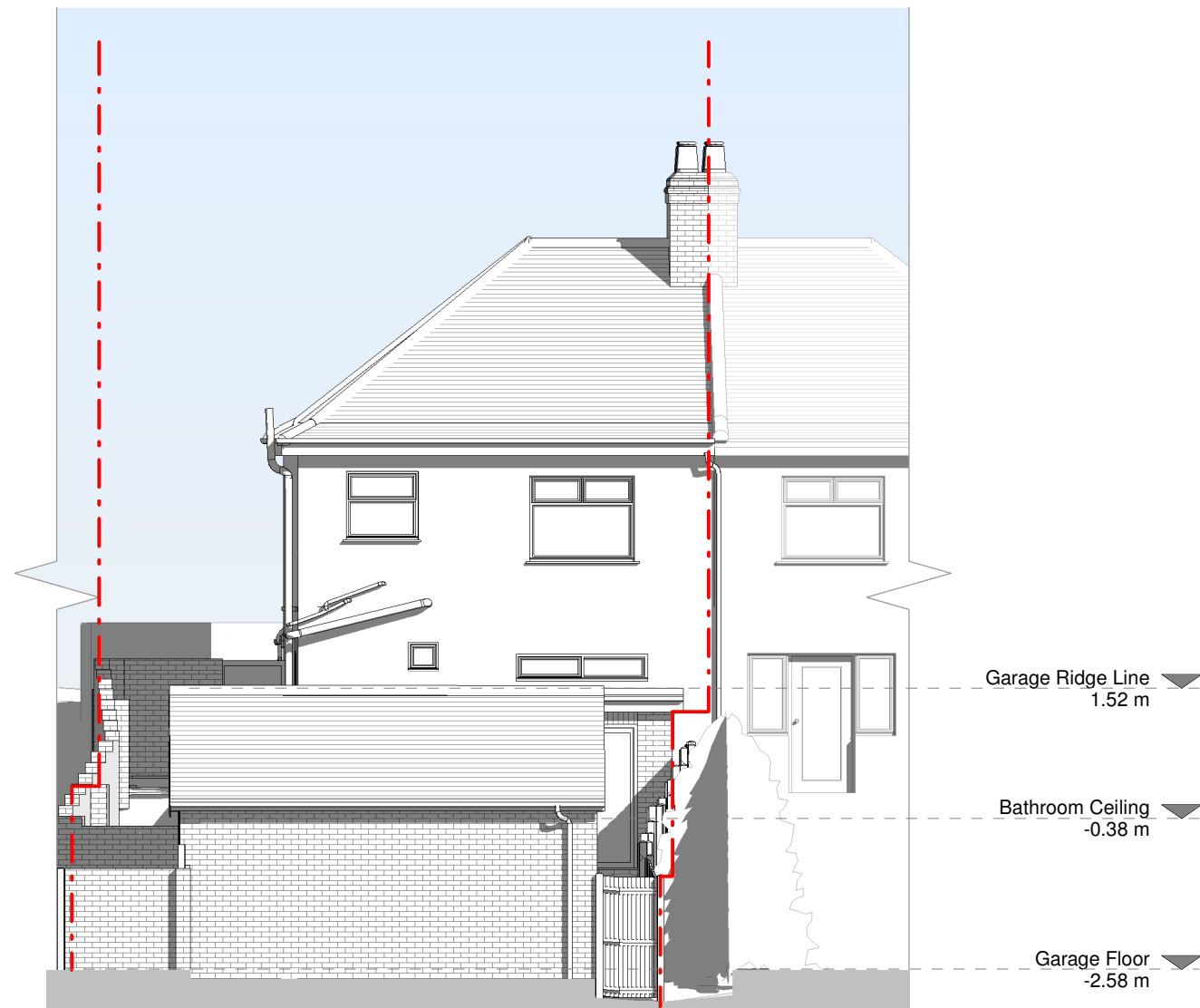
Windows : Iron framed, timber (garage), uPVC glazed windows

Doors : Metal (garage), uPVC glazed door

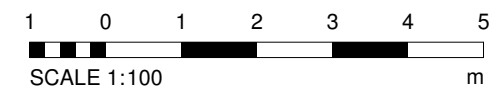
RWP's / Gutter's / Fascia's : Cast iron downpipes, gutterings, and black painted timber fascia



Garage Front Elevation



Garage Rear Elevation



Revision

Rev	Notes	Date
A	Planning Issue	01/11/2021

KEY

- Boundary line
- Level line
- ▨ Neighbouring context

JOB TITLE

Proposed garage conversion to residential annexe with new parking provisions to front, floor plan redesign and all associated works at 83 Bevendean Crescent

STATUS

Planning Drawings

DRAWING TITLE

Existing Elevation

CLIENT

Russell Harkin

SCALE

1 : 100 at A3

DRAWN

AR

DATE

Nov 2021

CHECKED

GP

DRAWING NO. B108616 - 1206 A

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NOTES

Revision

Rev	Notes	Date
A	Planning Issue	01/11/2021

KEY

- - - Boundary line
- - - Level line
- ▨ Neighbouring context

JOB TITLE

Proposed garage conversion to residential annexe with new parking provisions to front, floor plan redesign and all associated works at 83 Bevendean Crescent

STATUS

Planning Drawings

DRAWING TITLE

Existing Section

CLIENT

Russell Harkin

SCALE

1 : 100 at A3

DRAWN

AR

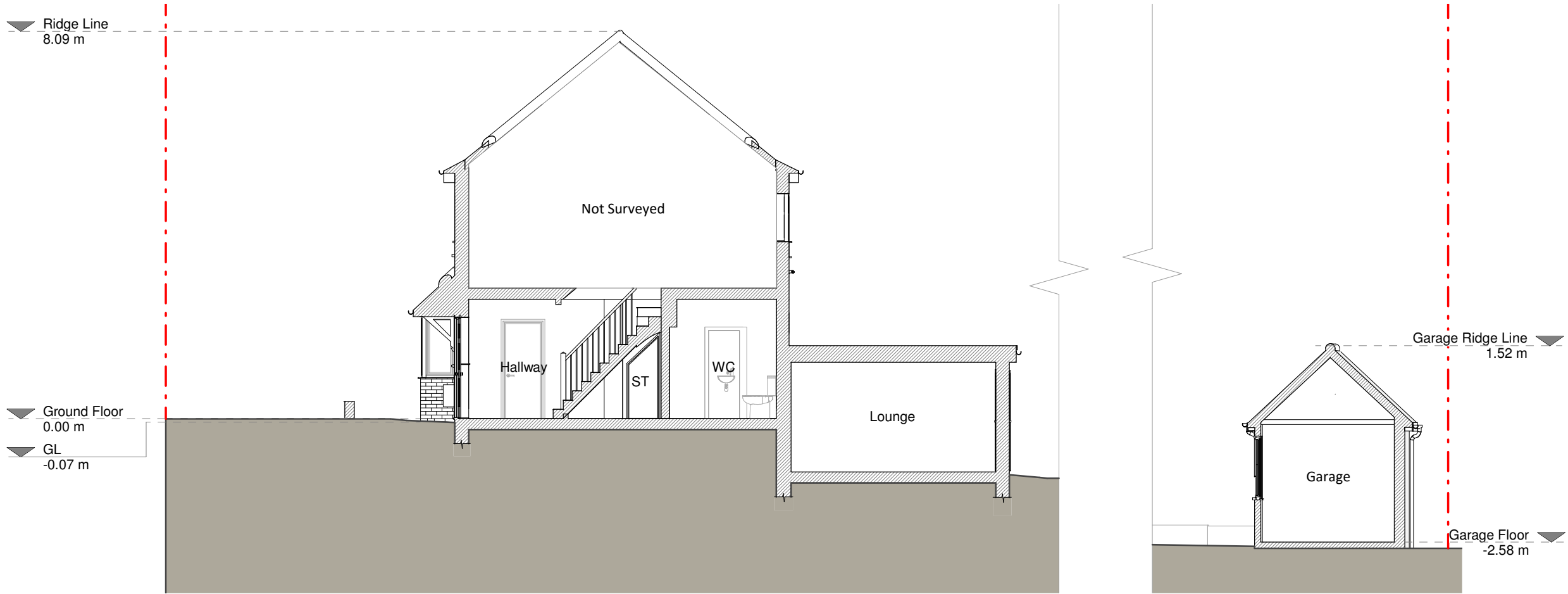
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Nov 2021

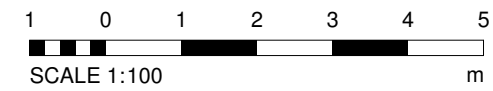
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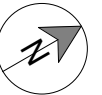
DRAWING NO. B108616 - 1300 A



Section A - A



NOTES



Revision

Rev	Notes	Date
A	Planning Issue	01/11/2021

KEY

Existing walls	Boundary line
Proposed walls	Proposed beam
Proposed furniture	Proposed drainage
Proposed staircase	Existing removed
Proposed rooflight	1.5m head height
	1.8m head height

JOB TITLE

Proposed garage conversion to residential annexe with new parking provisions to front, floor plan redesign and all associated works at 83 Bevendean Crescent

STATUS

Planning Drawings

DRAWING TITLE

Proposed Floor and Roof Plans

CLIENT

Russell Harkin

SCALE

1 : 100 at A3

DRAWN

DV

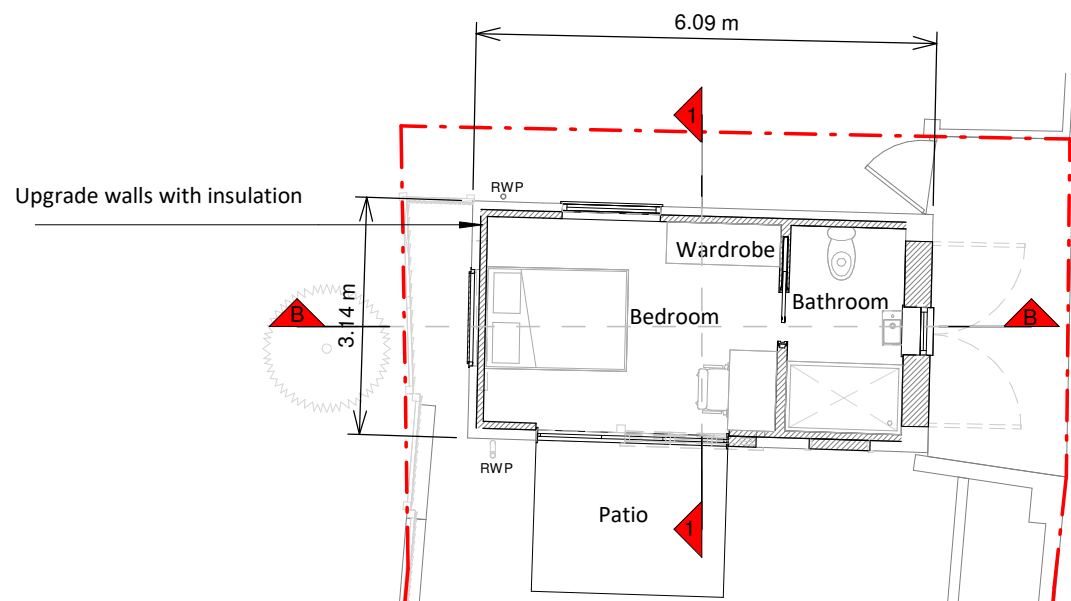
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Nov 2021

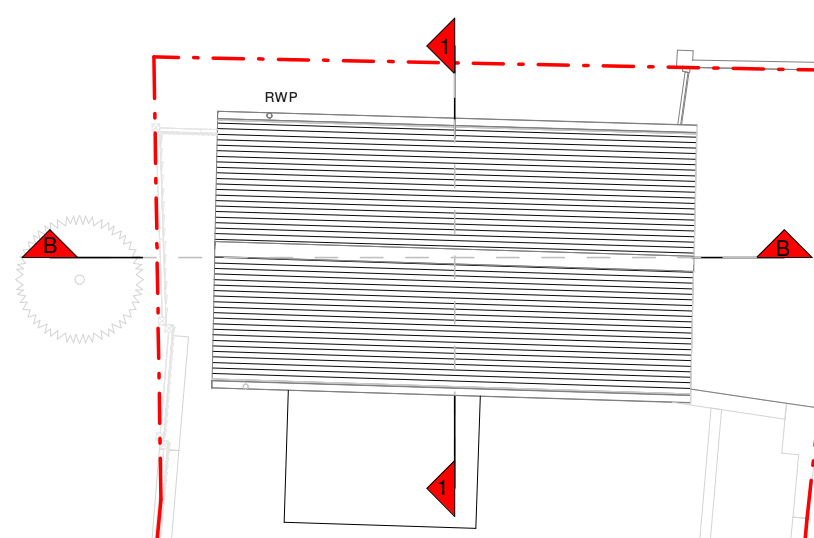
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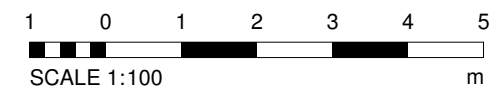
DRAWING NO. B108616 - 3100 A



Garage Floor Plan



Garage Roof Plan



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NOTES

Proposed Materials:

- Brickwork / Walls : Red bricks to match existing
- Windows : Aluminium framed windows
- Pitched roof : Clay tiles (garage) to match existing
- Driveway : Hard standing surface
- Doors : Aluminium bifold doors
- RWP's / Gutter's / Fascia's - uPVC downpipes, gutterings, and white painted timber fascia

Revision

Rev	Notes	Date
A	Planning Issue	01/11/2021

KEY

- Boundary line
- Level line
- Existing removed
- Neighbouring context

JOB TITLE

Proposed garage conversion to residential annexe with new parking provisions to front, floor plan redesign and all associated works at 83 Bevendean Crescent

STATUS

Planning Drawings

DRAWING TITLE

Proposed Elevation

CLIENT

Russell Harkin

SCALE

1 : 100 at A3

DRAWN

DV

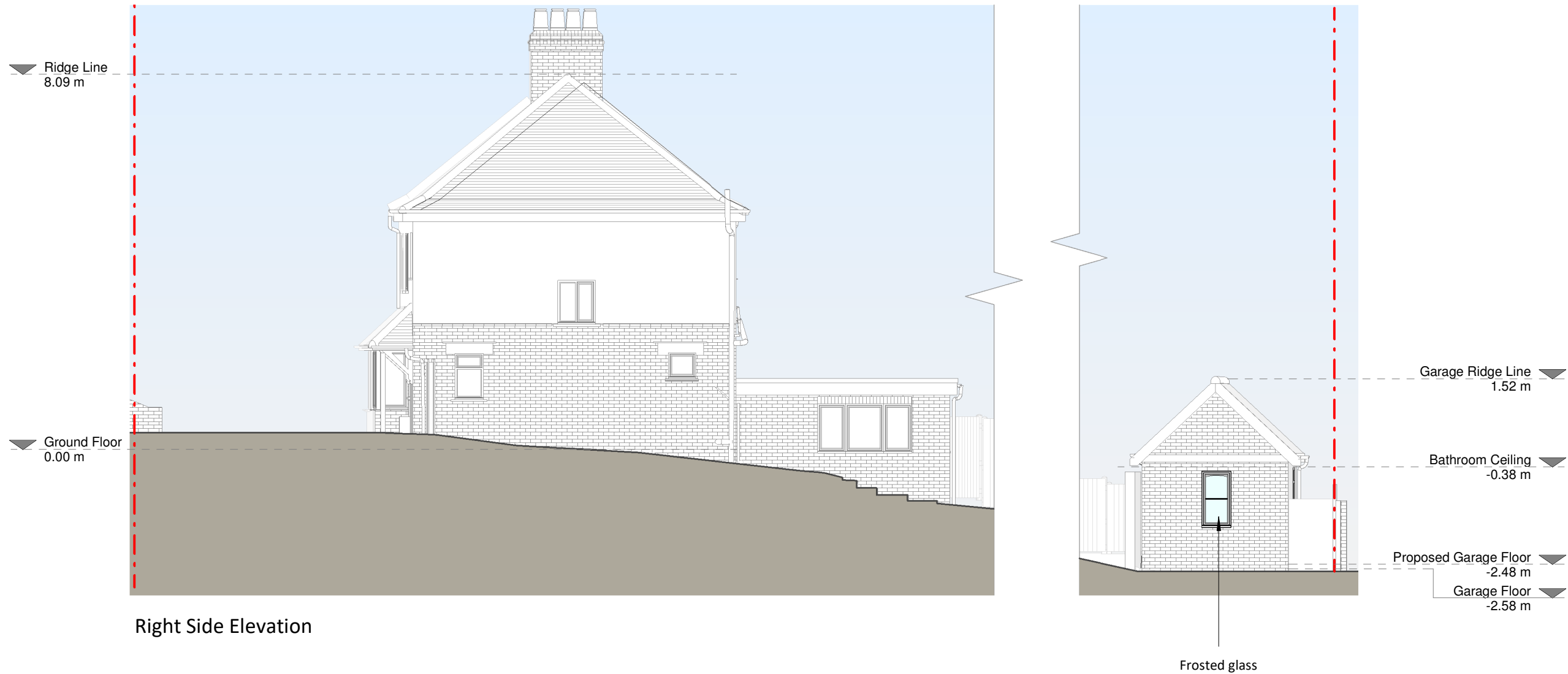
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Nov 2021

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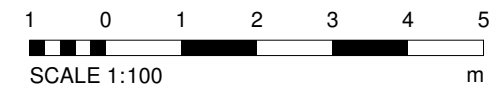
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DRAWING NO. B108616 - 3200 A



Right Side Elevation

Frosted glass



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NOTES

Proposed Materials:

Brickwork / Walls : Red bricks to match existing

Windows : Aluminium framed windows

Pitched roof : Clay tiles (garage) to match existing

Driveway : Hard standing surface

Doors : Aluminium bifold doors

RWP's / Gutter's / Fascia's - uPVC downpipes, gutterings, and white painted timber fascia

Revision

Rev	Notes	Date
A	Planning Issue	01/11/2021

KEY

- - - Boundary line
- - - Level line
- [] Existing removed
- [] Neighbouring context

JOB TITLE

Proposed garage conversion to residential annexe with new parking provisions to front, floor plan redesign and all associated works at 83 Bevendean Crescent

STATUS

Planning Drawings

DRAWING TITLE

Proposed Elevation

CLIENT

Russell Harkin

SCALE

1 : 100 at A3

DRAWN

DV

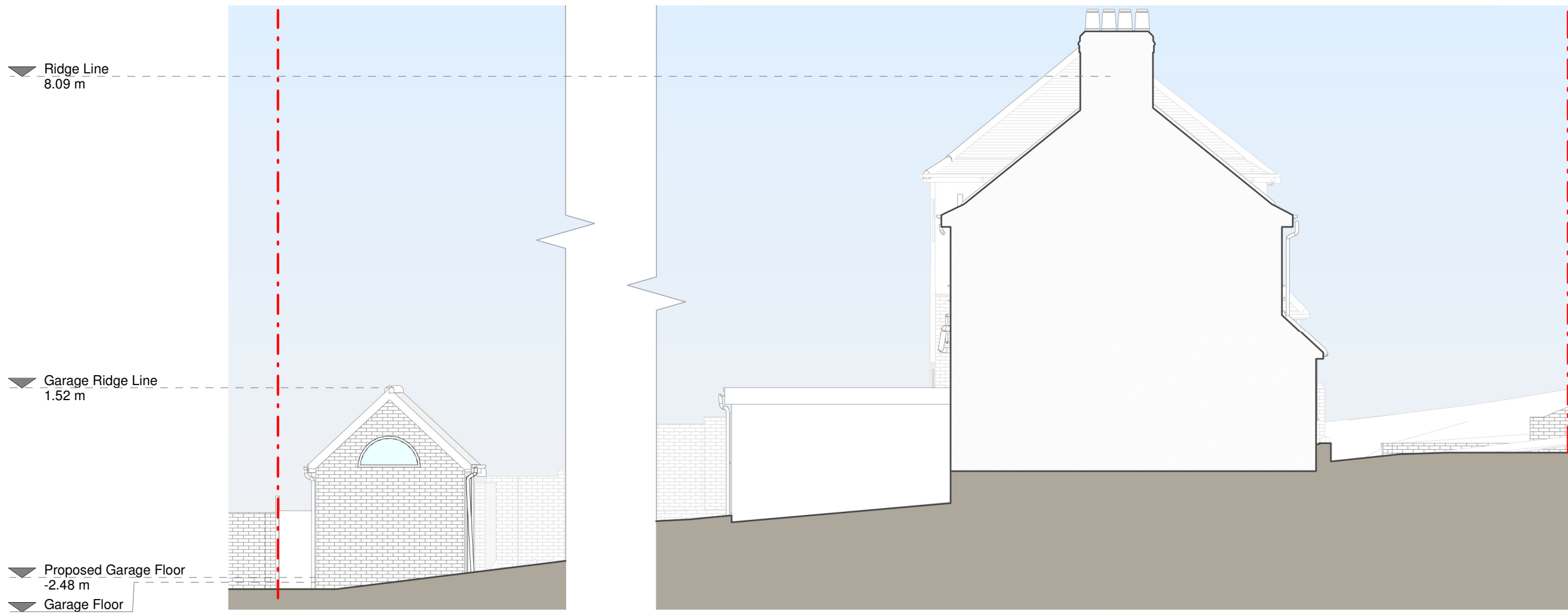
DATE

Nov 2021

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GS

DRAWING NO. B108616 - 3201 A



Left Side Elevation



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NOTES

Proposed Materials:

Brickwork / Walls : Red bricks to match existing

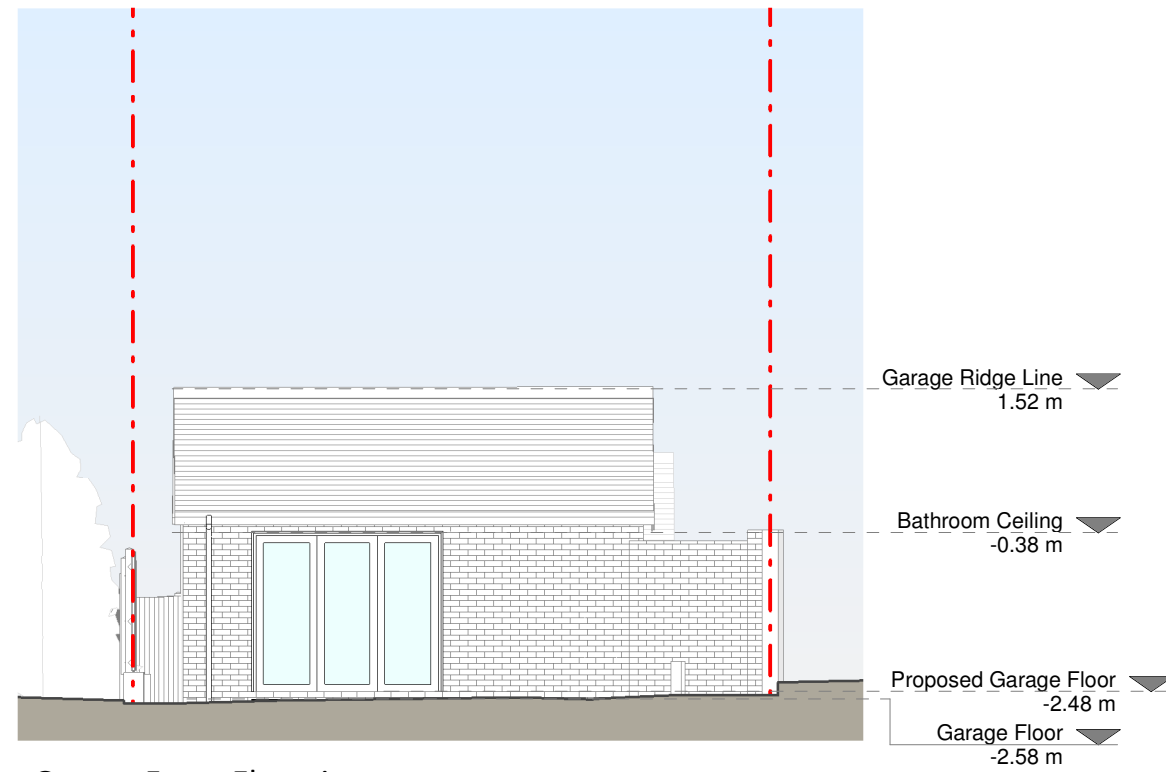
Windows : Aluminium framed windows

Pitched roof : Clay tiles (garage) to match existing

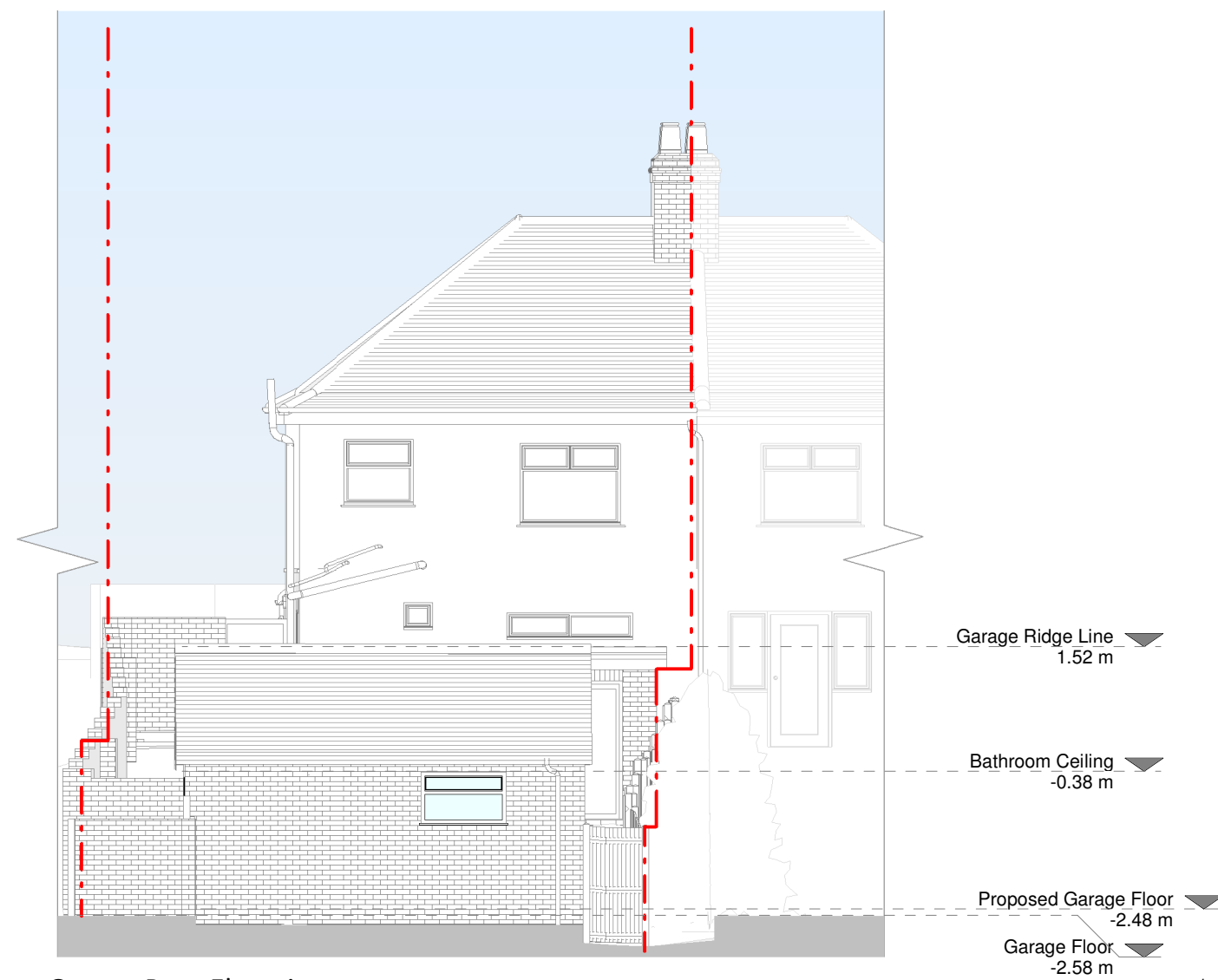
Driveway : Hard standing surface

Doors : Aluminium bifold doors

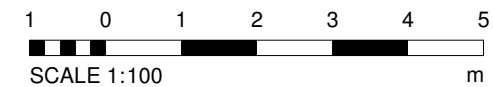
RWP's / Gutter's / Fascia's - uPVC downpipes, gutterings, and white painted timber fascia



Garage Front Elevation



Garage Rear Elevation



Revision

Rev	Notes	Date
A	Planning Issue	01/11/2021

KEY

- - - Boundary line
- - - Level line
- [] Existing removed
- [] Neighbouring context

JOB TITLE

Proposed garage conversion to residential annexe with new parking provisions to front, floor plan redesign and all associated works at 83 Bevedean Crescent

STATUS

Planning Drawings

DRAWING TITLE

Proposed Elevations

CLIENT

Russell Harkin

SCALE

1 : 100 at A3

DRAWN

DV

DATE

Nov 2021

CHECKED

GS

DRAWING NO. B108616 - 3202 A

NOTES

Revision

Rev	Notes	Date
A	Planning Issue	01/11/2021

KEY

- Existing walls
- Proposed walls
- Existing removed
- Boundary line
- Level line
- 1.5m head height
- 1.8m head height

JOB TITLE

Proposed garage conversion to residential annexe with new parking provisions to front, floor plan redesign and all associated works at 83 Bevendean Crescent

STATUS

Planning Drawings

DRAWING TITLE

Proposed Sections

CLIENT

Russell Harkin

SCALE

1 : 100 at A3

DATE

Nov 2021

DRAWING NO.

B108616 - 3300

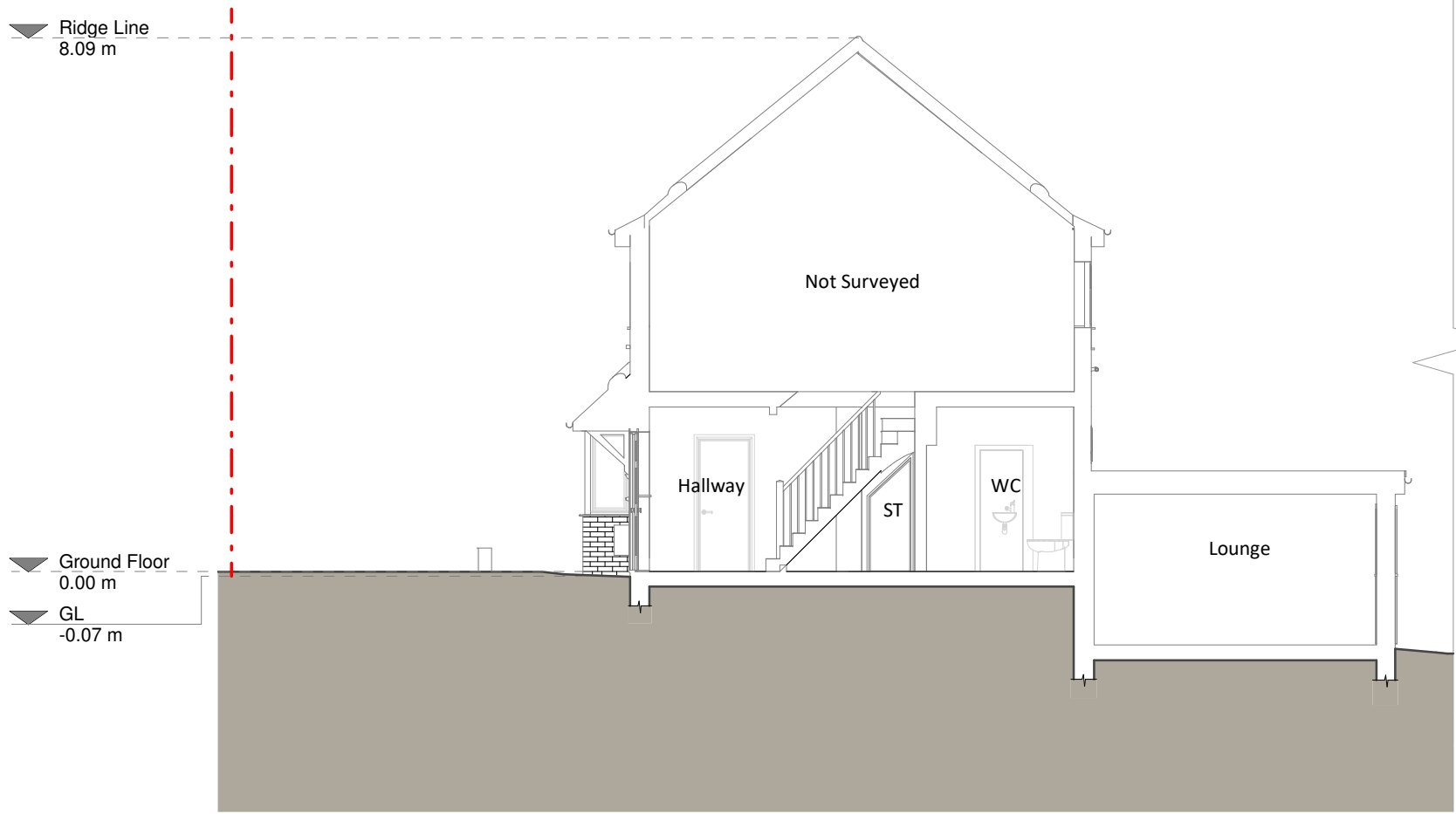
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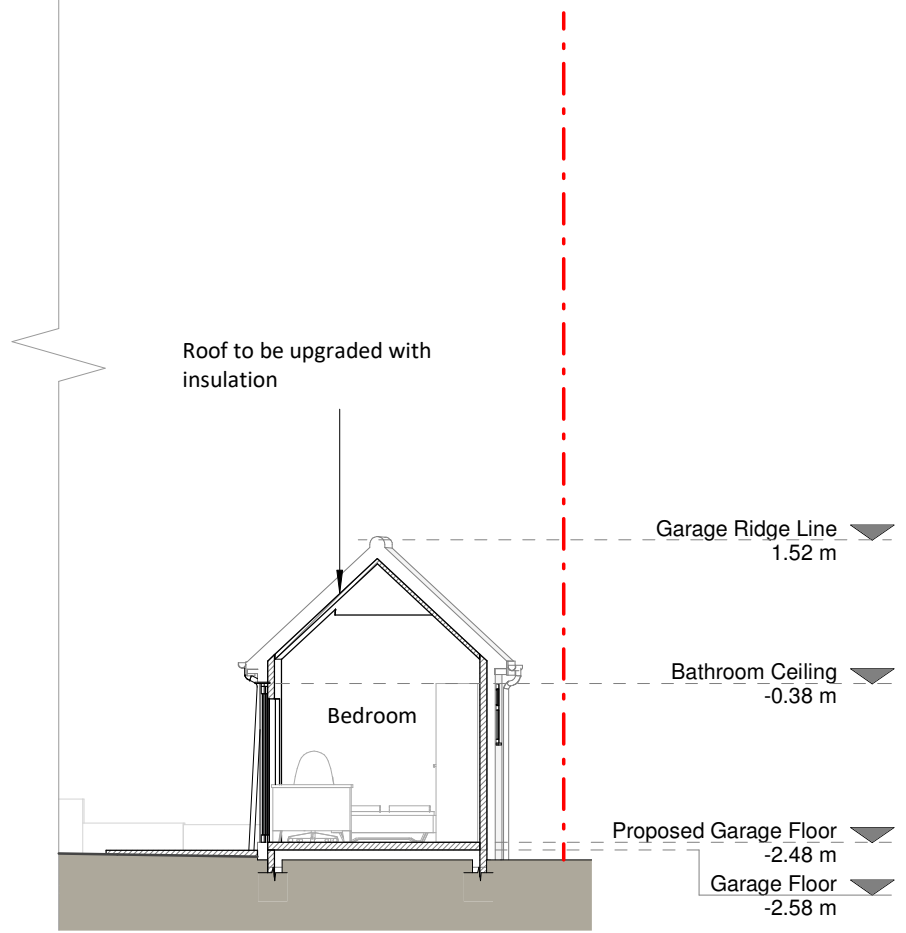
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A



Section A - A



Section B - B

