



## VEHICULAR MOVEMENT

The site can be accessed by vehicles from Craigpark.

Craigpark is a two-way street with on-street parking available. It connects to Alexandra Parade to the north and Duke Street to the south, with a series of streets extending from it between the two.

Refuse collection will be made from Craigpark, with bins stored in the existing drive adjacent to the building on site.

Access to the site for emergency vehicles will also be via Craigpark.

There is currently no vehicular access onto the site itself, which will be maintained for the proposed development.

There is on-street parking available on Craigpark, however there will not be any designated car parking spaces for future residents on the site due to the existing topography and it's close-proximity to public transport.

- KEY:
- SITE BOUNDARY
  - EXISTING ROAD NETWORK
  - ⇄ ACCESS ROUTE
  - - - ● REFUSE STORAGE/ COLLECTION POINT



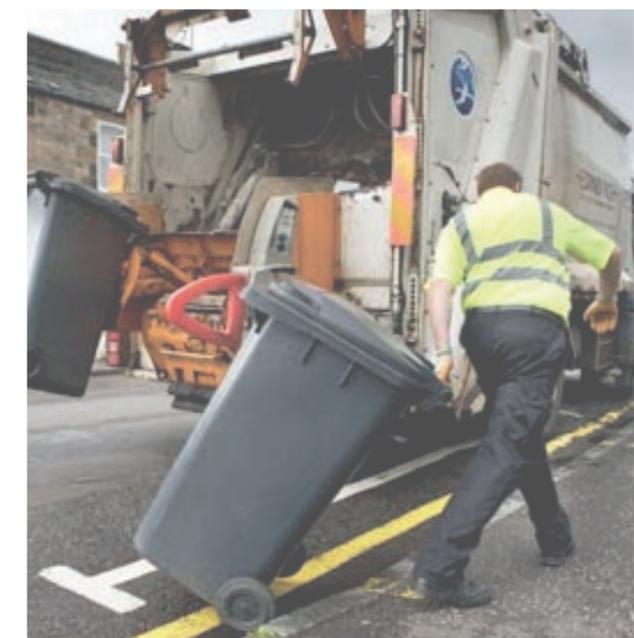
Craigpark - looking north



Drive adjacent to existing building



Craigpark - looking south



On-street refuse collection example



### PEDESTRIAN MOVEMENT

The existing footpath network at 164-166 Craigpark promotes and prioritises pedestrian movement to and from the site, and within the surrounding area. The site is within walking distance of a number of services and amenities and the existing footpath network for the area allows easy access to all.

Existing pedestrian access points to the site are on Craigpark. These will be maintained to the proposed development.

The first access point is through the existing building on site, up a set of steps.

The second access point to site is through a side gate, adjacent to the existing building on site. This will be utilised to provide access to the rear of the site- namely the proposed extension to the rear of the listed building, as well as the proposed open green space beyond it.

A path will extend and wrap around the open green space, allowing easy access for future residents to this part of the site and encouraging its use.

- KEY:
- SITE BOUNDARY
  - EXISTING ROAD NETWORK
  - - - EXISTING FOOTPATH
  - - - ACCESS VIA FOOTPATH
  - . . . . . PEDESTRIAN MOVEMENT WITHIN SITE



Footpath connection to north via Craigpark



Existing steps at front of building



Footpath connection to south via Craigpark



Drive adjacent to existing building



### KEY FRONTAGES & VIEWS

The proposed development will retain the existing building on site. This not only maintains the existing streetscape of Craigpark, but reinforces it with active residential use. It also increases the activity and sense of community for the site and its surrounding context.

Views from the flats within the proposed development will vary based on their location. Flats in the existing building will look onto Craigpark, with existing front garden areas and tree planting enhancing views for future residents.

Flats in the proposed new building, to the rear of the development, will look onto the proposed private rear gardens and open green space in the eastern half of the site. This will ensure passive surveillance over these spaces, creating a safer and more welcoming environment for future residents' use.

The open green space will also have tree planting to the rear, which will enhance the landscaping of the site and create attractive outlooks from each flat fronting onto it.

- KEY:
- SITE BOUNDARY
  - EXISTING ROAD NETWORK
  - FRONTING ROAD
  - OPEN GREEN SPACE
  - FRONTING OPEN GREEN SPACE
  - TREE PLANTING



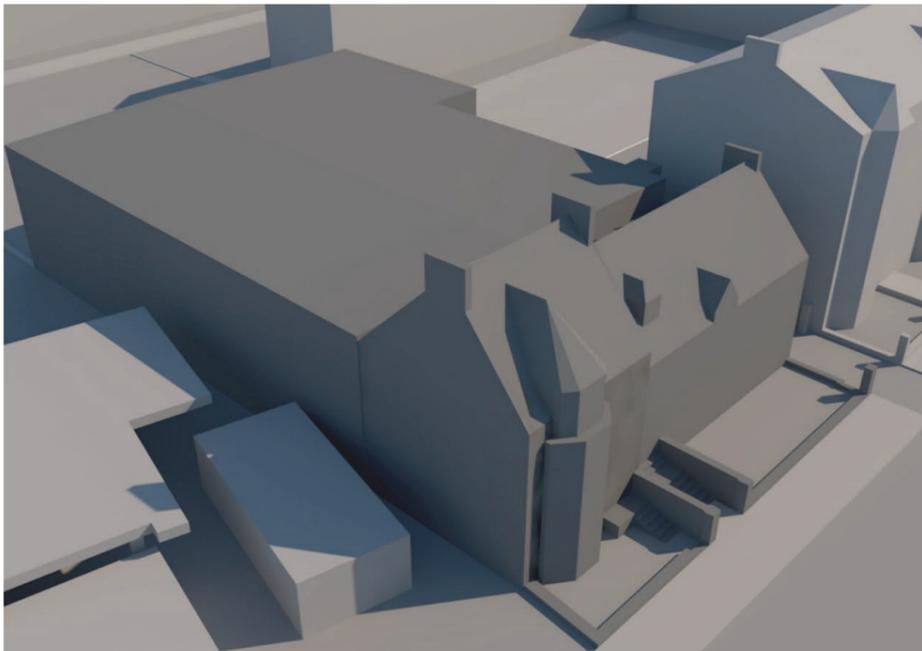
Tree planting on Craigpark



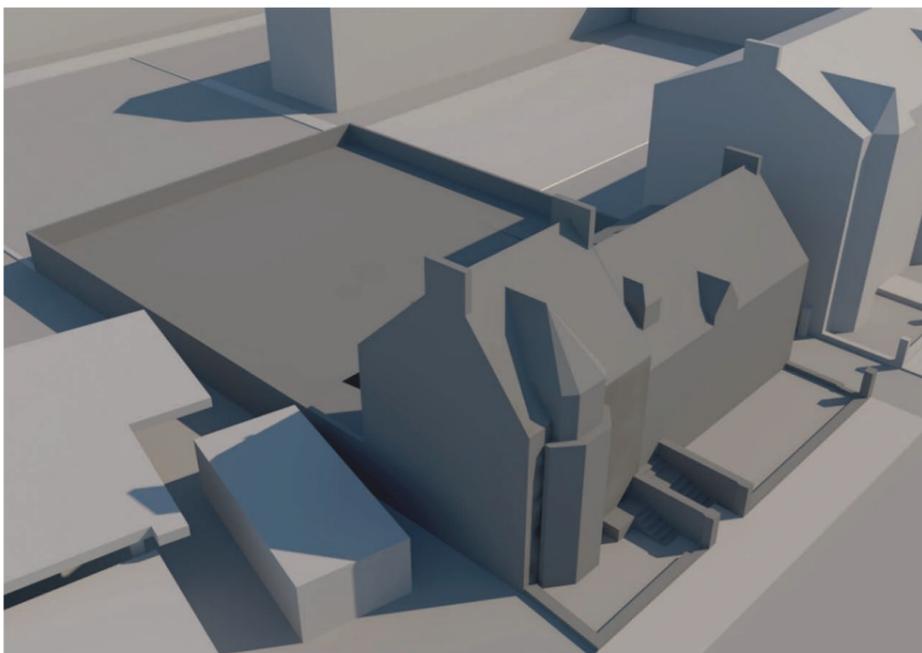
Building opposite site on Craigpark



Front of existing building on site

**EXISTING CONDITION**

The two-storey brick hall is located to the rear of the main sandstone frontage that looks on to Craigpark.

**POST-DEMOLITION**

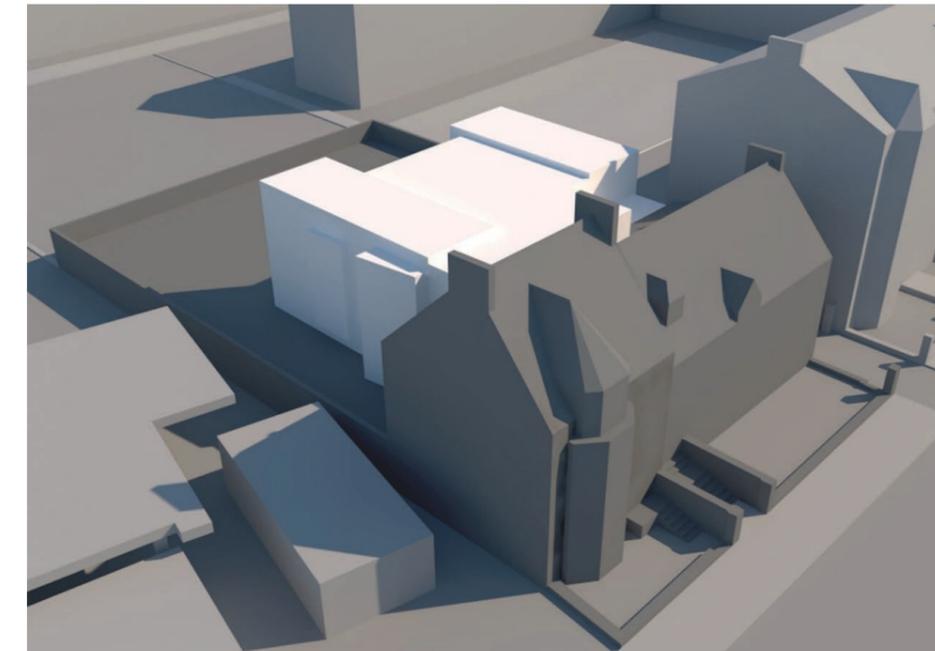
The two-storey brick hall to the rear has been demolished, leaving behind brick boundary walls to define the edges of the site.

**SCALE & MASSING**

The proposed development will retain the existing sandstone building to the main frontage of Craigpark, however demolition is proposed for the rear brick hall and replacement with a smaller extension which is suited to residential use.

The extension will be sympathetic to the existing building, sitting lower than the main frontage roof line and will not be visible from Craigpark. The smaller development footprint provides the benefit of on-site amenity space to the rear, whilst maintaining use of the two existing pedestrian accesses.

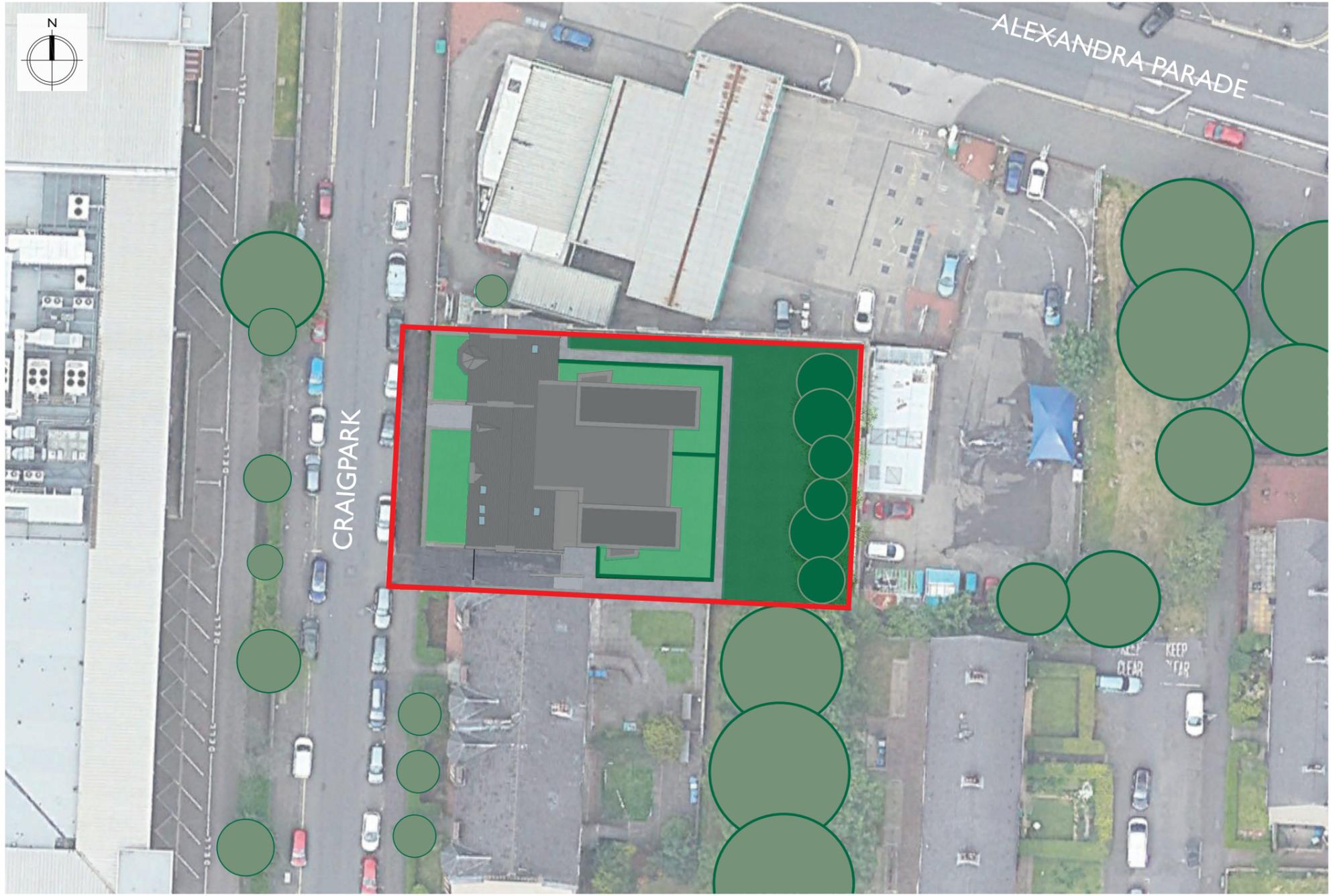
As the extension is smaller than the previous brick hall, the daylight and overshadowing of neighbouring properties will be improved.

**PROPOSED EXTENSION**

A three-storey extension has been added to the rear, with shared amenity space provided.

LANDSCAPE FRAMEWORK

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### LANDSCAPE PROPOSALS

Landscaping for the development is proposed to the front and rear of the site.

There are two existing garden areas to the front of the building on site. Both have hedging with a low rise wall and fencing surrounding them. These will be maintained and assigned as private gardens for future residents of the proposed development.

To the rear of the proposed development there will be more private gardens, again enclosed with hedging. The green spaces on either side of the proposed development will create a sense of character for the site by enhancing the landscaping across it.

In the eastern half of the site there will be an area of open green space with tree planting. The tree planting will provide for a more varied landscape, enhancing the biodiversity qualities of the site and also creating privacy along the eastern boundary.

The green spaces across the site will help to provide attractive outlooks from each flat that looks onto them.

- KEY:
- SITE BOUNDARY
  - TREES
  - OPEN SPACE
  - PRIVATE GARDEN
  - HEDGING
  - EXISTING TREES



Existing front garden area



Open green space with tree planting example



Existing tree planting on Craigpark



Hedging example

CHARACTER & MATERIALITY

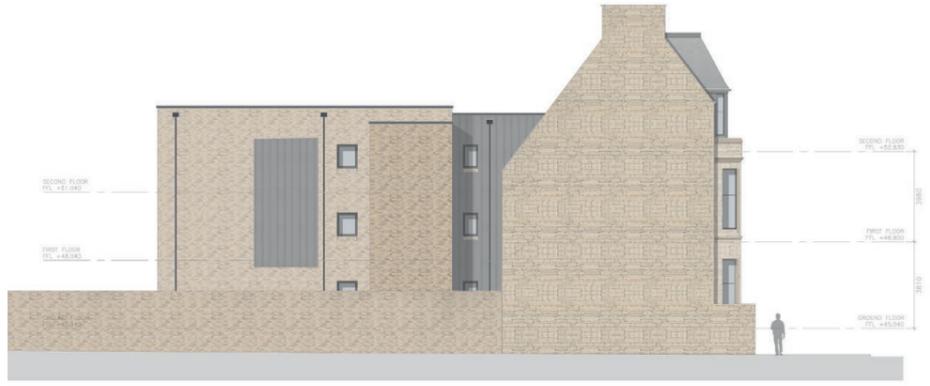
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Proposed Elevation 1 (Front)



Proposed Elevation 3 (Rear)



Proposed Elevation 3 (Side)



Proposed Elevation 4 (Side)

### FLAT TYPES & ROOFSCAPE

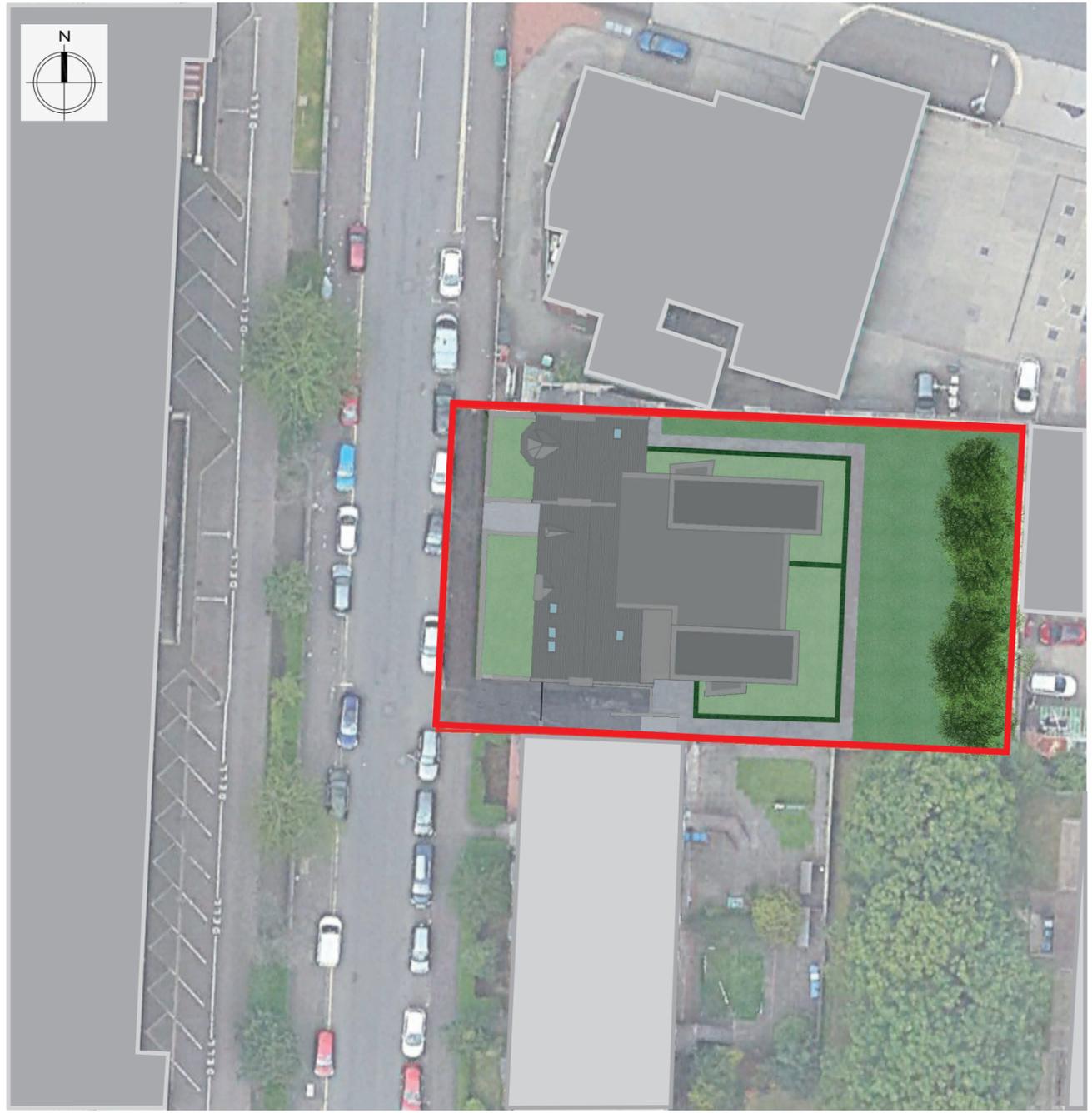
The proposed development for this site involves the renovation and extension of the existing building on site. It is a 3-storey, late 19th century building with a pitched roof- all to be retained to protect the character and listed status.

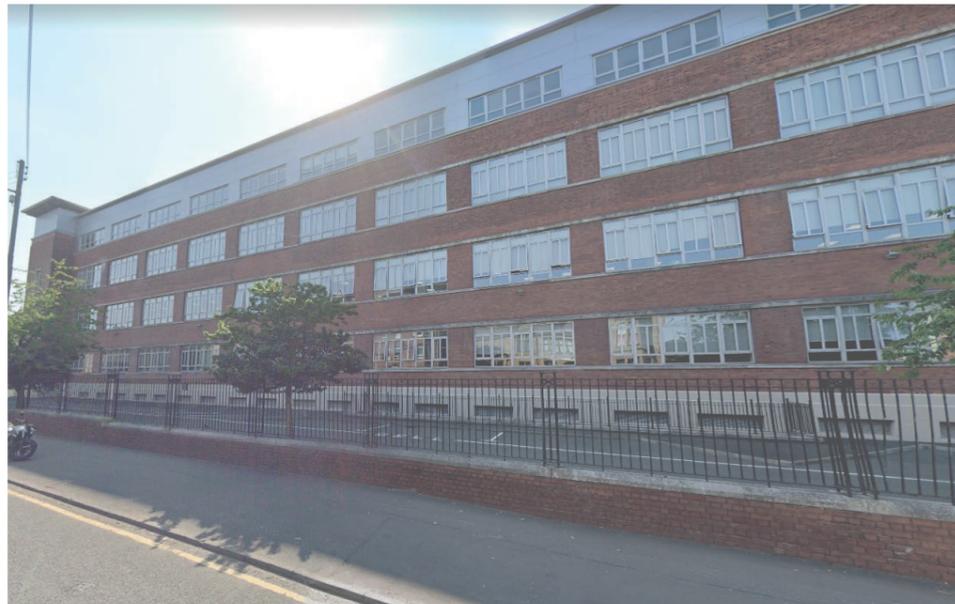
The proposed extension to the rear of the site will be a 3-storey flatted block, which compliments the existing whilst also enhancing the character of the site. It will have a flat roof which will not be seen from Craigpark, thus not altering the view of the existing building's facade.

Surrounding buildings vary in type, scale and roofscape based on purpose and era. The surrounding buildings on Craigpark are mostly residential, 4-storey, tenements with pitched roofs. A number of surrounding buildings have flat roofs, for example; the retail units adjacent to the site as well as the Citypark office building directly opposite.

The elevations to the left show the proposed development from each side, which highlights the difference in roof levels. The plan to the right shows the proposed development's roofscape, within its surrounding context.

- KEY:
- SITE BOUNDARY
- PITCHED ROOF
- FLAT ROOF





Existing office development opposite site



Existing retail development adjacent to site



Existing residential tenement adjacent to site



Existing residential development to rear of site

## CHARACTER & MATERIALS

The built character and materiality of existing dwellings surrounding the site vary, however residential developments predominantly consist of terraced 4-storey dwellings with pitched roofs. Retail and commercial units surrounding the site vary from 1 to 4-storey units, with mostly flat roofs.

There are a range of different materials in adjacent developments as well. These mainly consist of red sandstone, red brick, cream render and tiled roofs.

The existing building on site is a warm yellow sandstone with a slate tiled roof. These materials will be retained in full.

The proposed new building to the rear of the site will reflect the character of the existing building by adopting an appropriate, unified palette of materials. These materials will in turn compliment the site's immediate surroundings.

Materials proposed for the new building on site will be as follows:

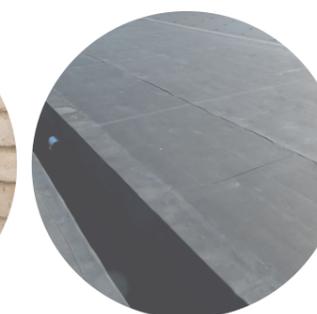
- Buff facing brick
- Dark grey double glazed windows
- Dark grey common entrance doorsets
- Dark grey painted metalwork juliet railings
- Dark grey PPC aluminium downpipes
- Dark grey PPC aluminium flashings
- Single ply membrane roof covering



Existing building on site



Buff facing brick example



Single ply membrane roof covering



Dark grey windows example



Dark grey doors example

Proposed materials for extension



## BOUNDARY TREATMENTS

The existing boundary treatments on site will be retained by the proposed development.

To the front of the existing building, surrounding the garden areas, are low rise walls with fencing and hedging. These low rise walls with fencing are repeated on either side of the main steps to the building.

Adjacent to the building is an existing gate, which will be kept for the proposed development.

To the rear of the site, hedging will be used to divide the proposed private gardens for future residents.

Tree planting will be used at the very rear of the sit along the eastern boundary.

- KEY:
- SITE BOUNDARY
  - EXISTING LOW RISE WALL WITH FENCING
  - EXISTING GATE
  - HEDGE
  - TREES



Bollards of low rise wall with fencing



Existing low rise wall with fencing and hedge planting



Existing gate adjacent to building



Hedging example

CONCLUSIONS

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## PROPOSAL SUMMARY

The site at 164-166 Craigpark is an excellent opportunity to provide 11 new flats in an excellent location, with easy access to a wide range of amenities and services for future residents.

The proposal responds to the existing site constraints and opportunities effectively.

The proposal retains and utilises the existing late 19th century building on site, protecting the listed fenestration.

The proposal reinforces the existing street frontage on Craigpark with active residential use from the proposed flats.

The proposal utilises the existing access points on site from Craigpark.

The proposal utilises the existing footpath connections between the site and Craigpark.

The existing footpath network surrounding the site provides easy access to key amenities and services in the wider context. The proposal's proximity to these services and amenities will actively encourage cycling and walking.

The proposal utilises the existing drive adjacent to the building on site for refuse storage, adequately planning for refuse management and collection for future residents.

The proposal's location on Craigpark allows for easy access to the site for vehicles, emergency services and waste collection.

The proposal's private gardens, open green space, hedges and tree planting will enhance the overall character of the site through the introduction of landscaping.

The proposal's open green space, hedge and tree planting to the rear of the development will enhance the biodiversity qualities of the site.

The proposal's frontage overlooking the open green space to the rear of the development will create an attractive outlook for new flats as well as enhancing the overall sense of security of the space.

The proposed new extension to the rear will compliment and enhance the existing building on site.

The proposed materials for the new building are selected to compliment the existing building on site (and in turn the existing surrounding buildings), whilst also providing its own character to create a sense of place.

The proposal will meet varying needs of all potential future occupants.

The proposal has been designed to meet with all national and local design requirements. It provides high quality new flats, within a very sustainable location.

