



# Landscape and Visual Impact Assessment

Proposed Residential Development at  
Engine and Tender Inn, Broome,  
Aston-on-Clun. SY7 0NT.

For and on behalf of:  
Delves & Co

Assessment prepared by  
Woodsyde Developments Ltd

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## 1.0. Introduction.

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Woodsyde Developments Limited has been instructed by Delves & Co to undertake a Landscape and Visual Impact Assessment to support proposals for a residential development on land at Engine and Tender Inn, Broome, Aston-on-Clun.

The proposals are for a development of 7 dwellings and renovation of the Engine and Tender Inn. A new access road will be constructed centrally along the site road frontage to the B4369 Class II County highway, also known as Broome Road.

This report will consider the site in the local context and setting and provide commentary on the local landscaping features and surrounding area.

## 2.0. The Proposals.

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The proposals are for a residential development of 7 dwellings on land at Engine and Tender Inn, Broome. The proposals also include the renovation of the existing Inn and update of the existing outbuildings that will be retained. The proposals will include the construction of an adoptable type of access and turning head to serve the development and this will be located just off centre of the 84m wide site rad frontage to the B4369. The existing hedge along the frontage to new development will be set back and enhanced with new planting as required and a new hedge and landscaping will be provided to the frontage of the Inn, which presently is fairly open. The following image shows the Inn some 10 years ago and the open frontage that exists. It is noted that the building was operation at the time and had a high level of maintenance. The remainder of the frontage to the site to the wet has a high 6 – 7-foot hedge, which has now grown higher due to a lack of maintenance. The second photo shows the hedge line along the frontage to the development land.



### 3.0. Site Location & Local Context.

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The site is located on the north-western edge of Broome and extends to approximately 0.49 hectares in total, which includes the existing Engine and Tender Inn building. It is understood that the public house has been closed for quite some time. The site has an approximate 84m frontage to B4369 Broome Road and access to the public house aligns with the western gable to the main portion of the Inn itself. This leads to a stoned parking area and further outbuildings to the Inn.

From the outside of the premises, the buildings appear slightly neglected and in need of maintenance/repairs.

The site is circa 700m outside of the Shropshire Hills Area of Outstanding Natural Beauty but is within the water catchment area of the River Clun.

The site falls within the administrative area of Shropshire Council.

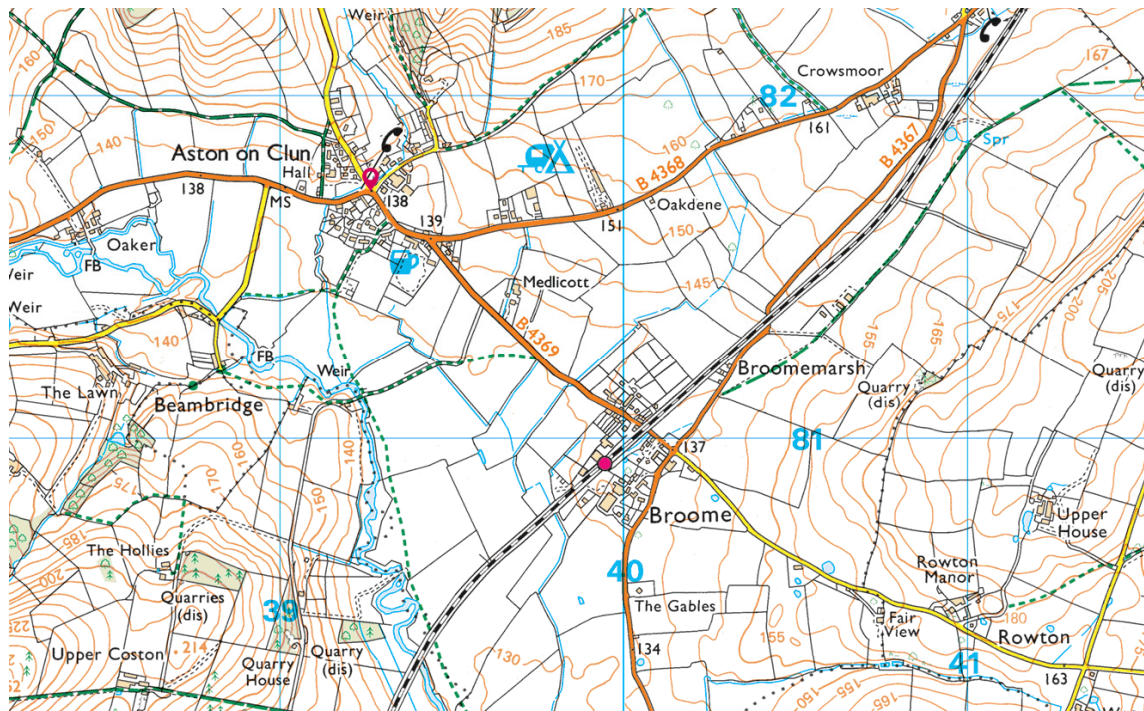


## 4.0. Topographical Features.

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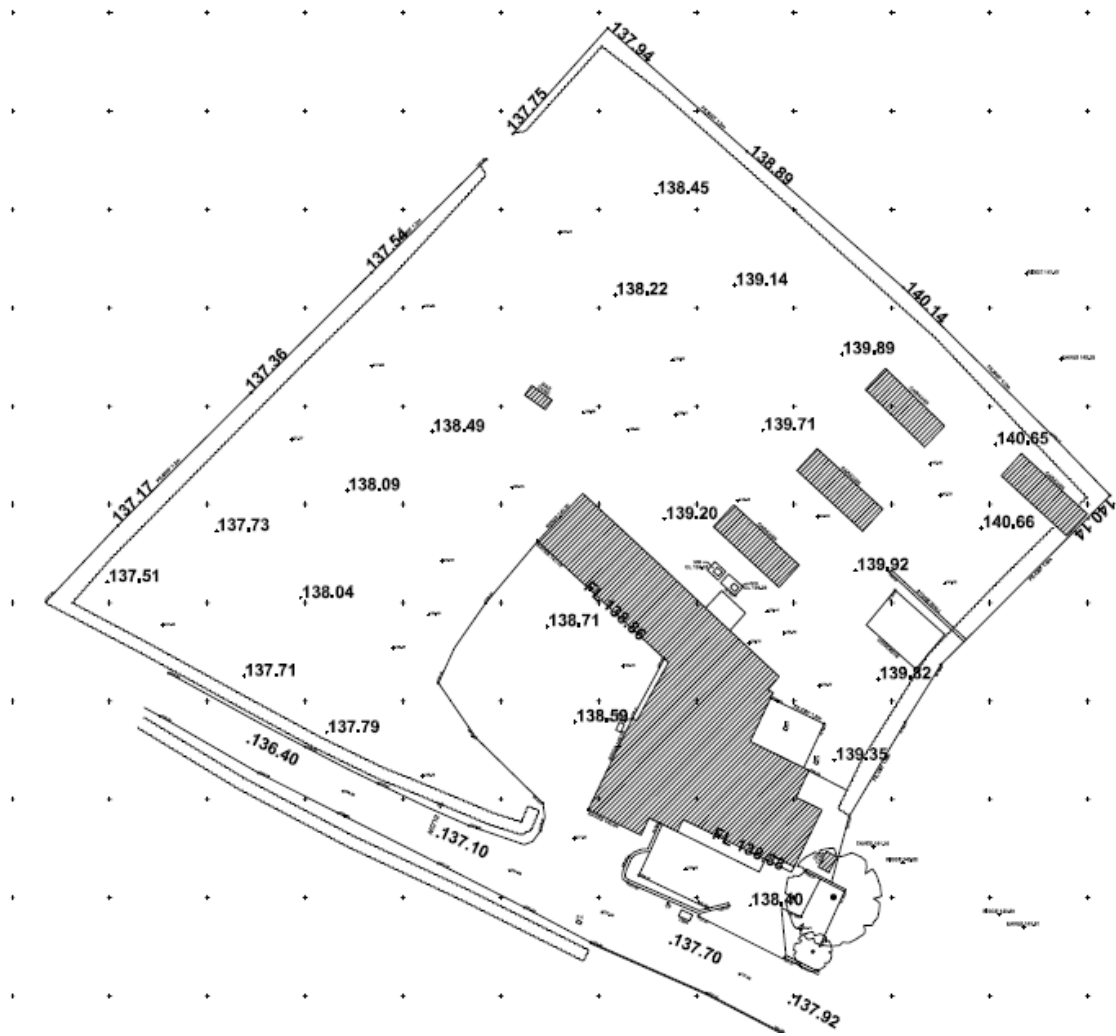
The site sits on the north-western edge of the village of Broome and from the ordnance plan below it can be seen that the site location is on the edge of what could be described as a valley with the ground rising sharply to the north, west and east, with the valley tending to extend to the south. The valley floor is to the west and southwest of the site and sits at an approximate level of 130m.

Figure 1: Extract of Ordnance Plan



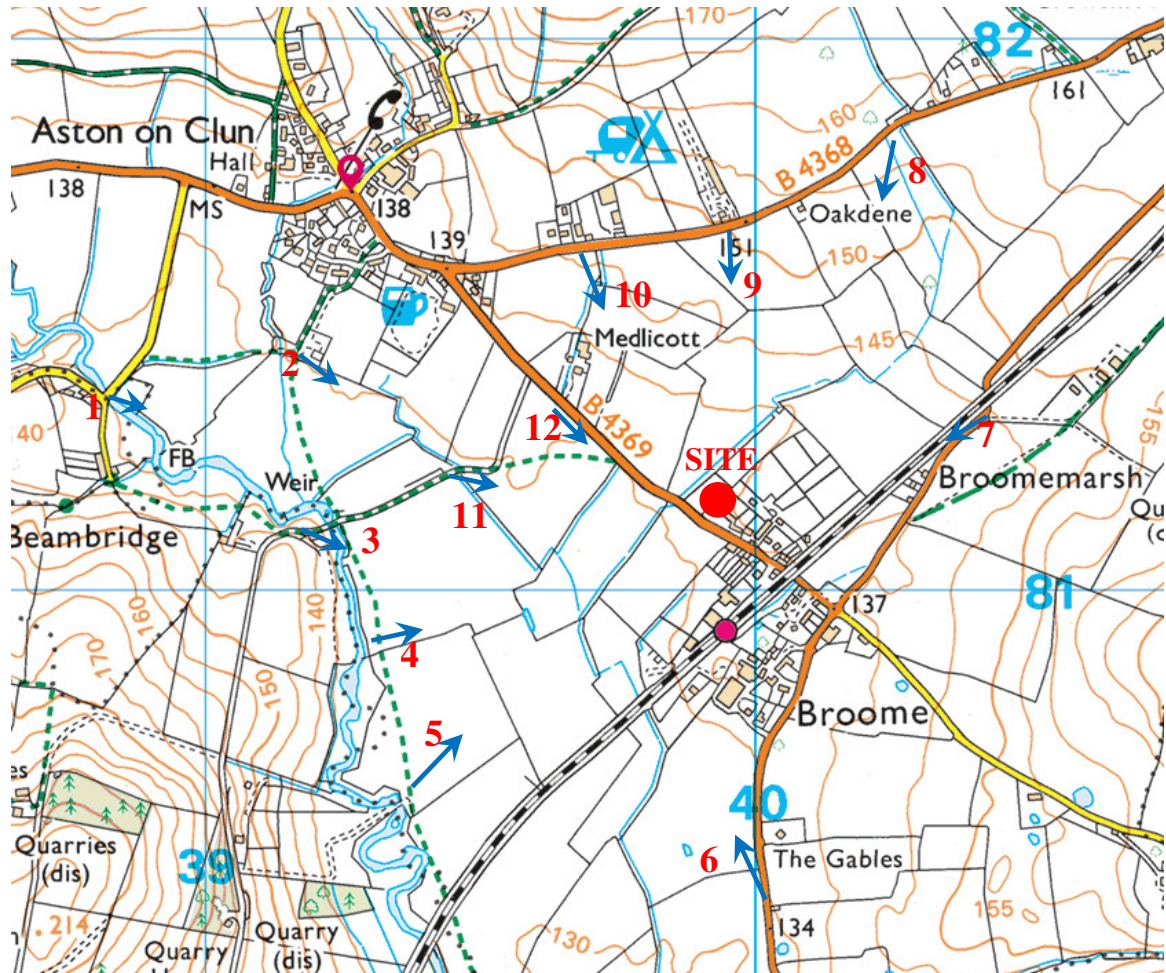
The following extract of the topographical plan shows that the site sits at a typical level of approximately 138.5m AOD. The site tends to fall by around 2m from east to west and approximately 1m from north to south. The highest point of the site is the north-eastern corner which has a level of 140.14m AOD. The lowest level is 137.17m AOD in the southwestern corner along the western boundary. The topographic arrangement would suggest that the new development will sit predominantly in the lower section of the site and will therefore be less prominent. The finished floor level of the Inn sits at around 138.86m AOD to the attached outbuilding and 138.88m AOD for the main body of the Inn. The county highway fronting the site is at a slightly lower level than the site with this rising to the west towards the village centre and falling away for a short distance to the west before rising with the natural contours of the surrounding land.

Figure 2: Extract of Topographical Survey of the Site.



## 5.0 Visual Appraisal and Landscaping.

The following plan shows locations of vantage points where photos and views have been obtained to see how the site can be observed and viewed from County highways, footpaths and bridleways.





Vantage Point view and comment

Photo 1. Taken next to vehicular bridge on entering Beambridge. No visible sighting of the site available.



Photo 2. Taken from footpath east of Beambridge. No viable view of the site or Broome



Photo 3. Taken next to vehicular bridge on entering Beambridge. The white building to the right of the arrow is the Engine and Tender Inn



Photo 4. Taken along footway along valley floor. The Inn is prominent as it is a white building, but the remaining development lands is screened.



Photo 5. Taken along footway along valley floor. The Inn is prominent as it is a white building, but the remaining development lands is screened.



Photo 6. Taken along B4367 south of Broome. No views of site can be seen from this location.



Photo 7. Taken along B4367 north of Broome. No views of site can be seen from this location.



Photo 8. Taken along B4368 north of Broome. No views of site can be seen from this location.



Photo 9. Taken along B4368 north of Broome. No views of site can be seen from this location.



Photo 10. Taken along B4368 north of Broome. No views of site can be seen from this location.



Photo 11. Taken along footpath/private road east of the site. north of Broome. The hedge is mature and over 6ft in height and no reasonable view is available.

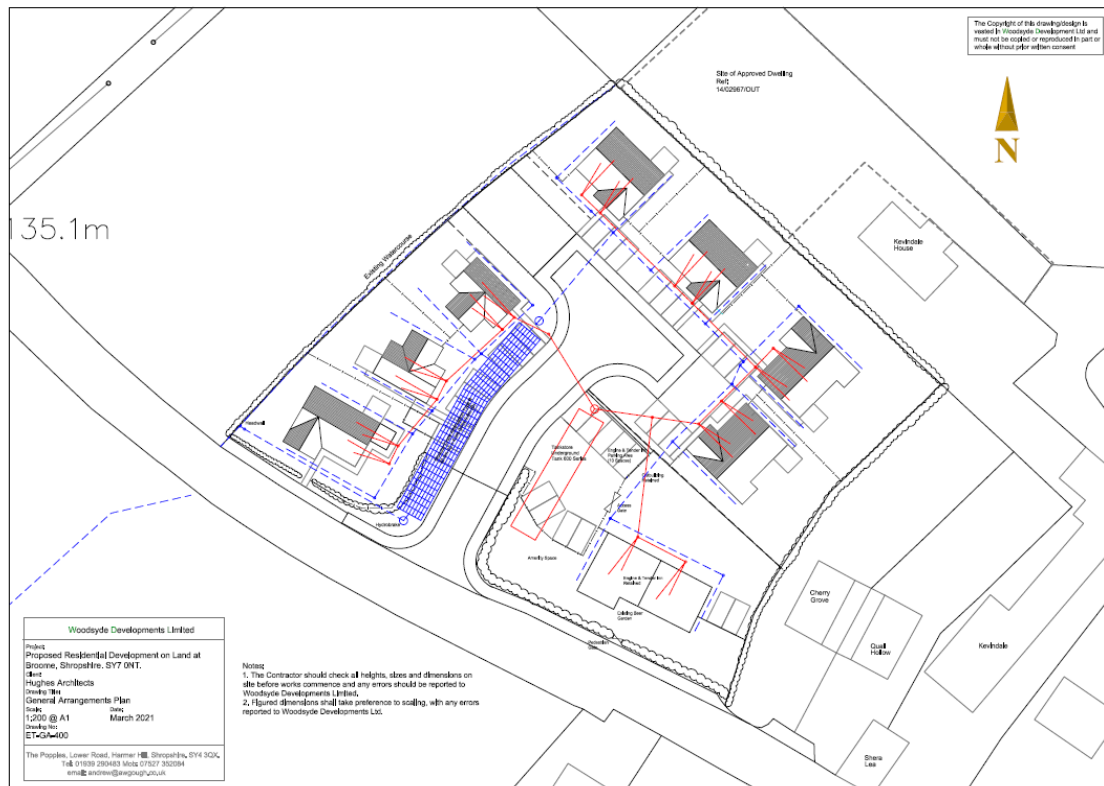


Photo 12. Taken along B4369 on approach to Broome and the site from the west. There is no view of the site from this approach



From the above photos the site is well screened from most directions, public highways, public footpaths and bridleways. Hedge lines bordering the footpaths and roads with a vantage point of the site are mature and presently with the summer growth there is no opportunity to view the site other than from the footpath fronting Bridge Cottage off the private drive and footpath to the northwest of the site. Even when foliage is down given the number of trees and hedges, I do not consider the site will be visual to users of the public highway or indeed the public rights of way.

## 6.0 Site Appraisal Plan



The site layout is relatively conventional with dwellings located around a central access road. The existing hedge over the width of the new access will be removed and the remaining hedge line will be set back along the requisite junction visibility splays to allow a safe and satisfactory access to the development and retained Engine and Tender Inn. The existing access to the Inn will be closed up and a new mixed species native hedge will be planted across the whole of the frontage to the Inn. A pedestrian access will be retained to this frontage. The provision of this hedge will in part screen the existing building which is more prominent being white render. Viewing the site from outside of the site from the footpath along the valley bottom to the west means your natural eye is drawn to the existing building. The proposed properties fronting the county highway B4369 will in all likelihood be finished in a suitable brick which compliments the existing build in the nearby proximity. The existing building at the rear of the site, being a residential care home is quite dominant and prominent given its size and the fact that it sits on higher ground.

The overall landscaping of the development will ensure that the existing hedges which bound all sides of the development are enhanced and restocked, as necessary. Tree planting will be reviewed to boundary hedges, with each plot provided with an overall landscape scheme.

## 7.0 Landscaping Opportunities and Constraints

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To ensure a safe and satisfactory access in the interest of highway safety the existing access will be closed up and a new all-purpose access provided just off centre from the mid-section of the site road frontage. This will permit maximum visibility and a suitable layout for the development. Access to the Inn car park will be from the estate road as shown on the plan in Section 6 above. The repositioning of the access will mean that greater use of new hedges will be incorporated into the scheme across the site road frontage.

Additional new planting using native species will be used to fill gaps and enhance the existing mature boundary hedges that already surround the site, which in their own right provide ample screening both from the development out and from outside in. This will not detract from the development and adequate space is available around the proposed properties to fulfil amenity space requirements. Driveways can be less intrusive with the use of alternative materials to tarmacadam, which will enhance the overall character of the development.

Other than strengthening existing boundary features and provide a new hedge line along the frontage to the Inn given the relatively small site it will be difficult to provide any greater screening but given the limited vantage points that the site can be seen from I see no reason why subject to a suitable landscaping design for the domestic areas that the development would have any detriment affect on the visual amenity of the area.



## 8.0 Conclusion.

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Overall, this assessment has indicated that the site can be viewed by only a small number of vantage points with this primarily restricted to the public footpath on the opposite side of the valley floor and being some 650 – 700m to the southwest and west of the site. There are no vantage points where the site can be seen from the west, north or south beyond the railway line. The existing screening to the site is significant and it is suggested that even through the winter period given the density of the hedge lines and number of trees within the viewing area of the site will ultimately mean the site will have limited impact on the natural topography or landscape setting.

New hedges and reinforcement to existing hedges around the site will mean that even the Inn itself is less conspicuous. Opportunity is available through the planning system with the implementation of planning conditions to seek appropriate build materials to blend and complement the area. Furthermore, a planning condition can be used to seek full detailed landscaping for the development itself.

In assessing the landscape impact and having completed both visual inspections and assessment of the site, the development as a whole will be quite discreet in the overall setting, both locally on the edge of the village and in the wider context.

The overall development with enhancements to the existing screening, hedges and new boundary treatments will mean that the proposals will sit conveniently in this edge of village location and will have virtually no material or significant affect on the wider landscape area.