

Penoffa Farm: Event Barn

Design and Access Statement

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2006: Penoffa Farm, Powys

28 September 2021

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Introduction

This statement is made on behalf of the site owners Mr Stuart Dopson and Miss Miranda Roberts. It accompanies an application to utilise one of the sites existing cow barns as an Event space.

The site is located in open countryside and is approximately 17.65 hectares in size. This proposal examines the character of the wider area to make an appropriate proposal that contributes positively and sustainably to the areas existing assets and tourism offer.

DESIGN

1. Assessment

1.1. Site Appraisal

- a) Penoffa Farm is located in a rural landscape in the community of Old Radnor, it is approximately 1.6km north of Evenjobb and 6km west of Presteigne. The site is set within a landscape of hills along the northern edge of the Walton Basin Plain. It is dominated by rolling pasture and woodland, with a very low density of development and Offa's Dyke running along its eastern boundary.
- b) The site is approximately 17.2 Hectares in size and broadly diamond shaped on a north/south to east/west axis. The main farm house is located towards the centre of the site and accessed via the sites main entrance road which enters the site at its northernmost point. To the west of the site Scheduled Ancient Monument site RD062 known as Castle Ring to the East of the site runs the Offa's Dyke National Trail which designated Scheduled Ancient Monument RD022. From the northern end of the site the trail runs along the sites boundary for approximately 370m, the site boundary then steps out to include 150m of the trail.
- c) The site for this application is situated within the central part of the site at the edge of the main farm yard. It is the largest of a series of barns and is until recently was utilised to house cows.
- d) The Offas Dyke Path sits approximately 150m to the east of the site. The Castle Ring sits approximately 200m to the south west. Due to site topography and mature woodland Castle Ring cannot be seen from the site.
- e) The site is rural in nature with the character of a typical mixture of both old and new farm outbuildings made from a mixture of materials such as stone, slate, corrugated tin and cement fibre panels.

1.2. Pre Planning Advice

- a) A pre planning Application was submitted to Powys County Council in October 2020 (ref: 20/0147/PRE). Advice was received in December 2020. The Pre application provided a broad overview of the masterplan for works at the site via a strategy booklet, in the document an event venue was proposed on the area of the site now being applied for.



- b) The advice concerning the event barn highlighted that Policy TD1 of the LDP (2018) seeks to ensure that development proposals for tourist accommodation, facilities and attractions, including extensions to existing development, will be permitted as follows:

- Within settlements, where commensurate in scale and size to the settlement.
- In the open countryside, where compatible in terms of location, siting, design and scale and well integrated into the landscape so that it would not detract from the overall character and appearance of the area and in particular where:
 - It is part of a farm diversification scheme; or
 - It complements an existing tourist development or asset, without causing unacceptable adverse harm to the enjoyment of that development or asset;

- c) The advice noted that a further information in terms of the number of cars on site and likely service vehicles will be required in order to fully assess the application, however that the principle of the scheme fundamentally complied in principle with planning policy.

1.3. Design Considerations

- a) The site is close to Scheduled Ancient Monuments RD022 and RD062. Additionally, given its open countryside position the impact upon the landscape must be carefully considered.
- b) The design should reinforce and enhance the landscape character, which is rural/agricultural in nature.
- c) The proposed scheme should be of a scale that sits comfortably with the existing buildings and site.

2. Design

2.1. Use

- a) The Event space has the potential to accommodate up to 120 guests in a single event. Whilst it is anticipated that most events (weddings for example) will be around 80 guests the application is seeking permission for maximum capacity events. Due to necessary preparation requirements for events it is anticipated that 3 events per week at maximum capacity could be accommodated.
- b) Adjacent to the barn it is proposed to allocate an area of existing field to camping for guests who wish to remain on site overnight. The camping would be limited strictly to guests of the Event Barn. Space and facilities for approximately 65 people to camp has been allowed.

2.2. Siting

- a) The site for the event barn is determined by the location of the existing barn, however it is well suited to the proposed use being on the edge the main farm yard and amenities this provides, whilst also being able to connect with the surrounding fields and landscape.

2.3. Scale and Composition

- a) The existing cow shed is of a scale typical to agricultural/rural farmsteads and therefore considered appropriate to the setting.

2.4. External Appearance

- a) *Form*
 - This will remain unchanged.
- b) *Materials*
 - The existing walls are clad in a mixture of rusting corrugated metal and timber hit and miss boards. It is proposed that this cladding would be replaced with hit and miss timber cladding. This would either be painted a muted red in line with the colour palette typical of farm buildings in the wider area (dull reds/greens and blacks), or left unfinished to silver back naturally.
- c) *Rainwater goods*
 - Rainwater goods would be large format steel gutters (as existing), painted dark red.

2.5. Biodiversity

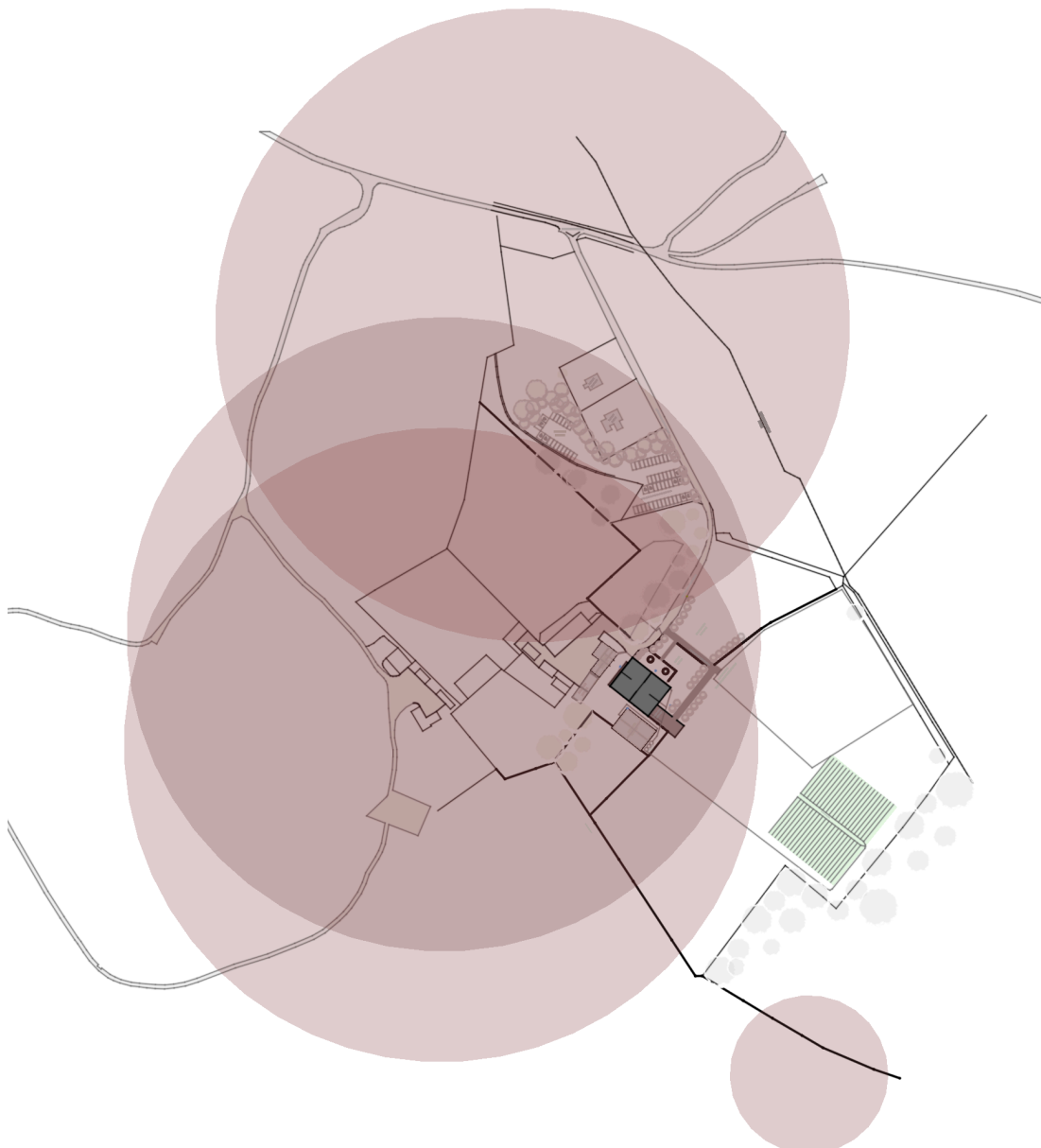
- a) Access to the site and position of the buildings has been designed to avoid any impact upon the sites existing trees or planting.
- b) Planning Policy Wales (PPW) 10 sets out that “planning authorities must seek to maintain and enhance biodiversity in the exercise of their functions. This means that development should not cause any significant loss of habitats or populations of species, locally or nationally and must provide a net benefit for biodiversity” (para 6.4.5 refers). This policy and subsequent policies in Chapter 6 of PPW 10 respond to the Section 6 Duty of the Environment (Wales) Act 2016.
- c) Section 6 under Part 1 of the Environment (Wales) Act 2016 introduced an enhanced biodiversity and resilience of ecosystems duty (the S6 duty) for public authorities in the exercise of functions in relation to Wales.
 - *6. Biodiversity and resilience of ecosystems duty*
(1)A public authority must seek to maintain and enhance biodiversity in the exercise of functions in relation to Wales, and in so doing promote the resilience of ecosystems, so far as consistent with the proper exercise of those functions.
- d) A habitat assessment was undertaken by Mid Wales Ecology. The report found that the cow shed had no potential to house bats, but that nesting birds were present. The report advised that work should either occur outside of the nesting season, or that an appropriately qualified Clerk of Ecology be present to advise accordingly if undertaken during the nesting season.
- e) Enhancement to the existing biodiversity will be provided by bat and bird boxes located on the gable end elevations of the building. Further information on the type and location of these boxes is included on the elevational drawings
- f) Native species tree planting and an areas of wildflower planting are incorporated within the scheme. The Site plan provides further detail relating to these enhancements.

2.6. Surface Water Drainage

- a) An assessment of the surface water has been provided with the application in the document titled ‘Water Use Analysis’. The report, in conjunction with the existing and proposed site plans demonstrates that impermeable surfaces will be significantly reduced by the proposed scheme. Roof water will continue to drain as it currently does (to an existing soakaway).

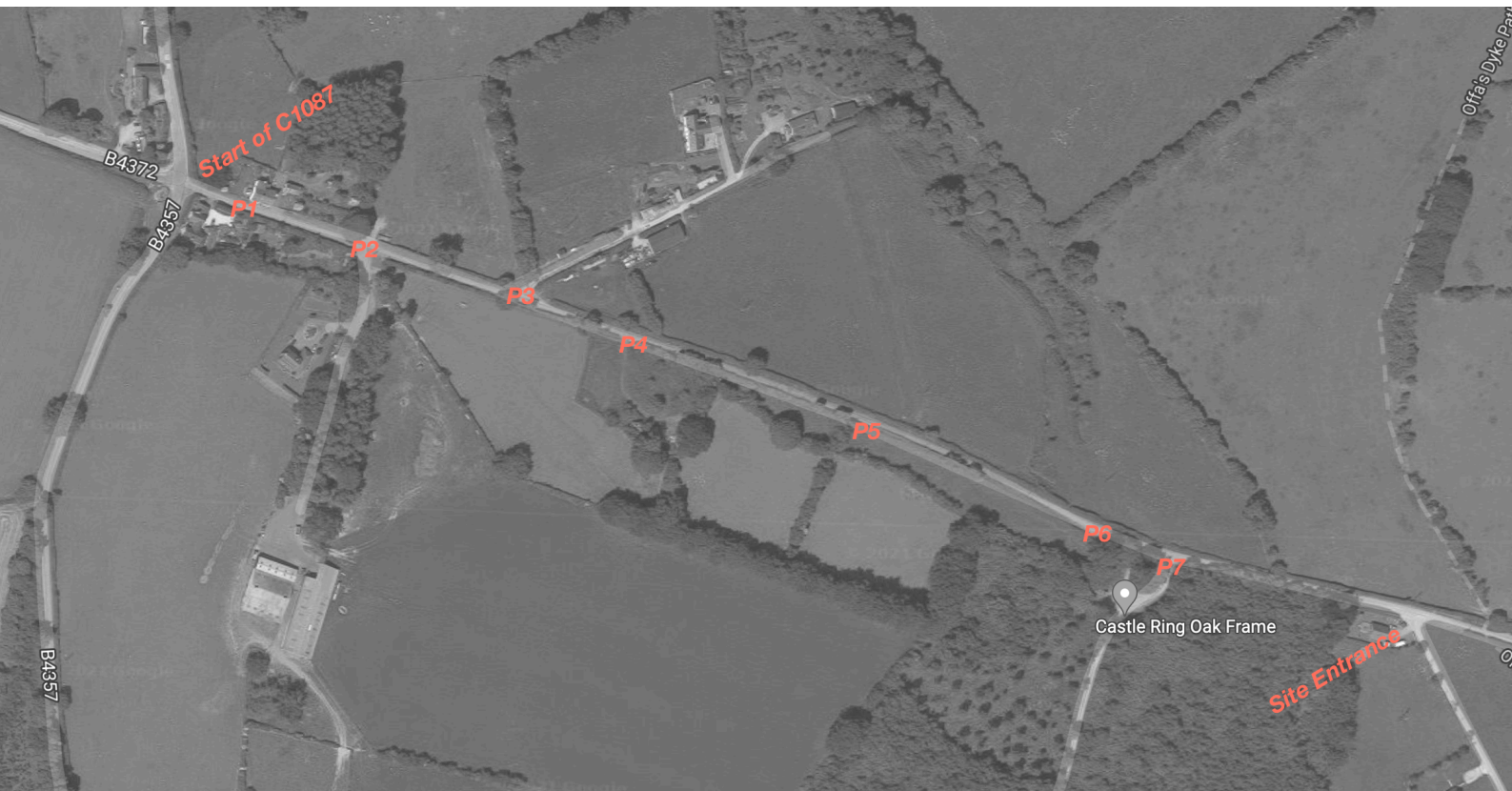
2.7. Foul Water Disposal

- a) There are no existing public sewer pipelines within 1 mile of the site, it is therefore considered not possible to access the public sewer network. A sewage treatment plant is therefore proposed.
- b) A percolation test has been undertaken, a Vp rate of circa 50 was achieved, from this a drainage field has been sized at approximately 1,500m². The drainage field has been sited over 200m away from any existing drainage field or water course (as shown in the diagram below, red zones representing areas with existing soakaways and the green zone the location of the proposed soakaway field). The installation would be in accordance with BS6297:2007+A1:2008. The application for the drainage field and treatment plant is submitted on a separate, concurrent application.



2.8. Vehicle Management

- a) At a maximum capacity of 120 guests 60 parking spaces have been allowed for. The parking spaces would be provided on a field close to the sites main entrance and accessible from the existing main service road for the site.
- b) In order to minimise impact upon the landscape grass protection mats would be used to provide a suitable parking base whilst maintaining the visual appearance of a field.
- c) Separate parking for 2 catering vans has been allowed for adjacent to the food preparation area of the main barn.
- d) From the B4357 traffic would follow the C1087 for 690 metres. The lane is single vehicle, but has 7 passing places evenly distributed along this distance (highlighted on plan below). The existing site entrance is level, laid in tarmac and has good visibility splays in both directions, there is room for two cars to sit side by side allowing for arriving cars to enter the site whilst an existing vehicle is present.



ACCESS

3. Site and Building

3.1. Accessible and Inclusive Design

- a) The event barn will be subject to and required to comply with the appropriate building regulations covering accessibility, movement and navigation throughout the building and external landscape. This statement demonstrates strategies adopted from best practice guidance documents throughout the design process.

- b) The entrances will provide a level threshold and any protruding up-stand greater than 5mm will be chamfered or rounded, any subsequent level change greater than 15mm will be clearly visually marked. All entrance and threshold treatments to comply with Approved Document M.

3.2. Lighting

- a) The switches and socket outlets in all areas are to be located within easy reach of all and will be in accordance with Approved Document M of the Building Regulations. Lighting throughout the buildings will be designed to help orientate the building users. Colour and luminance contrasts will be used to separate elements of the building such as steps, handrails etc. as well as wall, floor and ceiling finishes. Lights will be positioned where they do not cause glare, reflection, shadows or pools of light and dark.

- b) Externally lighting will be limited to low level convenience lighting only in accordance with the requirements to move about the site safely at night.