



164-166 Craigpark, Glasgow
DESIGN & ACCESS STATEMENT
NOVEMBER 2021 | REV 1.0

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INTRODUCTION





EXECUTIVE SUMMARY

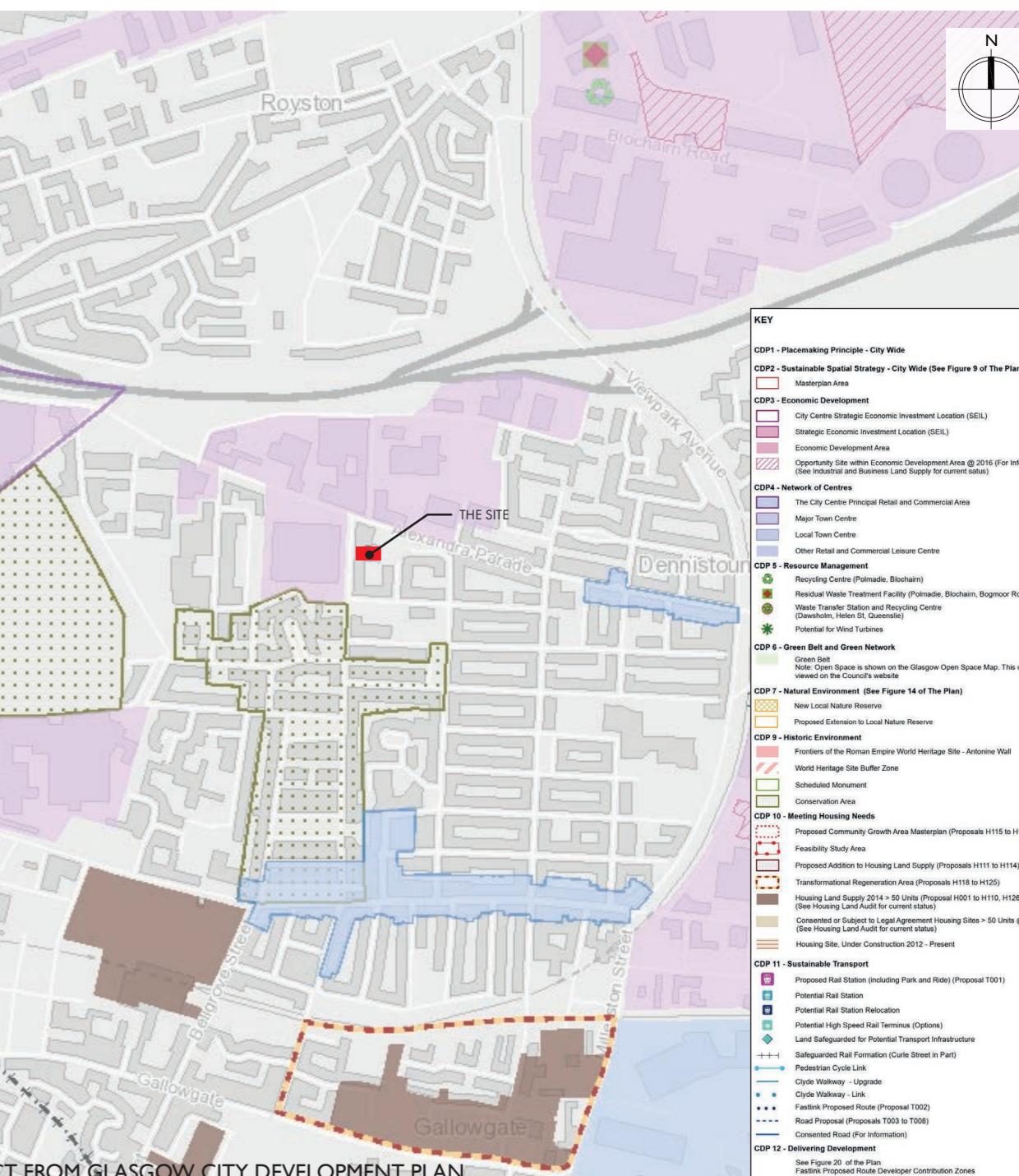
The site is located at 164-166 Craigpark, Glasgow. The proposal consists of the redevelopment of Craigpark Snooker Club. The existing listed building and site provide excellent opportunities for redevelopment of brownfield land which has the potential to bring much needed new housing to the area.

The site extends to 0.14ha in area. The development sits within an area of residential, commercial and retail buildings. To the north of the site, adjacent to the existing building, is a petrol station. To the south of the site there are residential tenement buildings. To the east is a car wash, however planning permission has recently been granted for the installation of 8 electric vehicle charging point bays and 4 jet wash bays (21/02421/FUL). To the western edge of the site is Craigpark, with the existing building fronting onto this road.

The proposal includes demolition of the rear snooker hall and the renovation and extension of the existing listed building to provide 11 residential units. The extension is proposed for the rear of the development to provide residential dwellings. The eastern half of the site is to be developed into gardens for the future residents. The existing listed building will be maintained with existing pedestrian access points from Craigpark utilised.

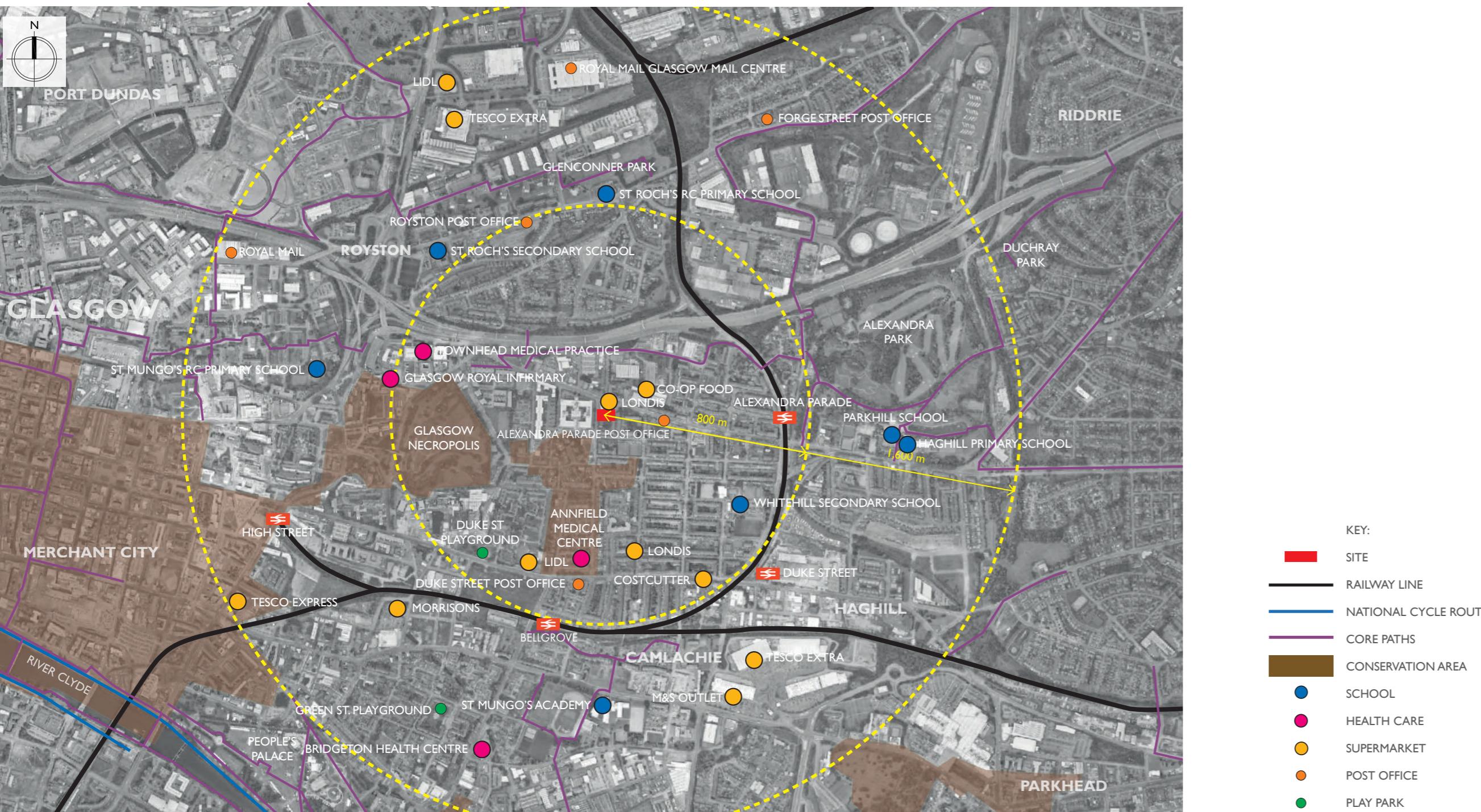
A number of technical assessments accompany this application which have all informed the design of the proposal.

This Design & Access Statement sets out the context, analysis and design parameters which has led to the final proposal. It demonstrates that the proposal is in a sustainable location with excellent links to the wider area. The Design & Access Statement also demonstrates that the proposal meets with all National and Local design guidelines and will enhance the immediate local area.



SITE CONTEXT & ANALYSIS

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SITE CONTEXT

The site is located on Craigpark, within the residential area of Dennistoun, in the East End district of Glasgow.

PAN 75 states that the recommended walking and cycling distances to amenities and services from residential development is as follows;

- Bus stop - 400m
- Railway Station - 800m
- Amenities & Services - 1,600m

A walking distance of 1,600m is considered to be an easy 20 minute walk.

The plan opposite illustrates that the site is in an excellent location for prospective residents to easily access a wide range of amenities and services, via active travel options.

The site is within the catchment area of a number of primary and high schools, both denominational and non-denominational. The closest primary school to the site is St. Roch's Roman Catholic Primary School, which is just over an 800m walking distance from the site. Parkhill School is the closest non-denominational primary school to the site, and is within a 1,600m walking distance to the east of the site. The closest high school to the site is Whitehill Secondary School, within an 800m walking distance.

Alexandra Parade Train Station is located to the east of the site and is less than 800m walking and cycling distance from it. This train station is also easily accessible by regular bus services just north of the site from Alexandra Parade. It provides a regular service to Glasgow Central Station, taking under 20 minutes. This ensures that the site is well connected to a wide variety of employment and amenity opportunities.

Duke Street, Bellgrove and High Street Train Stations are also all within 1,600m from the site.

A number of bus stops are located adjacent to the site, providing regular links into Glasgow City centre, as well as the wider area.

A number of supermarkets are within easy walking distance of the site. Co-op, Lidl and Londis are all within a 10 minute walk from the site.

The nearest post office is on Alexandra Parade, and is less than a 5 minute walk from the site.

The nearest medical centre, Annfield Medical Centre, is located at Annfield Place at the end of Craigpark. It is under a 10 minute walk from the site. Glasgow Royal Infirmary is located within 1,600m of the site, to the west, and is accessible via a number of bus services on Alexandra Parade.

A number of parks and sports facilities are located within an easy walk of the site. This includes an equipped play park at Duke Street Playground to the south-west of the site, which is just under a 10 minute walk from the site. Alexandra Park, a large open green space, is also within 1,600m of the site.

In summary, the site is well located for all required amenities and services and promotes active travel options. It is in accordance with the requirements of PAN 75 and provides an excellent location for new homes.



SITE ANALYSIS

The existing building on site is currently used as Craigpark Snooker Club. It is a late 19th century sandstone building which has frontage onto Craigpark.

The site sits within an area which contains residential, commercial and retail buildings, with a Londis and BP petrol station directly to the north of the site and existing housing to the south.

A number of technical assessments have been carried out in support of this application.

A topographical survey was conducted for the site.

There are two enclosed garden areas to the front of the existing building, on Craigpark. These spaces have low rise stone walls, cast iron fencing and hedge planting forming their boundaries. They include the site's low point at +43.72m. Between the enclosed gardens are two sets of steps which provide access from Craigpark to the main entrances of the building.

Adjacent to the existing building, on the southern edge of the site is an existing gateway and drive. Beyond the drive are two sets of steps, one leading to the basement of the existing building and the second leading up to a paved exterior area. This paved area forms the site's high point at +45.03m.

A Flood Risk Assessment was carried out for the site concluding that the site is not at risk from groundwater flooding. It also noted that there is a small surface water catchment that could generate runoff towards the rear of the development(eastern boundary) which has been considered and responded to in the design proposal.

In summary, aside from the existing listed building on site, there are no major physical constraints to further development at 164-166 Craigpark. The proposal provides the opportunity to enhance the local area through developing this existing listed building and brownfield site.

DESIGN PRINCIPLES

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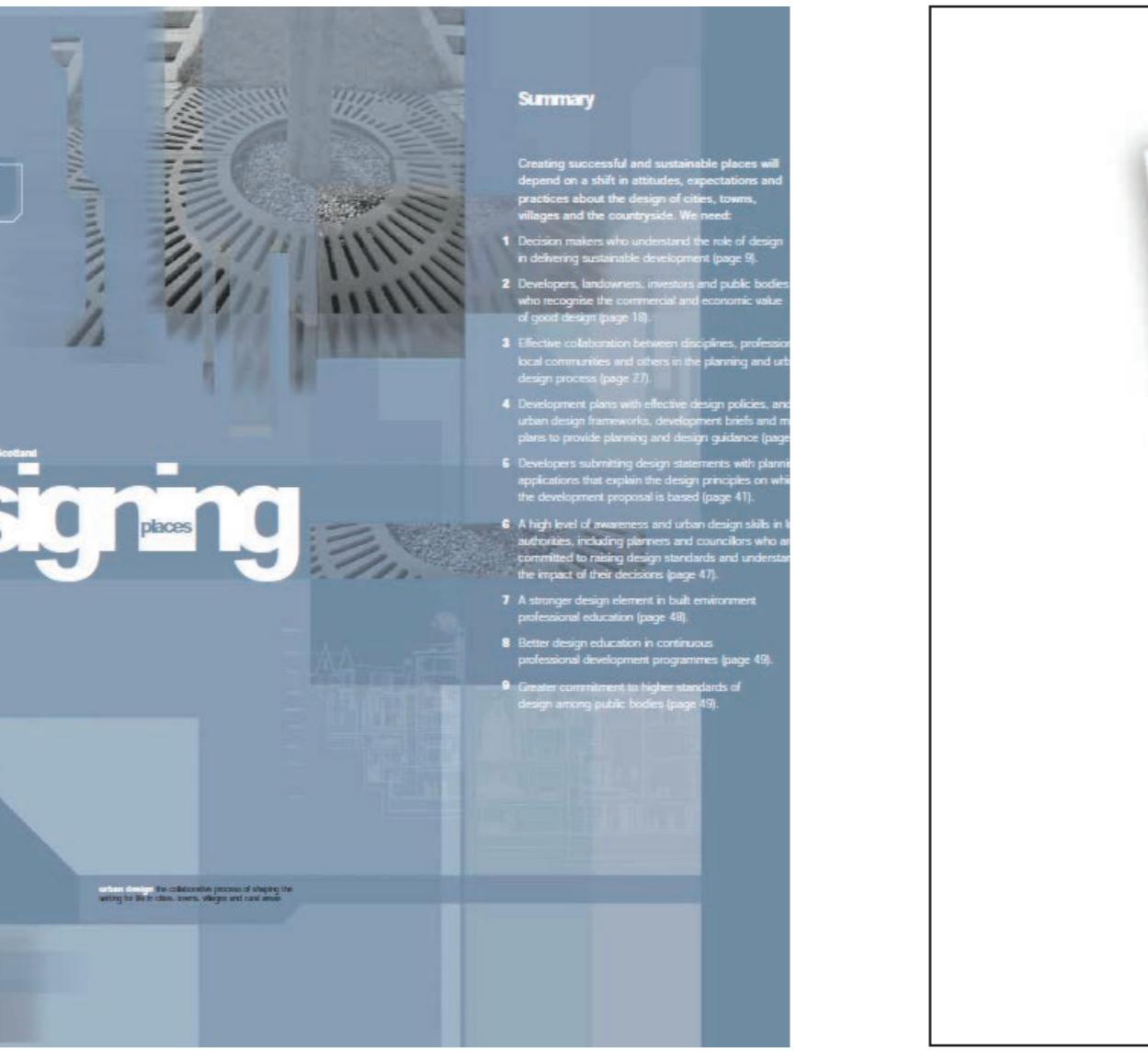
NATIONAL DEVELOPMENT GUIDANCE

The Policy Statement for Scotland Designing Places identifies the components of the 'Design Tool Kit' and the sequence in which they are to be applied. Development Frameworks help to deliver planning policy requirements by setting out the main planning and design principles to which subsequent masterplans will conform.

Scottish Planning Policy and advice require that land and resources are used efficiently. Key policy objectives include planning for integrated transport with an appropriate mix of land uses and offering a full range and choice of housing types, forms, sizes and tenures. This includes presumption in favour of development of brownfield sites.

The Scottish Government places great emphasis on improving the design of all new development to reflect the character of the area within which it is to be located, as well as creating mixed communities that are safer, more inclusive and provide new residential streets that are both attractive and safe for all to use.

Additionally, developments of this scale must provide a range of house types, sizes and tenures including affordable housing, as well as the necessary enabling and supporting facilities and infrastructure. This includes mitigation of any impacts on education facilities, the provision of open space, play areas as well as opportunities for local retail, employment and community use.



DESIGNING STREETS + CREATING PLACES

Designing Streets and Creating Places establishes that new residential developments should produce mixed communities where opportunities to live, work and recreate are located side by side. This is to be achieved at higher densities by designs that respond to the context and qualities of a site and its surroundings. From this, positive relationships between buildings are to be created to produce a sense of place, identity and welcome, and to clearly define public from private space.

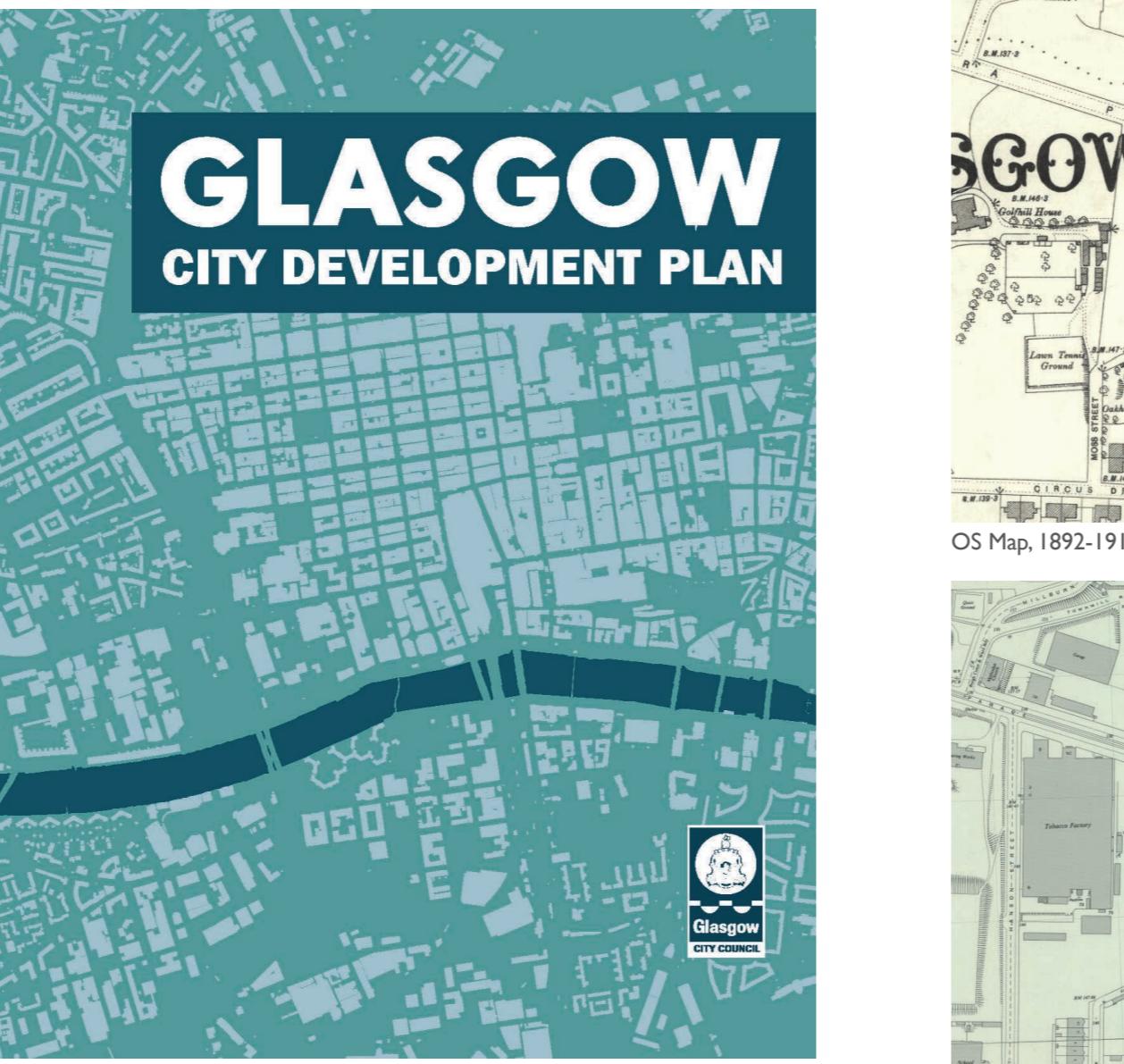
Designs are to provide a hierarchy of attractive streets and spaces that are defined by buildings that reflect local architectural styles. The result is to be distinctive new places in which it is easy for people to find their way around. Such places must also be designed to a human scale, be resource efficient and adaptable. Central to this is a network of well-connected, attractive and enclosed public spaces that are safe, pleasant, and easy to move around, especially on foot and cycle.

CITY DEVELOPMENT PLAN

It is anticipated that the City's brownfield/vacant land opportunities will contribute to a rise in housing completions. There is a growing demand for good quality places to live, with a mix of accommodation to suit different household types, and at densities that are appropriate for the surrounding area.

The Dennistoun area is in need of more homes to suit local residents and their varying needs.

Due to proximity to local amenities such as shopping facilities, schools and access to local public transport networks the site is considered to be sustainable in terms of its location within the city.



SG1: THE PLACEMAKING PRINCIPLE (PART 1)

QUALITIES OF SPACE

The six basic Placemaking Principles that apply to all development proposals in Glasgow are as follows:

1. CHARACTER + IDENTITY

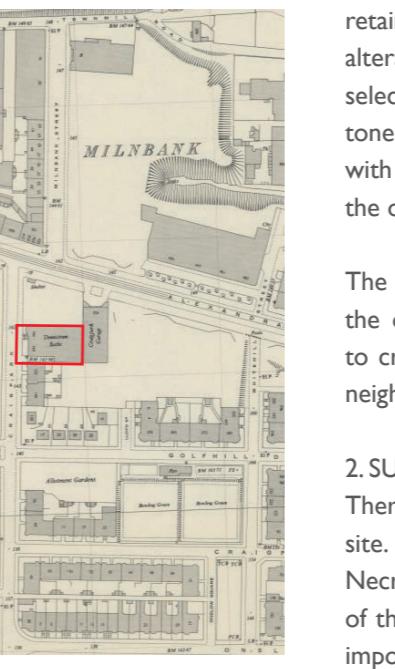
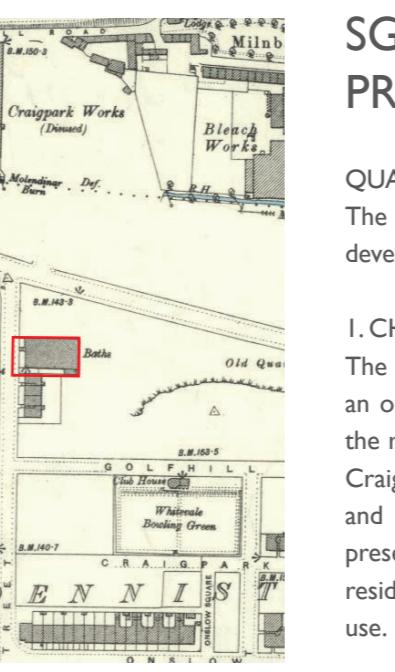
The existing snooker hall is currently vacant and provides an opportunity to remove the two-storey brick addition to the rear of the Category B listed sandstone building fronting Craigpark. The renovation of the existing building into 5 flats and new extension to the rear providing a further 6 flats, presents an excellent opportunity to change the building to residential use in an area that is already suited to this type of use.

The existing sandstone building fronting Craigpark will be retained in its current form, with a small number of minor alterations to window positions. Modern materials have been selected for the extension, using predominantly warm yellow tones of brick to compliment the existing sandstone building with lightweight curtain walling used to transition between the old and new.

The flats within the extension will predominantly look onto the open space to the rear, with a number of projections to create interest to the gables whilst protecting privacy of neighbouring properties.

2. SUCCESSFUL OPEN SPACE

There are a number of landscaped areas adjacent to the site. Two of the most significant areas of open space is the Necropolis to the west and Alexandra Park to the north-east of the site which is designated as a site of special landscape importance.



The Dennistoun area benefits from a variety of different types of open space; from communal private gardens, amenity spaces, play and sports areas.

The new development will contribute to the wider green network, through a number of types of open space. Amenity space is provided to the rear of the development, acting as a continuation of the open space located to the south. This will connect people to the public realm and provide a successful, vibrant place for the future residents. The open space will be overlooked by buildings with active frontages from the extension and existing building to provide a safe space to occupy through natural and passive surveillance.

There will be private gardens provided to all ground floor flats, in addition to the shared amenity space. This is synonymous with the local area, providing privacy and a clear definition between public and private realm.

The open space will be accessible to all local users by foot.

3. LEGIBILITY + SAFETY

There will be no change to the hierarchy of existing streets and the neighbourhood will continue to be easy to move around and navigate.

The layout has been developed to respect the grid pattern of the surrounding areas and existing residential neighbourhoods, with the proposed extension occupying a lesser amount of ground than the current brick element. The site will be accessed from Craigpark using the two existing pedestrian access points.

SG1:THE PLACEMAKING PRINCIPLE (PART 1)

Views along roads and footpaths will be unaffected by the proposed developing, helping the new residents and visitors to orientate themselves within the new neighbourhood.

4.EASE OF MOVEMENT

The site is very well served by public transport, with the nearest bus stop directly to the north-west of the site on Alexandra Parade.

There are a number of train stations nearby, with Alexandra Parade Rail Station the closest within a 10 minute walk.

There are core paths nearby, located to the north and south of the site connecting to the wider Glasgow area. The existing pedestrian access from Craigpark will be continued around the building to provide access to the amenity space.

As the site is so well connected, zero parking is proposed for the site to encourage residents to utilise public transport and cycle/pedestrian routes.

5.VIBRANCY + DIVERSITY

There will be a range of homes provided as part of the development, in order to cater to a wide range of people and circumstances. There will be a variety of 1, 2 and 3 bed flats. The existing sandstone building will remain largely unchanged to the exterior, whilst the proposed extension will sit to the rear, subservient to the existing building. The extension will sit at three storeys, lower in height than the existing sandstone building and neighbouring tenements in response to the neighbouring dwellings surrounding the site.

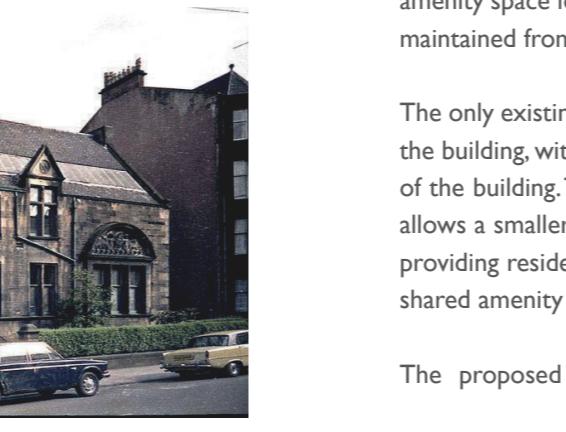
Active frontages will be located to the main street on Craigpark and to the rear of the extension, overlooking the amenity space. To the rear of the site, active gables are used where they can overlook open space and nearby streets, providing passive surveillance where appropriate.

6.ADAPTABILITY + SUSTAINABILITY

The development will incorporate high quality materials to promote longevity and the long term value for the local community. This will contribute to the character of the area through the development of an existing vacant building, providing a good quality place that will add to the local area and improve the overall quality of the area. The development will promote sustainable technologies to improve the energy efficiency of the homes and encourage greater social equity.



Dennistoun Baths and Terrace, date unknown.



SG1:THE PLACEMAKING PRINCIPLE (PART 2)

1.SUSTAINABLE DEVELOPMENT

The proposals maintain the cultural heritage of the area by refurbishing an existing building to provide new homes in an area well suited to residential development.

The main, sandstone building fronting Craigpark will be retained, whilst the rear brick element will be demolished to make way for a smaller extension with the inclusion of amenity space.

All dwellings are dual aspect, maximising daylight and sunlight to properties. As the extension will be smaller than the current brick element to the rear, existing daylight and sunlight to neighbouring properties will be improved.

The development will breathe new life to an existing Category B listed building, rejuvenating the streetscape and bringing new residents to the area.

2. RESIDENTIAL DEVELOPMENT

High quality materials are proposed for the extension, with the use of buff brick to compliment the warmth of the existing sandstone building and a lightweight connection to the define the transition between old and new. Whilst the extension is sympathetic to the existing Category B listed building, it is clearly of modern design in respect of its age.

The site is located in the inner urban area and has a density of 78 DPH, which sits comfortably within the 30-100 DPH range for the area type.

The removal of the brick element to the rear will improve accessibility to the rear of the site, providing access to amenity space for residents. Existing pedestrian routes will be maintained from Craigpark.

The only existing open space on site is located to the front of the building, with two small terraces with hedges to the front of the building. The removal of the brick building to the rear allows a smaller extension to be introduced, better suited to providing residential accommodation and the introduction of shared amenity space on site.

3.COMMERCIAL PREMISES
Not applicable to the development.

4.AMENITY

Zero parking is proposed so air quality will not be affected by an increase in vehicle movements. Pre-application discussions with the Local Authority have confirmed that an Air Quality

any overlooking of neighbouring properties, whilst still

incorporating activated gable elevations to incorporate means of passive surveillance.

Assessment and Noise Impact Assessment will not be

required to assess the application.

There are a number of play areas located within close proximity of the site, such as Garfield Street and Duke Street. Whilst amenity space is proposed on site, it is not proposed that a play area would make up the on-site open space provision.

5.DETAILED DESIGN

The blonde sandstone of the existing building will be complimented by the high quality buff brick used for the extension. The transition between existing and proposed will be defined by lightweight curtain walling. A single ply membrane roof will be used for the extension.

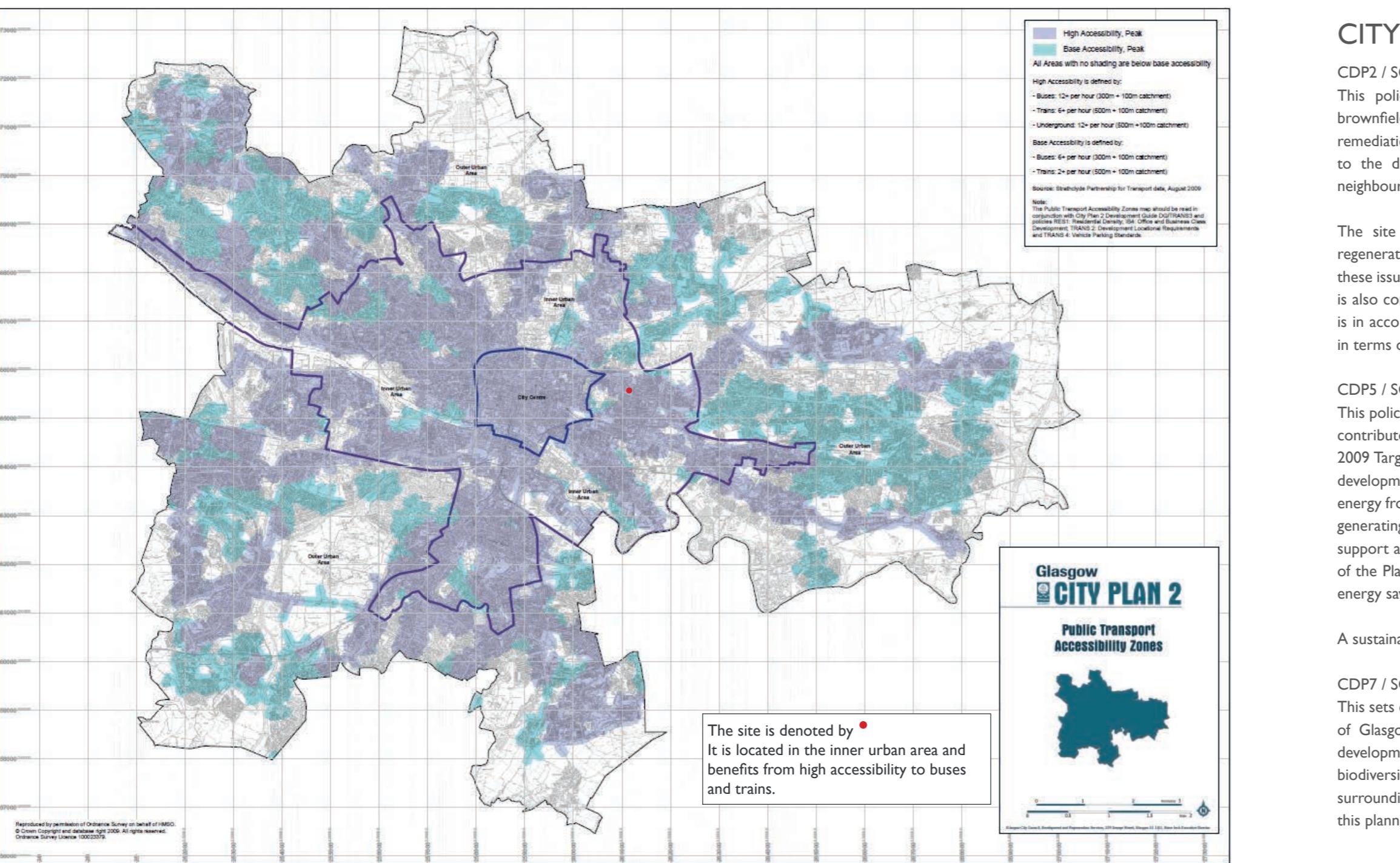
6. PUBLIC REALM

The open space to the rear of the building will improve amenity for the residential development, with new trees introduced along the eastern boundary to provide a continuation of the trees to the back-court of the neighbouring tenement to the south. The trees will also provide privacy to the northern and eastern boundary. Furniture and seating could be provided for residents to enjoy the amenity space.

7.WASTE STORAGE, RECYCLING + COLLECTION

General waste and recycling bins will be stored to the side access, located to the south of the site. This is in a location that is concealed from the street, to maintain the appearance of the public realm, however is within easy access for residents to dispose of their household waste. Communal refuse provision is provided within 20m of the street for ease of Local Authority collection.

The proposed extension has been designed to prevent



CITY DEVELOPMENT PLAN

CDP2 / SG2 - SUSTAINABLE SPATIAL STRATEGY

This policy requires that proposed developments utilise brownfield sites in preference to greenfield sites, prioritise the remediation and reuse of vacant and derelict land, contribute to the development of vibrant and accessible residential neighbourhoods.

The site has been disused for a number of years. The regeneration of the site for housing development will allow these issues to be addressed and the site remediated. The site is also considered to be brownfield and so the development is in accordance with the City Council's policy and guidance in terms of sustainability.

CDP5 / SG5 - RESOURCE MANAGEMENT

This policy sets out how the City Development Plan can help contribute to meeting the Climate Change (Scotland) Act 2009 Targets of reducing greenhouse gas emissions.

All new developments need to be designed to reduce the need for energy from the outset by making use of low and zero carbon generating technologies. A Statement of Energy is required to support all applications that demonstrate to the satisfaction of the Planning Authority that development meet the stated energy saving requirements.

A sustainability statement will be provided by condition.

CDP7 / SG7 - NATURAL ENVIRONMENT

This sets out how the biodiversity landscape and geodiversity of Glasgow will be taken into account when considering development proposal.

A desk top study on specific biodiversity, animals, geology including how the site and the surrounding area is used by them is required in support of this planning application.

Bat activity surveys will be carried out in May 2022 in support of the application. This will include analysis of the specific biodiversity and animals as required by CDP7 and SG7.

CDP8 / SG8 - WATER ENVIRONMENT

A Flood Risk Assessment (FRA) and Drainage Impact Assessment (DIA) is required for any residential development comprising more than 5 dwellings. These require to be self-certified and independently checked in accordance with published Glasgow City Council policy 'Flood Risk Assessment and Drainage Impact Assessment: Planning Guidance for Developers'.

A Flood Risk Assessment has been provided in support of the application. The report confirms no flooding within the site and is therefore in accordance with CDP8 and SG8.

A drainage design has been carried out in support of the application. This is supplemented by a drainage statement / impact assessment. The design includes SuDs to deal with surface water drainage. Foul drainage will be accommodated within the existing sewer network.

CDP9 / SG9 - HISTORIC ENVIRONMENT

This policy aims to ensure the appropriate protection, enhancement and management of Glasgow's heritage assets.

The proposed extension will be sympathetic to the existing Category B listed building, using high quality materials and massing / scale that is appropriate for the setting.

CDP10 / SG10 - MEETING HOUSING NEEDS

This policy aims to ensure that the City's growing and diverse population has access to a choice of housing of appropriate quality and affordability across all tenures.

The development will provide a range of flat types, from 1-3 bed, to cater for a variety of resident's of varying ages and stages of life.

CDP11 / SG11 - SUSTAINABLE TRANSPORT

This policy contains detailed guidance on vehicle and cycle parking standards for new development. It sets out maximum parking standards for certain types of development which also relates to public transport accessibility. Safe and secure cycle parking will be provided on-site for those wishing to commute journey by cycle and to lessen car dependency.

The site is well placed to take advantage of the excellent surrounding public transport network along Alexandra Parade and so zero on-site parking is proposed.

CDP12 / SG12 - DELIVERING DEVELOPMENT

In accordance with Scottish Planning Policy (para21) that access to green infrastructure and open space is improved the Council has been proactive in working to develop a new approach to the provision and enhancement of open space to support new development. IPG12 set out interim guidance on the on the approach to open space provision based on ENV2 of the City Plan 2.

As such and in accordance with the Councils placemaking principle new residential development is required to provide access for good quality recreational space; equipped play area, amenity open space, outdoor sport, allotments and community gardens. An appropriate proportion and type of amenity must be located within the boundary of the site as an integral element of the development.

PROPOSAL

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PROPOSED SITE LAYOUT

The proposal at 164-166 Craigpark is to provide 11 new flats. It is proposed to retain the existing late 19th century building which fronts onto Craigpark. The existing sandstone walls and slate roof will be retained, protecting the listed building.

The proposal is designed to respond to site constraints, existing structures, development opportunities and the surrounding setting. The proposal has also been designed to comply with Local and National Design Guidance to ensure that it provides new homes with a clear sense of place, which is welcoming and complements its surroundings.

The primary design elements which form the basis of the development are:

- Retaining the existing late 19th century building on site including gate piers.
- Reinforcing existing street frontage on Craigpark with active residential use.
- Utilising the existing points of access to the building on site from Craigpark.
- Providing a high quality range of flats which meet current and future needs.
- Responding to the existing topography of the site.
- Creating new amenity space to the rear of the proposed development for future resident's use.
- Enhancing the landscape setting of new homes with tree planting, an open green space to the rear of the proposed

development and enclosed gardens to the front of the development.

- Enhancing habitats and biodiversity on site through the use of tree and hedge planting, areas of green space and the maintenance of existing front gardens.
- Creating a strong character and sense of place for the site through the careful selection of materials and forms, and in turn complimenting the existing building on site and surrounding developments.
- Ensuring that the proposal is well integrated with its surroundings.

Details of these features are outlined in the subsequent sections of this Design & Access Statement.