



The Shooting Box, Edmundbyers, Co. Durham, DH8 9NL

Planning Application Design, Access & Heritage Statement

The Shooting Box - Design, Access & Heritage Statement

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Proposed Sketch View of The Shooting Box from the Front.

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2.0 Summary

- 2.1 This supporting Design and Access Statement has been prepared by C Mason-Jones Chartered Architect on behalf of Mr and Mrs D Penny. It forms part of a Planning Application for the extension and alteration of The Shooting Box and the associated garage. The Planning Application includes the creation of an Orangery extension to the main house designed by David Salisbury, creators of award winning Orangeries and Garden Rooms. Their Design and Access Statement is incorporated within this document.
- 2.2 The proposals have been developed following detailed site analysis and extensive design exploration to produce a series of proposals that will increase the enjoyment of the house for its occupants whilst being sympathetic to the existing buildings and surrounding landscape.
- 2.3 In summary, the scheme will provide:
- i. Enlarged living accommodation for the Shooting Box which will complement the existing structures and family spaces and improve the spatial flow within the house.
 - ii. An enlarged garage to accommodate a collection of vintage cars. The same structure will also provide a home gymnasium and first floor games room.
 - iii. A greater connection to the gardens with the creation of a new terrace running the full length of the south elevation of the main house and enlarged detached garage.
 - iv. A new dedicated vehicle entrance to the Shooting Box which will reduce the vehicle traffic passing the neighbouring properties.



Proposed North Elevation of House & Garage.

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3.0 Introduction

- 3.1 The site lies on the southern edge of Edmunbyers village in County Durham.
- 3.2 The owners and current occupants are a family of four who purchased Shooting Box Farm in 2019. Since moving to the property they have also acquired Croft House which adjoins the Shooting Box.
- 3.3 The brief is:
- i. To improve the entrance and living spaces within the main house, to include provision of a large entertaining/dining area accessed from the kitchen; increase the natural light to the internal spaces and improve the ground floor 'flow' as well as rationalizing the vertical circulation and re-configuring some of the first floor accommodation.
 - ii. To improve the connection between the house and the garden and maximize the south facing aspect.
 - iii. To create additional garage space for a classic car collection.
 - iv. To re-arrange vehicle access to the house to provide a private, dedicated entrance.



Aerial Photo from Google Earth showing the Site Setting of the Shooting Box Farm (outlined in red) and the adjoining paddock (outlined in blue) also owned by the applicant.

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4.0 The Site



Aerial Photo from Google Earth showing the Key Elements of the Existing Site.

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4.0 The Site

- 4.1 Shooting Box Farm is located to the south of Edmundbyers Village which lies within the North Pennines AONB and Edmundbyers Village Conservation Area.
- 4.2 The 2.1 acre site is set back from the B6278 and is accessed via Shooting Box Lane which is a drive shared with Croft House and Heathersyde.



Photo of Entrance to Shooting Box Lane from B6278, and Front Facade of Croft House.



Photo from Shooting Box Farm Driveway of Heathersyde.

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- 4.3 On the site stands the Shooting Box. A stone built farmhouse with steeply pitched slate roof. The original Georgian twin gabled house has been extended over the years with an unsympathetic single storey sun room added to the rear (south) elevation [date unknown]. A two storey side extension was added to the north and west side to provide kitchen and utility space and a first floor bedroom and bathrooms in 2004 (Planning Application 3/2003/0922.) The house currently provides a total of 450 sq m of accommodation over two floors.



Photo of Shooting Box Farmhouse, with the Cottage on the Right.



Photo of Shooting Box Farmhouse from the Rear Garden, with the Garage on the Right.

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- 4.4 To the north, adjacent to the main house, is a two storey stone built barn which was converted to form a separate cottage. The conversion was approved under the same Planning Application as above and provides 160 sq m of accommodation over two floors.
- 4.5 The third building on the site is a stone faced two bay detached garage (floor area 60 sq m) which stands to the east of the main house. Construction of this was also covered by the 2003 Planning Application.



Photo of the Cottage.



Photo of the Garage.

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- 4.6 To the rear of the main house are a disjointed series of stepped terraces leading down to the lawned garden. The terraces are bisected by the sun room addition to the house. From the rear of the house and the collection of terraces there are fine views across the valley to Burnhope Burn and beyond whilst one of the most striking features of the garden is a magnificent mature sycamore tree which stands in the centre of the grounds.
- 4.7 Along the Eastern boundary there are a line of tall leylandii trees (approximately 10m high) which form a barrier between the Shooting Box and the neighbouring caravan park.



Photo of Stepped Terraces around Sun Room.



Photo of Sycamore Tree.



Photo of Leylandii Trees on the Left & Views of the Valley to Burnhope Burn.

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5.0 Design

5.1 Main House

5.1.1 There are two extensions proposed to the main house, both designed by David Salisbury. The first, to the North elevation, is a single storey porch. (approx.10 sq m) This will be added to the front entrance to generate an enhanced sense of 'arrival' by creating a new entrance focus. The existing front door has been rather lost in the recess created by the 2004 extension, resulting in the door to the Utility Room now acting as the main entrance. The proposed lobby space created by the porch will also serve to reduce heat loss through the front door.

5.1.2 The porch will allow additional natural light to be introduced into the internal hallway by allowing a glazed screen to be installed in the enlarged existing front door opening whilst also creating storage space for coats, hats, boots etc.



An Illustration of the Front of The Shooting Box and the Proposed Porch, Designed and Drawn by David Salisbury.

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- 5.1.3 The second David Salisbury addition to the main house involves the creation of a new Orangery. The existing sun room will be carefully dismantled and removed from site and the new orangery will be sited in the same location as the existing sun room, but on an enlarged footprint that spans over to the left side of the house. (SW corner) The Orangery will extend over the existing French doors opening from the kitchen. No new structural openings are to be formed in the existing structure, but the doors and sidelights will be removed and replaced with bi-folds. The new addition will provide the flexible dining/entertaining space required, as well as creating a direct link between the Kitchen and the Orangery, which will do much to improve the spatial 'flow' of the property.
- 5.1.4 The proposed works will have a positive effect on the aesthetics of the property. The materials will blend in with the existing and the design detailing is in keeping with and in proportion to that of the host dwelling. The proposed works do not adversely affect any important architectural or historic features of the property. Nor do they adversely affect the buildings setting. The extensions are in scale with the host dwelling, being subservient to the main dwelling. The materials ensure that the proposals will blend naturally with the host dwelling. The choice of materials complements the original dwelling; they do not harm or detract from the original structure of the building but will improve its appearance.



An Illustration of the Proposed Orangery in-situ, Designed and Drawn by David Salisbury.

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5.1.5 The porch and kitchen extensions will both share the same palette of materials and design features. Both feature a 'flat' roof, covered with grey single ply membrane, and incorporate glazed roof lanterns so as not to conflict with the existing first floor windows. Plinth walling will be built in natural stone to match the existing house and doors and windows will be high performance timber units painted white.

5.1.6 No special access arrangements have been made. The proposal is confined to a domestic dwelling and therefore no provision has been made for any disabled or public access.

5.1.7 In both extensions, the two storey house retains a clear distinction between the dominant and subsidiary parts of the structure highlighting, as identified in the AONB Design Guide, the importance of the roof form in retaining the hierarchy of volumes.

5.1.8 The installation of two rooflights to the south elevation will flood the newly configured stairwell with natural light, whilst the introduction of a light tube on the west elevation will provide natural light into the enclosed ground floor vestibule. Finally, an additional rooflight on the West elevation will allow natural light and ventilation of the newly created first floor en suite shower room.



Proposed South Elevation.

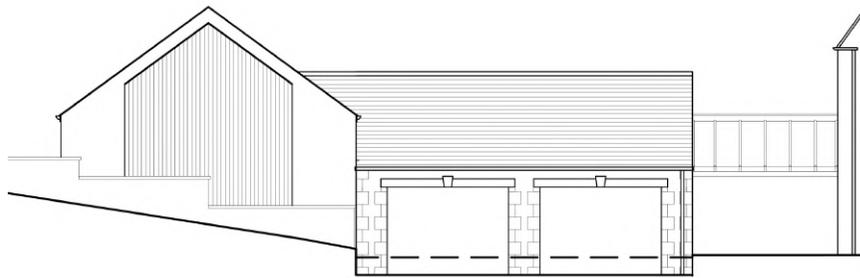


Proposed West Elevation.

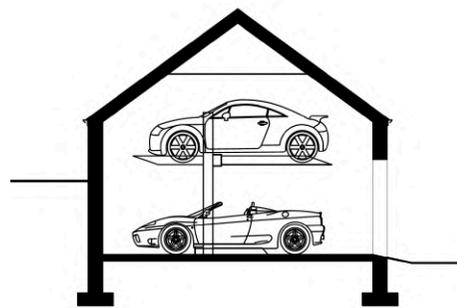
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5.2 Garage

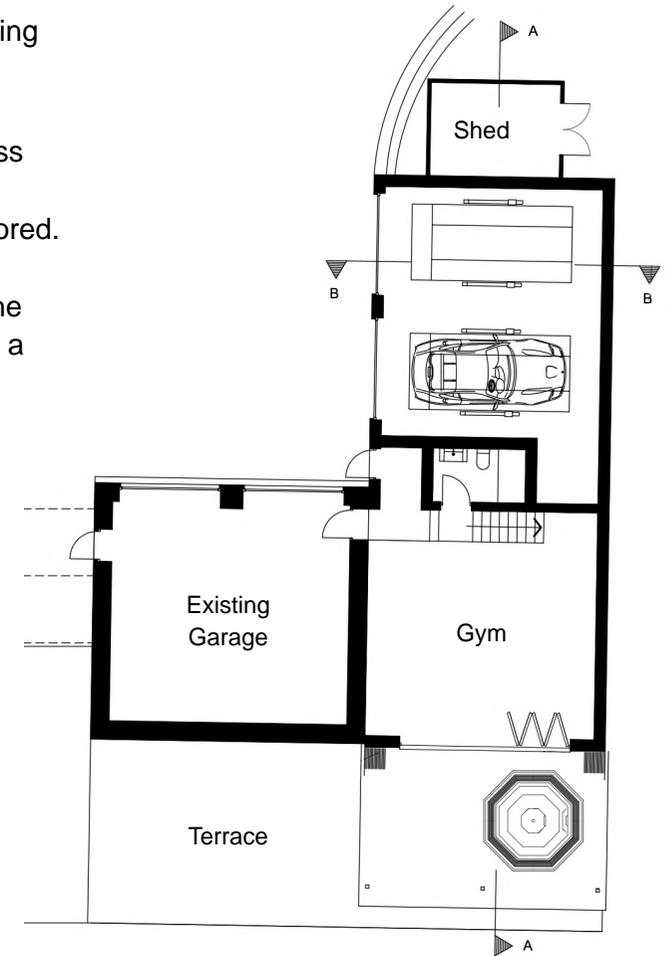
- 5.2.1 The existing garage is to be retained with a new addition set at right angles to the existing building. The existing garage roof will be extended to meet the roof of the new block.
- 5.2.2 The northern end of the proposed addition will be cut into the bank to provide car access from the existing gravelled approach. This will allow the ridge line to be kept low whilst accommodating the provision of car 'stackers' to be installed to allow four cars to be stored.
- 5.2.3 The slope of the land provides height for a two storey element at the southern end of the new block without affecting the ridge line. This two storey section will provide space for a gymnasium on the ground floor with a hobby room above it.



Proposed North Elevation of Garage.



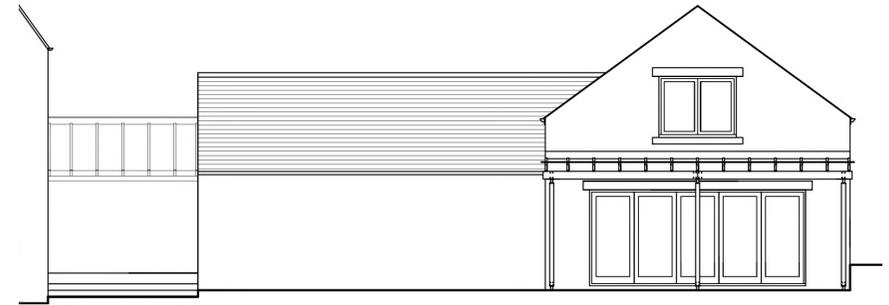
Proposed Section BB showing Car 'Stackers'.



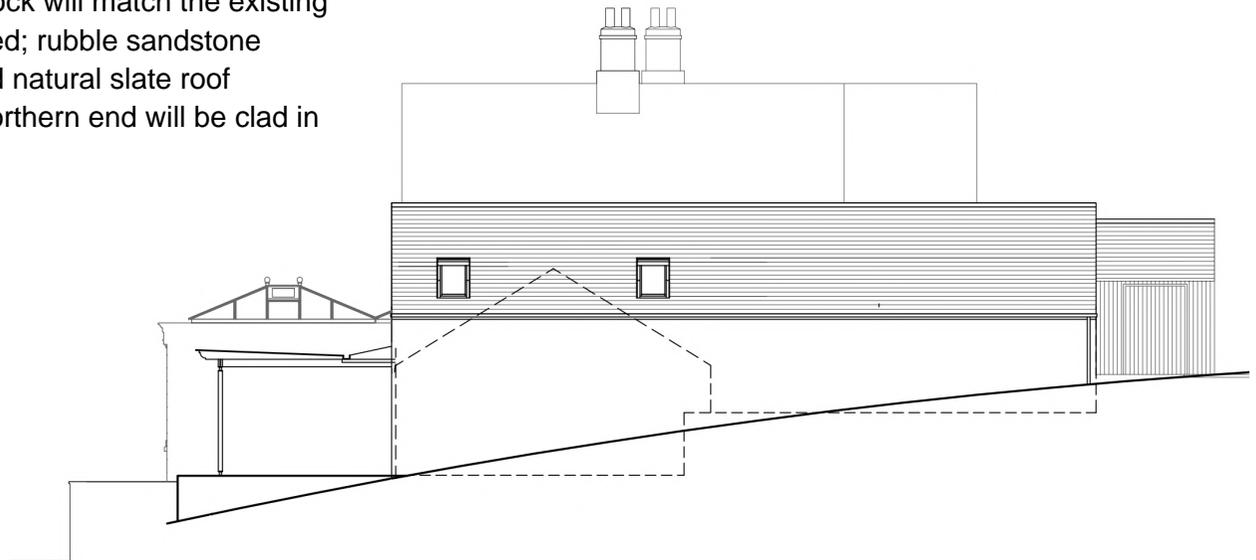
Proposed Ground Floor Plan of Garage.

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- 5.2.4 Sliding/folding doors to the gym will facilitate access to the new terrace, provide inspirational views during the exertions of a work out and allow for opening up the space when the weather is favourable.
- 5.2.5 The proposed canopy over the terrace will provide a covered area of the terrace to give protection from the elements and also provide shading to prevent overheating. A section of roof glazing adjacent to the gable wall will maintain natural light for the gymnasium area, whilst the inclusion of movable single glazed screens will offer shelter from prevailing winds and rain if required.
- 5.2.6 The form and roof pitch of the new block will match the existing garage, as will the materials to be used; rubble sandstone walling with dressed stone details and natural slate roof covering. The shed attached to the northern end will be clad in treated softwood boarding.



Proposed South Elevation of Garage.

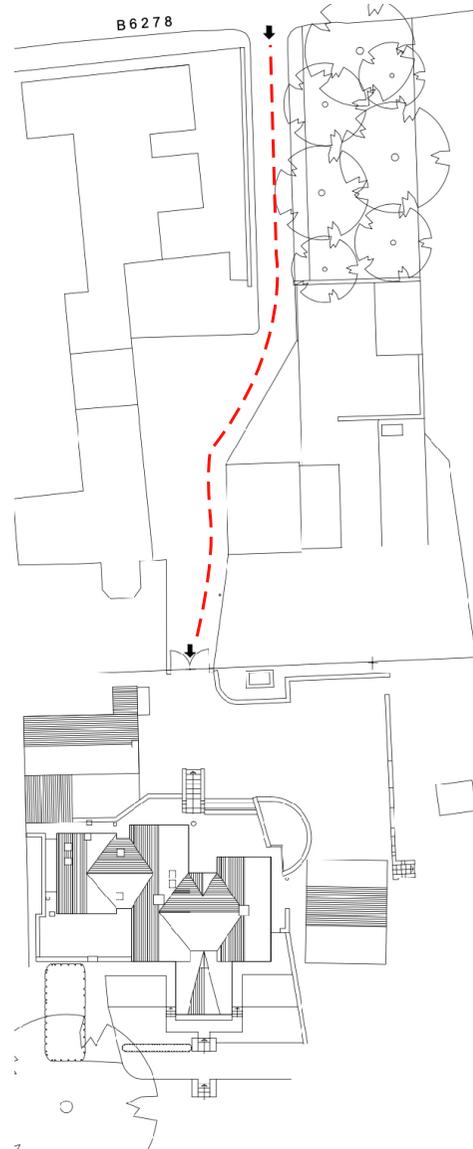


Proposed East Elevation of Garage showing Canopy to the Left & Shed to the Right.

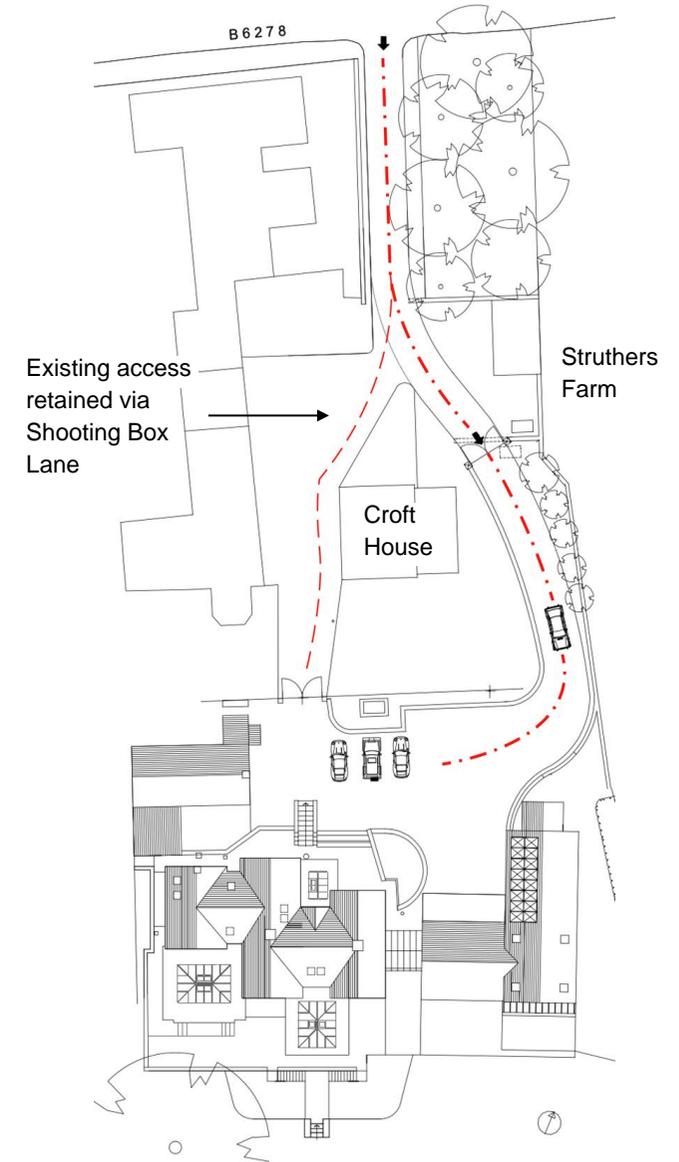
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5.3 Vehicle Access

- 5.3.1 The route of the new gravel driveway will occupy a strip of land between 6 - 10m wide running approximately parallel with the boundary wall between Croft House and Struthers Farm.
- 5.3.2 The new driveway will link into the north eastern corner of the existing area of gravelled hardstanding in front of the main house.
- 5.3.3 New gateposts will mark the new entrance and stone walling will delineate the new boundary between the drive and the garden of Croft House.
- 5.3.4 Tree planting and landscaping between the driveway and the existing boundary with Struthers Farm will serve to soften the impact of the new access.



Existing Site Plan showing shared access via Shooting Box Lane.

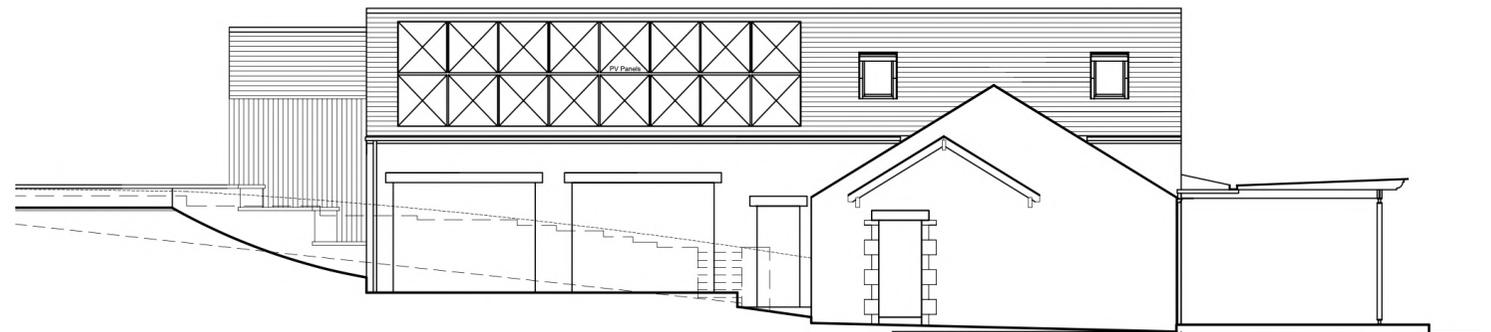
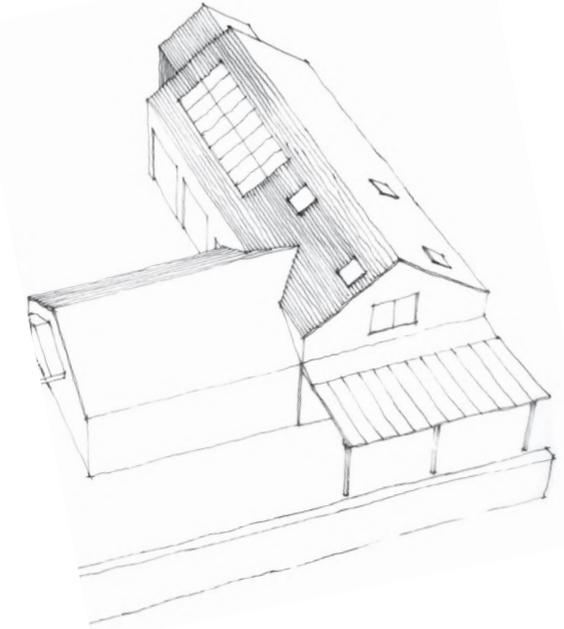


Proposed Site Plan showing new private access to the Main House & Garage.

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6.0 Sustainability

- 6.1 The heating and lighting strategies for the existing house already exist and will not be altered by these proposals. However, the addition of the new extensions, constructed to comply with current Building Regulations, will provide additional thermal benefit in the local areas of the existing house.
- 6.2 The extension of the garage block allows the provision of a bank of photo-voltaic panels incorporated within the roof covering to generate electricity for the use of the Shooting Box.
- 6.3 Provision of water butts connected to the new rainwater downpipes will allow for collection of rainwater for use in the garden.
- 6.4 During construction local tradesmen and suppliers will be employed and where possible, locally sourced and reclaimed materials will be used.



Top: Sketch Aerial View of Proposed Garage with Photo-Voltaic Panels shown on Roof.
Bottom: Proposed West Elevation of Garage with PV Panels also shown.

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7.0 Impact on Heritage Assets

- 7.1 The Conservation Area Character Appraisal (CACA) for Edmundbyers confirms the need to preserve and enhance the special character and appearance of the Conservation Area and ensure that any future developments are sympathetic and sustainable. It encourages the use of the North Pennines AONB Design Guide to encourage good design.
- 7.2 The CACA identifies that there was a settlement at Edmundbyers by the 11th Century. It was first recorded in the 12th Century by which time the church of St Edmunds had been built. The village was predominately a farming community although there are remains of iron smelting and lead mining in the surrounding areas.
- 7.3 There are three Grade II Listed Buildings in the village; the Church of St Edmund; Summerson tomb, south of the Church of St Edmund; and Edmundbyers Youth Hostel. These are deemed to be 'Designated Heritage Assets'. The proposed development will not impact on the Listed Buildings or their setting.



The Church of St Edmund.
Image Source: The Moorland Group of Churches.



Summerson Tomb
Image Source: Keys to the Past.



Edmundbyers Youth Hostel.
Image Source: Independent Hostel Guide.

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7.4 The Shooting Box is identified as a 'Notable Building' within Appendix 2 of the CACA and is described thus:

'The Shooting Box, occupying a prominent position overlooking the Burnhope Burn to the south, is rumoured to have 16th century origins. It is constructed in a revivalist vernacular style; Welsh slates were readily available by this time, but the property was roofed with heather thatch. The symmetrical front elevation has two protruding wings, with steep gables, either side of a central entrance. The walls are of roughly coursed sandstone blocks with very roughly formed quoins. Window openings, which are original, are formed by stone lintels with slightly protruding stone sills. An old photograph depicts the house with its thatched roof and four-pane sash windows to both wings; the present day windows are very similar in form. The window above the doorway is less authentic in appearance. The original doorway is concealed behind a recent extension.'

7.5 The Conservation Area is considered to have a *high sensitivity* to change. As outlined above the design of the proposed extensions to the main house and alterations to the ancillary buildings have sought to retain the character of the buildings. The additions will compliment and not mimic the existing buildings and be easily legible and reversible. The proposed development will have a *slight/negligible* magnitude of change on the asset and the significance of the impact is considered to be *moderate/minor*, therefore the proposals comply with policies which seek to preserve the character of Listed Buildings and Conservation Areas.

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8.0 Ecology

- 8.1 The property has been assessed by GSL Ecology for the presence of protected species. Their findings are scheduled in a separate report dated November 2021.

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9.0 Planning Policy

9.1 The proposals have been assessed by Planning Consultant JW Planning Ltd and a separate Planning Statement dated October 2021 forms part of this application. In summary, the conclusions of the Statement are:

9.1.1 The proposed extensions and alterations to the main house, along with the detached garage, have been sensitively and thoughtfully designed, ensuring that the character and appearance of the buildings, the site and the wider Conservation Area have been both preserved and enhanced. The works to the new vehicular access are relatively minor in scale and will have no discernible impact on the site's existing character/appearance.

9.1.2 In light of the above, it is considered that the proposed works accord with all relevant planning policy, in all respects and, as such, the applicant respectfully requests that officers support the proposal.



Sketch Aerial View of Proposed Alterations to The Shooting Box.

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10.0 Conclusion

- 10.1 The proposals have been approached sensitively to minimize harm to the character and appearance of the area. Central to the scheme has been consideration of the protection of the character of the Conservation Area and the protection of wildlife and protected species.
- 10.2 The proposals have been designed to ensure that the proposed development will not have a harmful impact on the character or appearance of the buildings or the nearby heritage assets.
- 10.3 The aim of the proposed alterations is to conserve the house as a family home for the 21st Century. The proposals will be aesthetically pleasing, cause minimal harm and create additional living space for the family.
- 10.4 As demonstrated in the report by JW Planning Ltd, the proposals satisfy the requirements set out in the planning policies and other statutory documents identified. The proposals will not detract from the host dwelling or the surrounding area. They will enhance the property by virtue of good design and detailing and the sympathetic use of materials.
- 10.5 The proposed alterations will result in an improvement in the quality of the residential amenity for the applicants and will not impact negatively on the visual appearance of the site or residential amenity of neighbouring properties. The proposed extensions are well proportioned in comparison with the host dwelling and sit comfortably within the site.
- 10.6 The application property is a family home; the character and setting of the property will not be harmed by the proposed works, only improved. The addition of the new structures will enhance the elevation of the property and help to ensure the preservation of the property in its present form as a family home.
- 10.7 The proposals are in keeping with the character of the building. The materials used are chosen carefully to compliment the host dwelling and will therefore not appear visually intrusive in the landscape.

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- 10.8 The proposals will not have any significant adverse effect on the fabric of the host dwelling and the wider area. The scale, size and sympathetic choice of materials as well as the high quality design ensure that the proposal would not be detrimental to the character of the host dwelling nor the surrounding area.
- 10.9 The designs have been carefully considered to respect the existing building and its setting. They are perceived to be of minimal impact whilst providing significant improvements to meet client expectations.
- 10.10 We consider the proposed works have sufficient integrity to contribute to the amenity of The Shooting Box without detracting from the beauty and character of the existing property.
- 10.11 From the outset the owner, Mr. Penny has been keen to make certain changes to enhance his family's enjoyment of this house. He also wants to ensure that when the work is completed, the finished project will be both high quality and also create structures that respect and reflect the current building design. It was also important to design structures that have the minimum impact upon their neighbours. In conclusion we feel that the brief has been fully met.



Proposed Sketch View of The Shooting Box from the Front.