

Warrenside Farm

Priors Dean, Petersfield, Hampshire

Pre-Application Design & Access Statement

November 2021



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The Site



Introduction |

Project Background | Equestrian Centre

The site sits within the South Downs National Park to the north of Petersfield in the hamlet of Priors Dean. Warrenside Farm sits on high land and is isolated from any neighbouring properties. The farm has been developed in more recent times to provide equestrian facilities with a number of outbuildings providing stabling and other storage requirements. The main farmhouse has also recently been renovated to provide an environmentally considered home.

The environmental standards of the farm are exemplary, with all energy utilised on the site plus charging of two electric cars, the through year energy consumption is significantly carbon negative.

The land surrounding the farmhouse is currently occupied by a series of barn structures, providing stables and storage facilities. This series of buildings extend to the north of the house with a large modern barn and a longer brick barn building to the northern edge of the main curtilage with a sand school beyond this. This area of the site has the benefit of Planning as a Commercial Equine Facility which can generate significant traffic and associated noise and loss of tranquillity.

The site enjoys panoramic views over the surrounding countryside to the east with views out over the 'hangars' ancient woodlands. The western edge of the site is screened from the road by tall hedgerows with two entry points from the access road on this side of the site. The land slopes down from the road towards the east with an approximate drop of 2m from the western to eastern boundaries of the site. The large modern barn which measures approx. 6m in height sits adjacent to the western boundary and is therefore very prominent when passing the site from the public realm. It is also quite prominent in the views looking up to the site from the east, the west and the south.

Proposals

Our proposals seek to replace four of the existing barn structures with a new, low-lying residence that will provide accommodation for the retirement home of the current owners of Warrenside Farm.

The barns to be removed would be the two barns to the northern edge of the site, fronting the road and are the main visible buildings when driving or walking past the farm. The larger of the two structures is a modern barn with timber cladding, exposed blockwork walls and a corrugated panel roof.

The smaller of the barns is a long brick building of earlier construction which also has a corrugated panel roof. The new dwelling has been designed to nestle down into the slope of the site. The lower ground floor sits within a sunken courtyard garden, which opens up to the eastern edge of the site. Above this sits a lightweight glazed structure which straddles the sunken garden.

Accommodation

The main two-storey structure provides a three bedroomed, self-contained, carbon neutral dwelling for the current owners of Warrenside Farm's retirement. The upper ground floor provides self-contained accommodation with kitchen/living and bedroom/bathroom facilities for the owners and guest accommodation downstairs. A large deck surrounds this level providing covered outdoor space with views out over the surrounding landscape. The deck and the brise-soleil above, also shade the large windows from the sun. An additional single storey structure at the front of the building provides a garage and storage and the roof will be from solar PV panels sufficient to deliver net zero carbon living for all energy use within the house.

Why should this project be given planning? |

The SDNP has some spectacular countryside. This site sits in one of the most beautiful parts of the Park. It's outside the areas identified for development and so without mitigation measures would normally not be considered. However, this site has extensive views across the Hangers with boundaries to some of the oldest Ancient Woodlands within the Park. Its land adjoins these areas and its outbuildings offer significant opportunities to improve the area.

Proposal Offers:

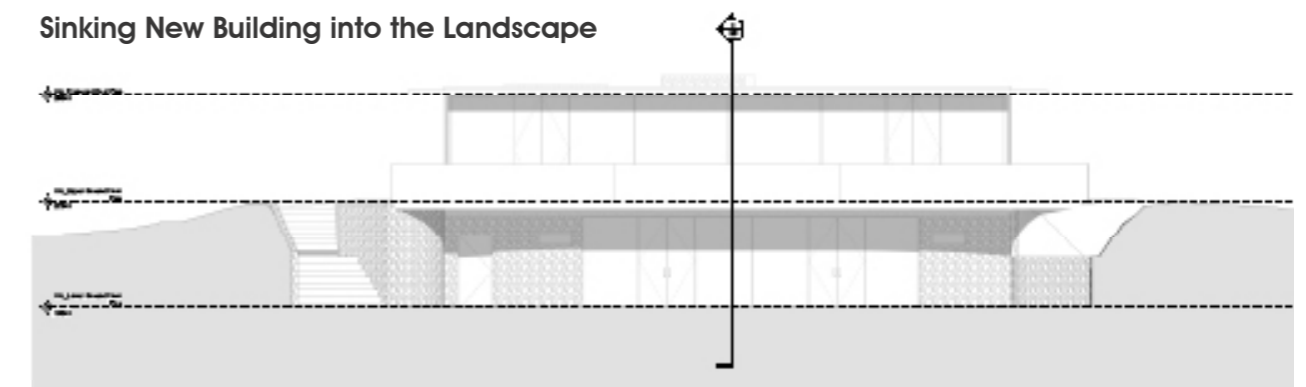
- Removal of the most prominent and unattractive steel framed and brick/block/timber outbuildings
- Addition of a new, low-lying, highly sustainable residence which will have a green roof, minimum embedded carbon and net negative carbon production thru' year for energy use. Design features allowing the envelope to flex depending on environmental conditions will make it a truly innovative design developing the direction for future builds.
- Net reduction of over 65% in plan area and 80% in built volume
- Thru' year energy negative design including the energy taken for car charging for 20,000 miles/annum. This represents the 'Holy Grail' for house building of the future
- Massive reduction in visibility of buildings to the North end of the site, with surface area visible from the East looking back of 70%, from the North of over 50%. The proposal won't be seen at from the East or the South, so 100% reduction in visibility from these views.
- Removal of the current Commercial Equestrian planning removes the large traffic issues related to large horse boxes to equestrian events which we see as a significant threat for this area
- General reduction in traffic movements and move to much smaller vehicles
- Substantive landscape enhancements:
 1. Re-wilding of areas adjacent to the Ancient Woodland to allow the forest to naturally take back areas
 2. Widening of hedgerows to form green links between areas of forest allowing wildlife to move more easily around our countryside
 3. Planting of trees in hedgerows to meet the best wildlife enhancing recommendations
 4. These measures offer the most effective way of sequestering carbon available to us

In summary, the wide range of improvements move the balance strongly in favour of supporting this application to enhance the area and the Park. More detail follows and we welcome any questions. We look forward to discussing and working with the SDNP to deliver this scheme.

Removal of Existing Buildings



Sinking New Building into the Landscape



Enhancement & Re-Wilding of Surrounding Landscape



Client Brief |

Impact on Local Countryside & South Downs National Park

The current barn structures have a combined footprint of approx. [600]m² and an approx. volume of [5,000]m³. The taller barn measures approx. 6m to the ridge and the smaller barn approx. 4m to the ridge - both measurements are taken from the existing entrance level. The new buildings will have a proposed footprint of approx. 300m² in area with an approx. volume of 915m³. approx. 150m³ of the lower ground level will lie partially below existing ground levels. The taller of the two structures will measure approx. 3.65m high. These figures represent a substantial reduction in both the footprint and the volume of the buildings on the site. The new buildings will also be lower lying with a large part of the lower level sitting below the existing ground levels, thereby dramatically reducing the impact that these buildings will have on the surrounding landscape. The new buildings will be less solid in their external appearance with largely glazed facades to the front and rear, allowing views through the building from the east and the west. The roof to the main building will also be planted with meadow grasses and flowers to provide a softer appearance that will change with the seasons.

- Large reduction in building volumes
- Improved views of the site from public footpaths and bridleway and roads
- Removal of asbestos roofing
- Reduction in traffic from commercial equestrian to single domestic residence

Existing buildings	
Barn 1	
Barn 2	
Brick outbuilding	
Total plan area existing	600 m ²
Total volume of existing	5000 m ³
New Dwelling	
Total plan area proposed	200 m ²
Total volume proposed	1000 m ³
Reduction in area:	67%
Reduction in volume	80%

Surrounding Context



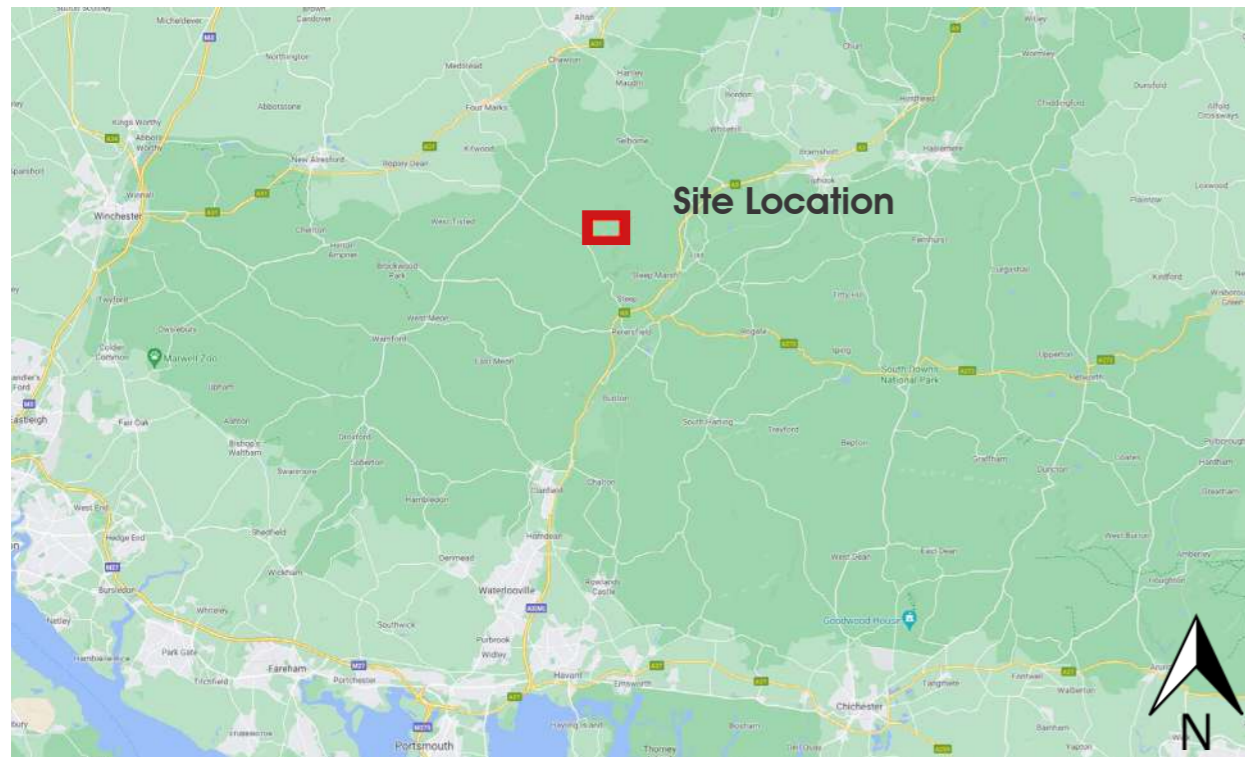
Location | Wider Context

Site Address:

Warrenside farm,
Priors Dean,
Petersfield,
Hampshire,
GU32 1BW

Accompanying Drawings:

- 010 Location Plan
- 050 Proposed Site Plan
- 060 Proposed Site Plan
- 100 Proposed Lower Ground Floor Plan
- 110 Proposed Upper Ground Floor Plan
- 120 Proposed Roof Plan
- 130 Garage Floor Plans
- 200 Proposed East & West Elevations
- 210 Proposed North & South Elevations
- 220 Proposed Garage Elevations
- 300 Section A-A
- 700 3D Views



Location Plan




The Site |



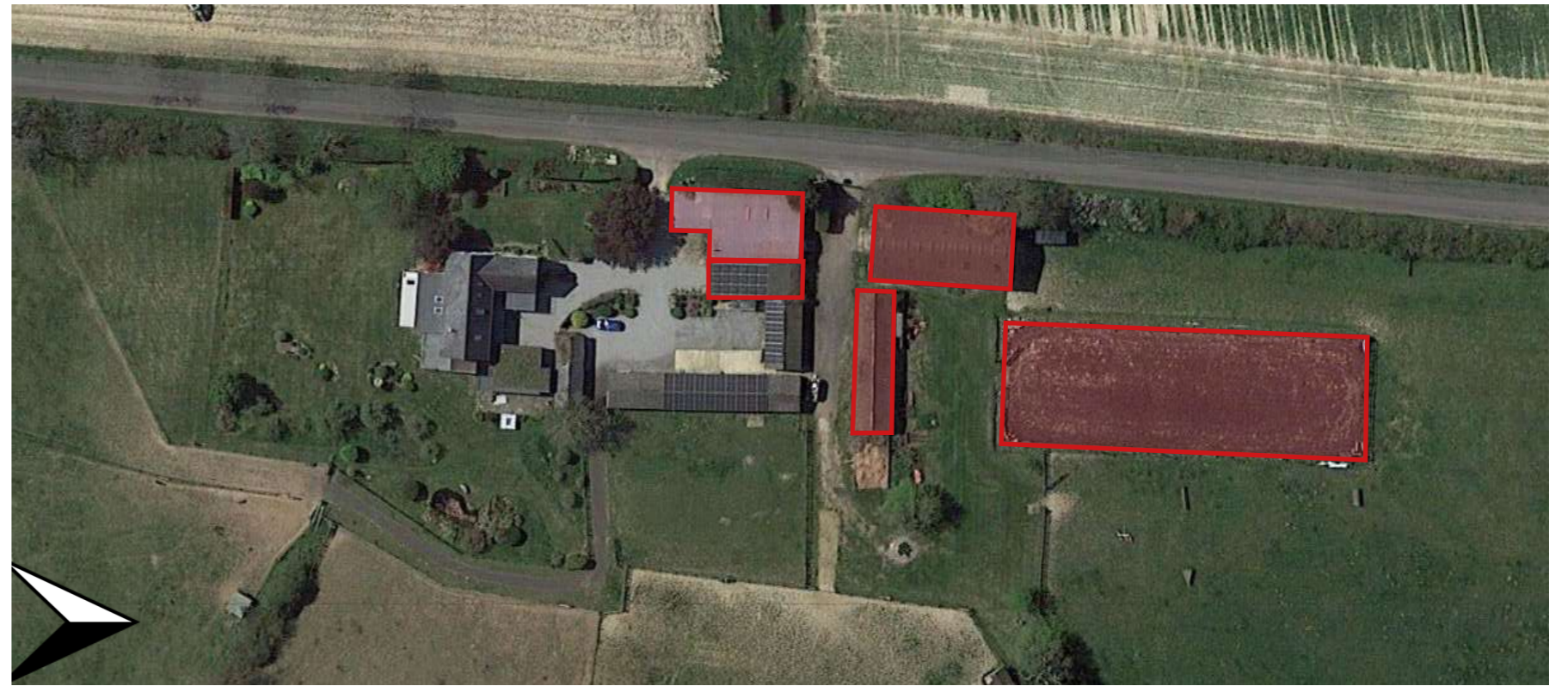
Site Photographs | Aerial Views



Existing Buildings to be Removed |

 - Buildings to be removed

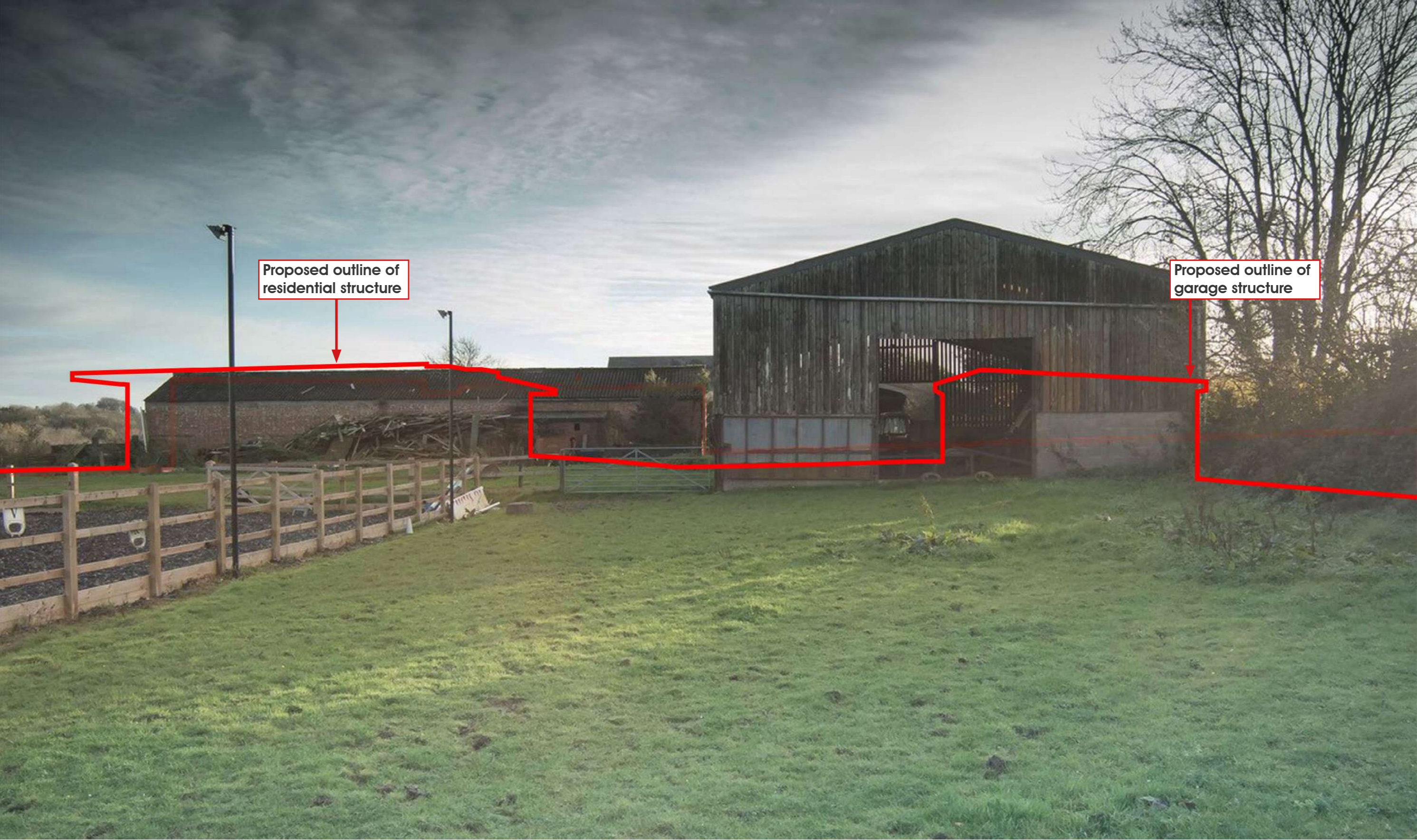
Plan View



Aerial View



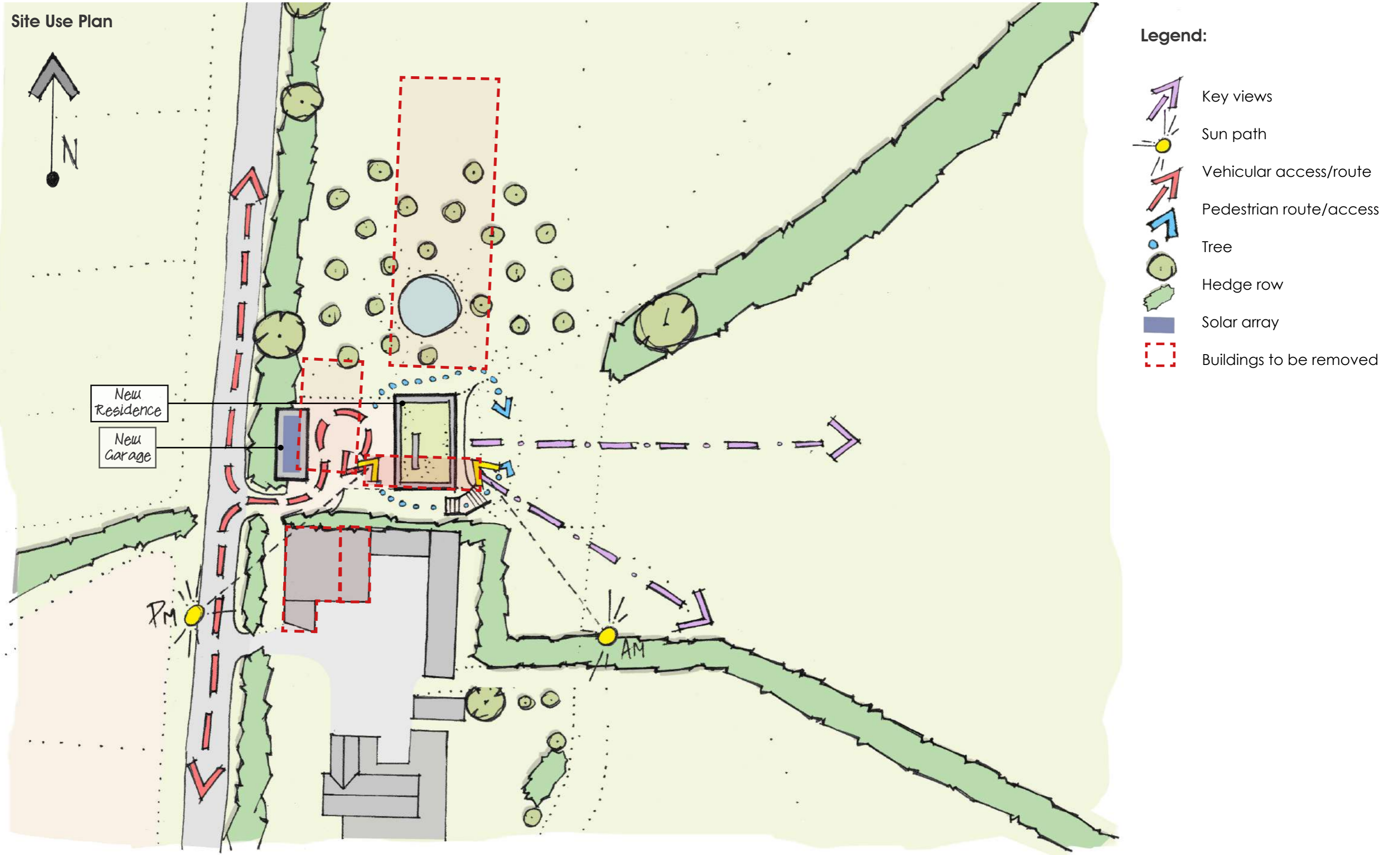
Proposed Building Heights |



Proposed outline of residential structure

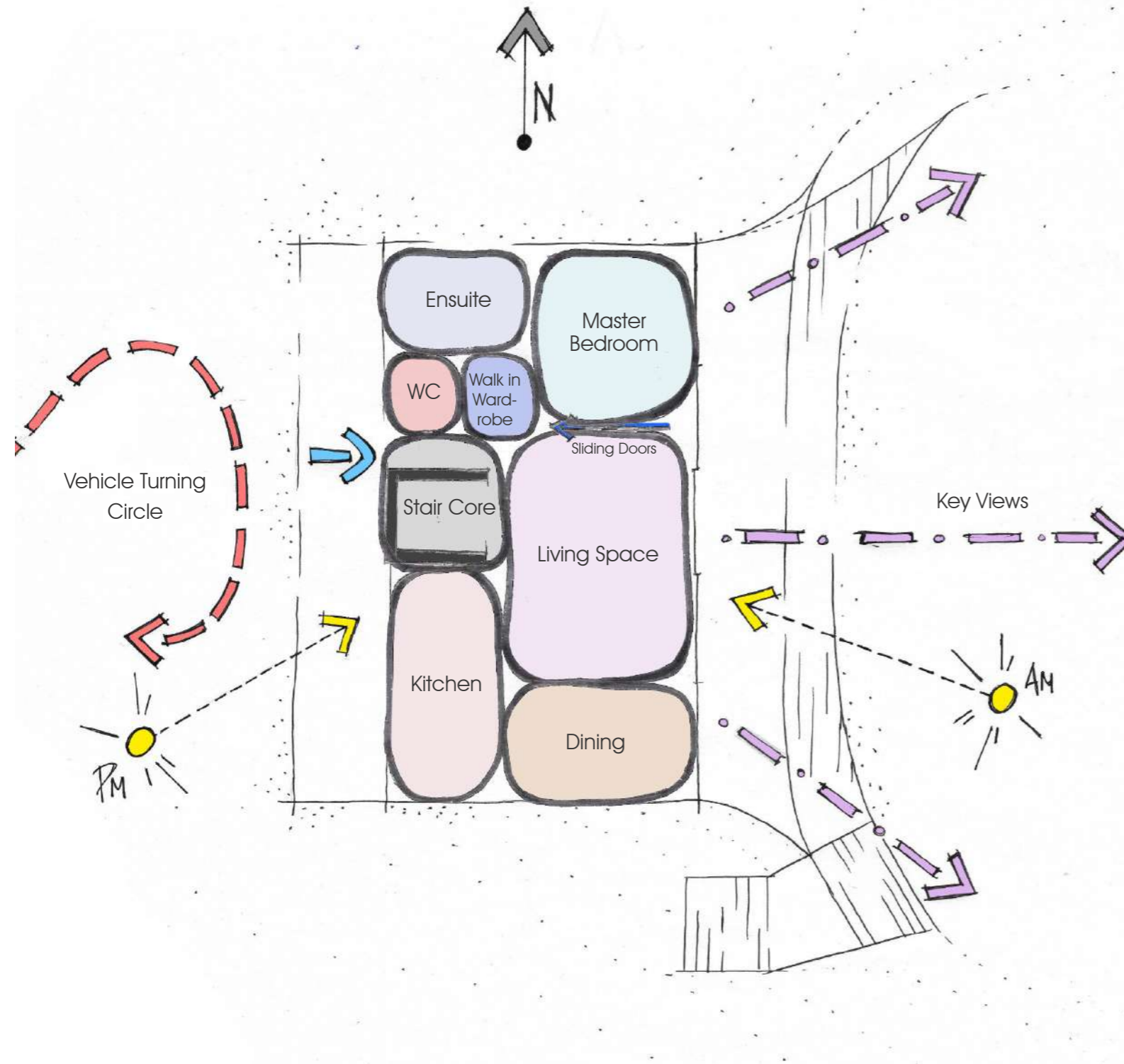
Proposed outline of garage structure

Site Layout Strategy

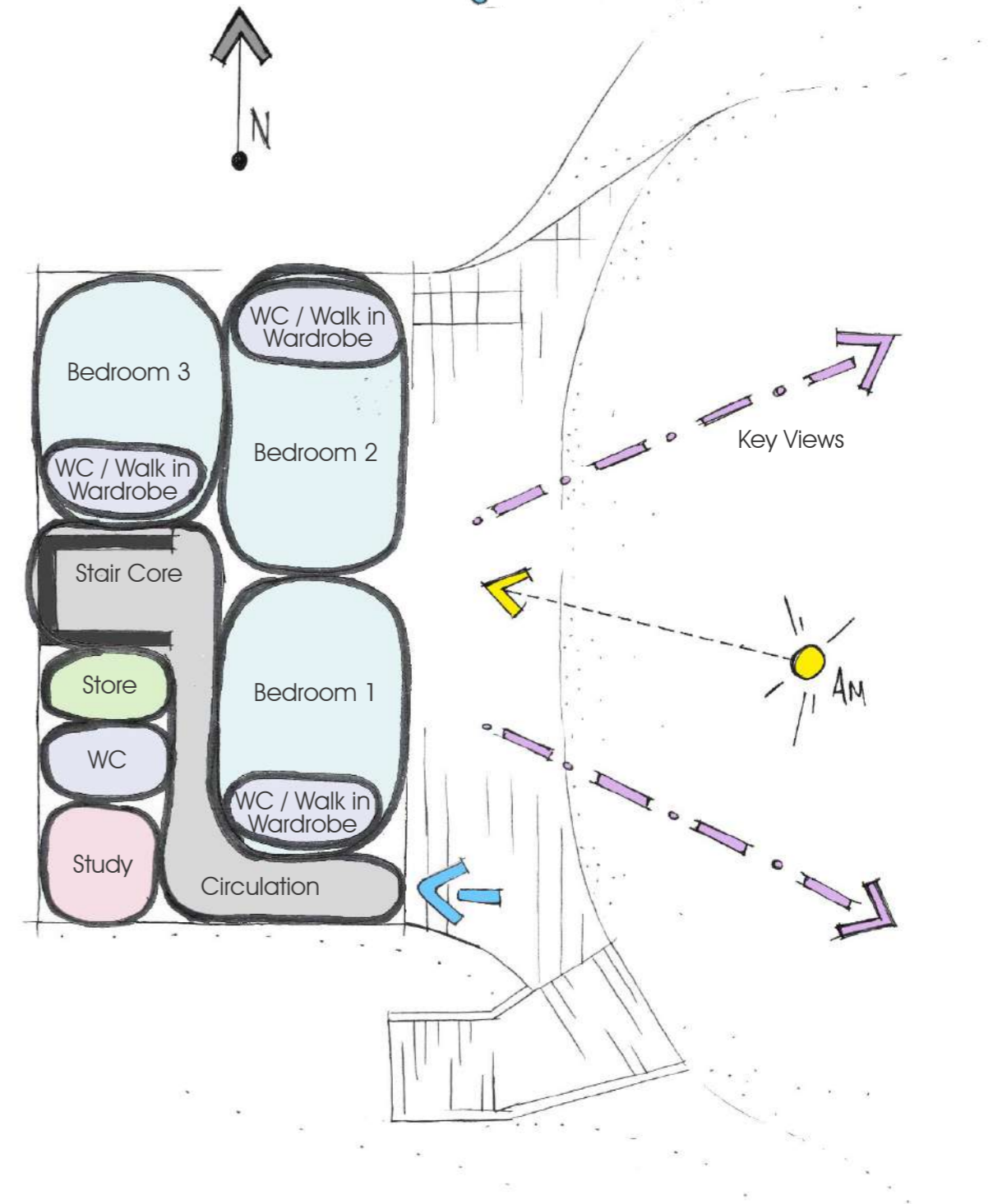


Spatial Diagram | New Dwelling





Ground Floor



First Floor



Legend:

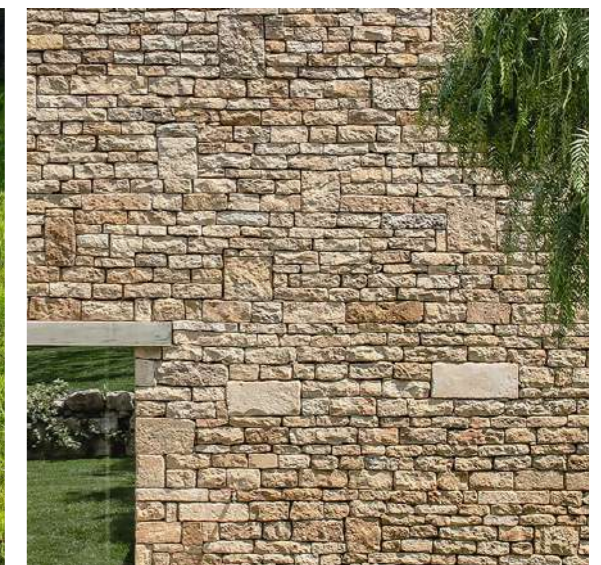
-  Key views
-  Sun path
-  Vehicular access/route
-  Pedestrian route/access

Proposed Appearance | Materiality

The new garage building will be a simple cedar or larch clad box with no windows. The roof will accommodate an array of solar panels which will provide electricity and hot water to run the house and electric vehicles.

The main accommodation building will be:

- Predominantly glazed with a combination of floor to ceiling glass to allow generous views out to the surrounding countryside and insulated glass panels where the views out are to be restricted in the bedrooms and bathrooms.
- The building will be surrounded by a cantilevered deck and a projecting canopy. The structure of which will be of a dark grey steel/aluminium frame with minimal glazed balustrading to further minimise the impact on the views out from and into the building.
- The lower level of accommodation is held between two retaining walls. These continue to form the sunken courtyard garden at the rear and the light well at the front of the building.
- The upper level of accommodation sits lightly above these walls.
- The roof of the building will be fully planted with a mixture of meadow grasses and flowers, with flat roof lights bringing light down into the rooms below.



Proposed Appearance | Precedent Study



Landscape | Ecology

The landscaping of the building is integral to the overall design concept. By cutting down into the land we are able to conceal a large part of the new building and at the same time create a new courtyard garden to the rear of the building. The proposed landscaping allows light into and views out from the bedroom accommodation at the lower level whilst allowing this part of the building to sit lower within the site. The roof of the building is treated as another landscape opportunity, and this will utilise a mixture of meadow planting to further enhance it's impact on the surrounding landscape.

The existing hedgerows will be retained and some additional hedgerows will be formed to screen the new building from the other barn structures which are retained to provide the stabling and other storage requirements for the equestrian facility. The existing route-ways from these other structures and the links to the sand school and the surrounding fields will also be retained.

To provide substantial enhancement to the landscaping of this area of the SDNP we have developed a detailed landscaping scheme covering areas surrounding the ancient woodlands and enhancing and re-wilding areas.



Rewilding/hedgerow enhancement



Wildflower meadow



Wildflower roof



Solar array

Environmental Design |

Environmental design has also been considered as a primary motivator for the project. It is envisaged that the buildings will be:

- Heated via a ground source heat pump that will utilise pipework submerged beneath the adjacent fields.
- This will also provide all heating and hot water requirements to the dwelling
- The proposed array of solar panels above the garage/store building will provide sufficient electricity for the building and electric vehicle's total use to be net carbon neutral through year. This can be demonstrated from the current house and 2 electric vehicles which are currently substantially carbon negative through year total use.
- The building will be designed and built to the highest environmental standards,
 - Triple glazed windows
 - External solar blinds to East facing windows
 - Solar shading to south elevations
 - Thermal shutters to reduce thermal losses in winter
 - Latest construction techniques and use of passive heating & cooling technologies

Proposed Drawings |

- 010 Location Plan
- 050 Proposed Site Plan
- 060 Proposed Site Plan

- 100 Proposed Lower Ground Floor Plan
- 110 Proposed Upper Ground Floor Plan
- 120 Proposed Roof Plan
- 130 Garage Floor Plans

- 200 Proposed East & West Elevations
- 210 Proposed North & South Elevations
- 220 Proposed Garage Elevations

- 300 Section A-A

- 700 3D Views

1 010 Location Plan
Scale -1 : 1250

Notes:
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Project No: **21008** Dwg No: **010**

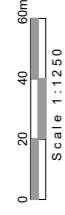
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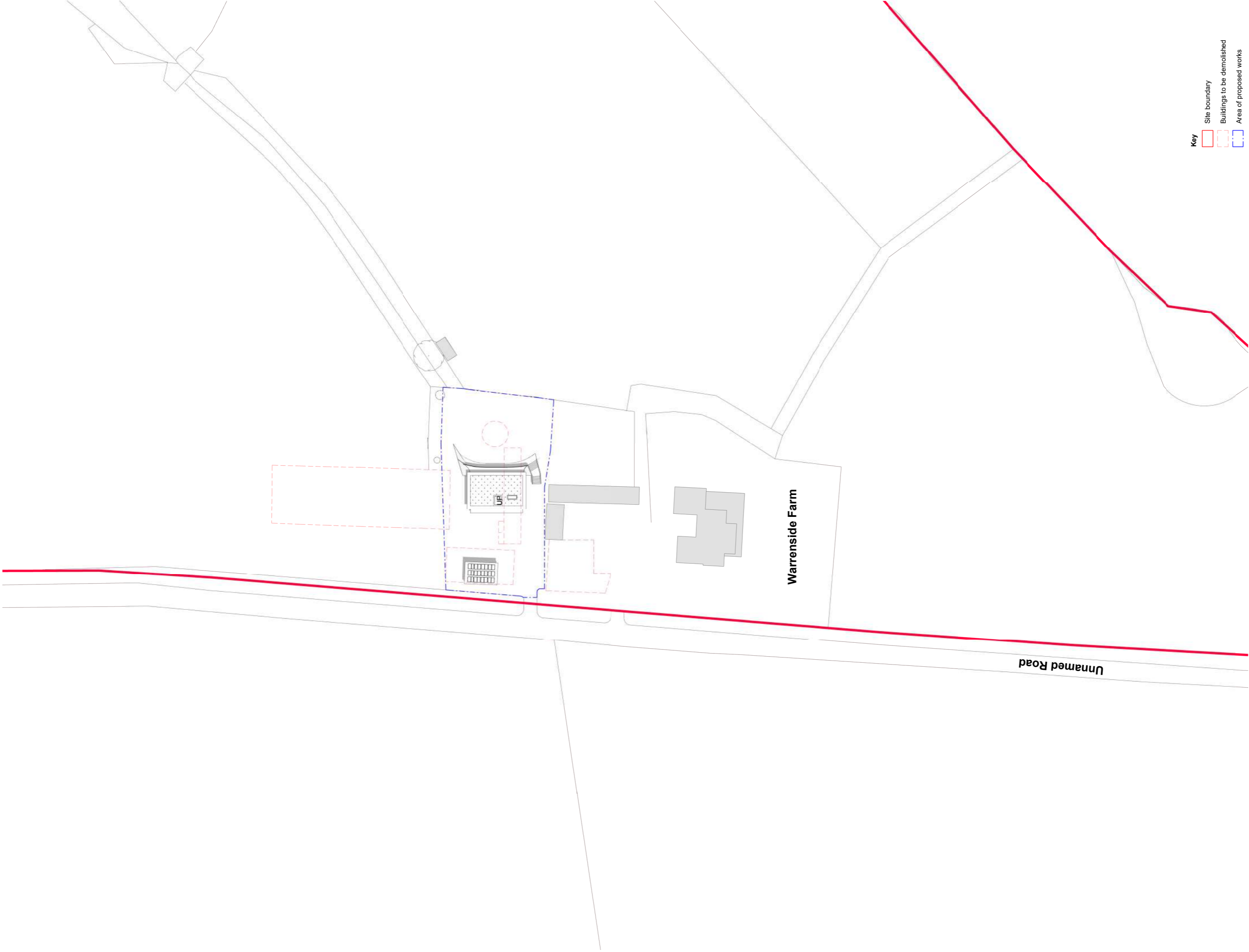
Drawing: **Location Plan**

Project: **Warrenside Farm**

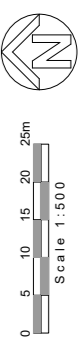
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1
050
Scale - 1 : 500



Key
 Site boundary
 Buildings to be demolished
 Area of proposed works

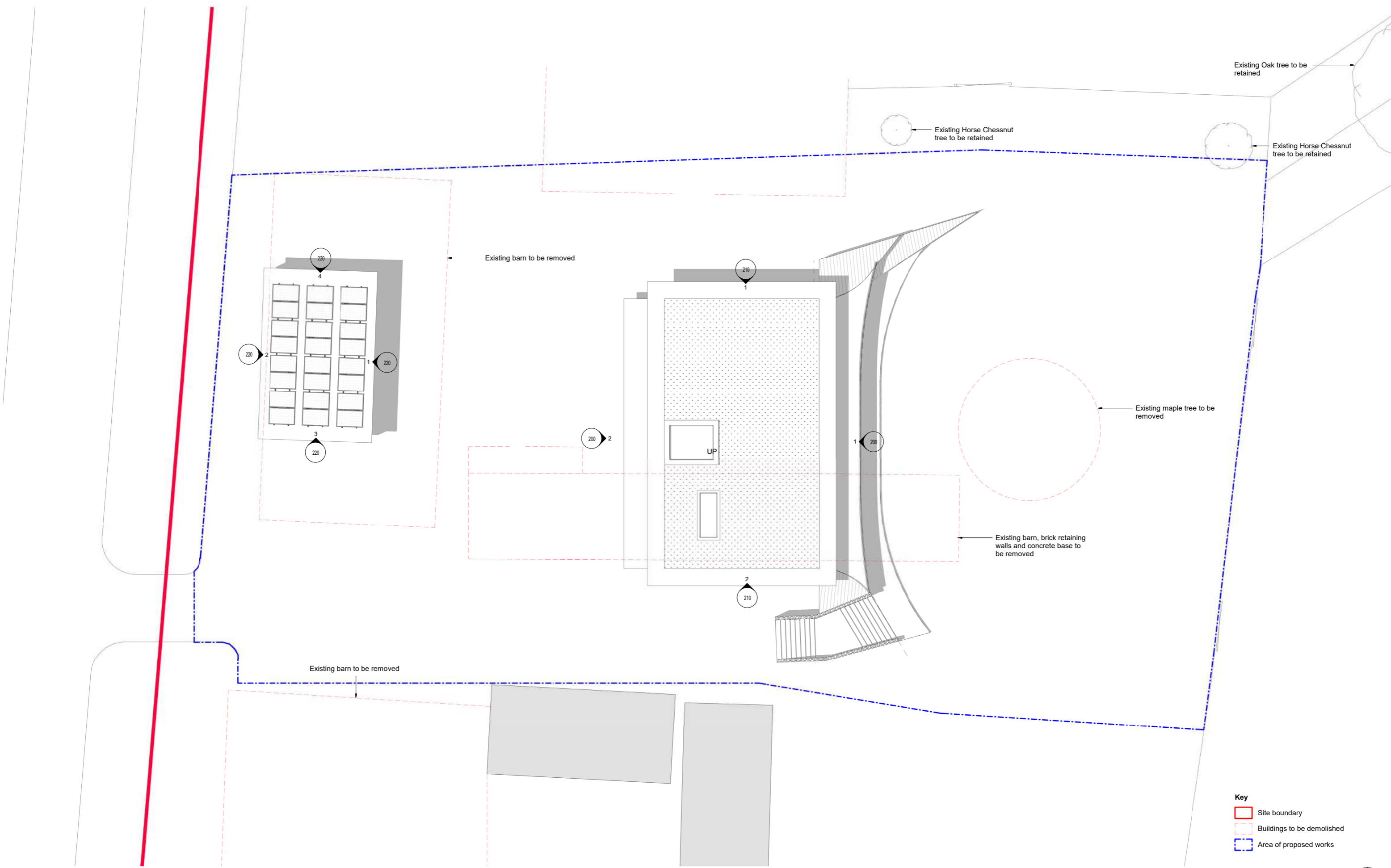
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Client: Martin Evans
Drawing: Proposed Site Plan
Project No: 21008 **Dwg No:** 050
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1 060 Proposed Site Plan
 060 Scale - 1 : 100

Key

- Site boundary
- Buildings to be demolished
- Area of proposed works

0 1 2 3 4 5m
 Scale 1:100

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Project: **Warrenside Farm**

Drawing: **Proposed Site Plan**

Project No: **21008** Dwg No: **060**

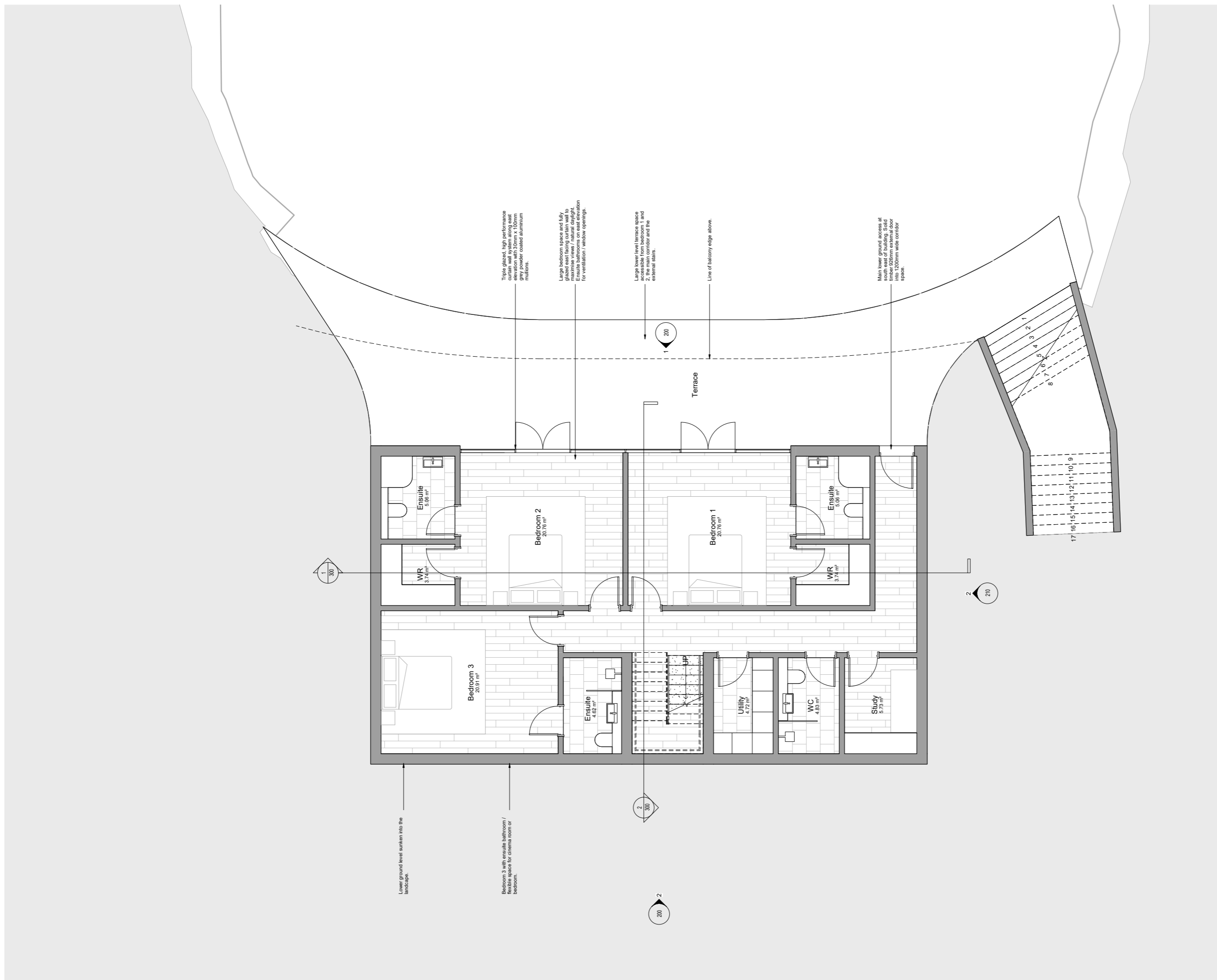
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Lower ground level sunken into the landscape.

Bedroom 3, with ensuite bathroom / flexible space for cinema room or bedroom.

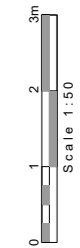
Tight fitted, high performance curtain wall system along east elevation with 30mm x 100mm grey powder coated aluminum mullions.

Large bedroom space and fully private ensuite bathroom with maximum views / natural daylight. Ensuite bathrooms on east elevation for ventilation / window openings.

Large lower level terrace space accessible from bedroom 1 and 2, the main corridor and the external stairs.

Main lower ground access at south east of building. Solid timber 526mm external door into 1200mm wide corridor space.

1
100 GA Lower Ground Floor Plan
Scale - 1 : 50

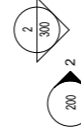
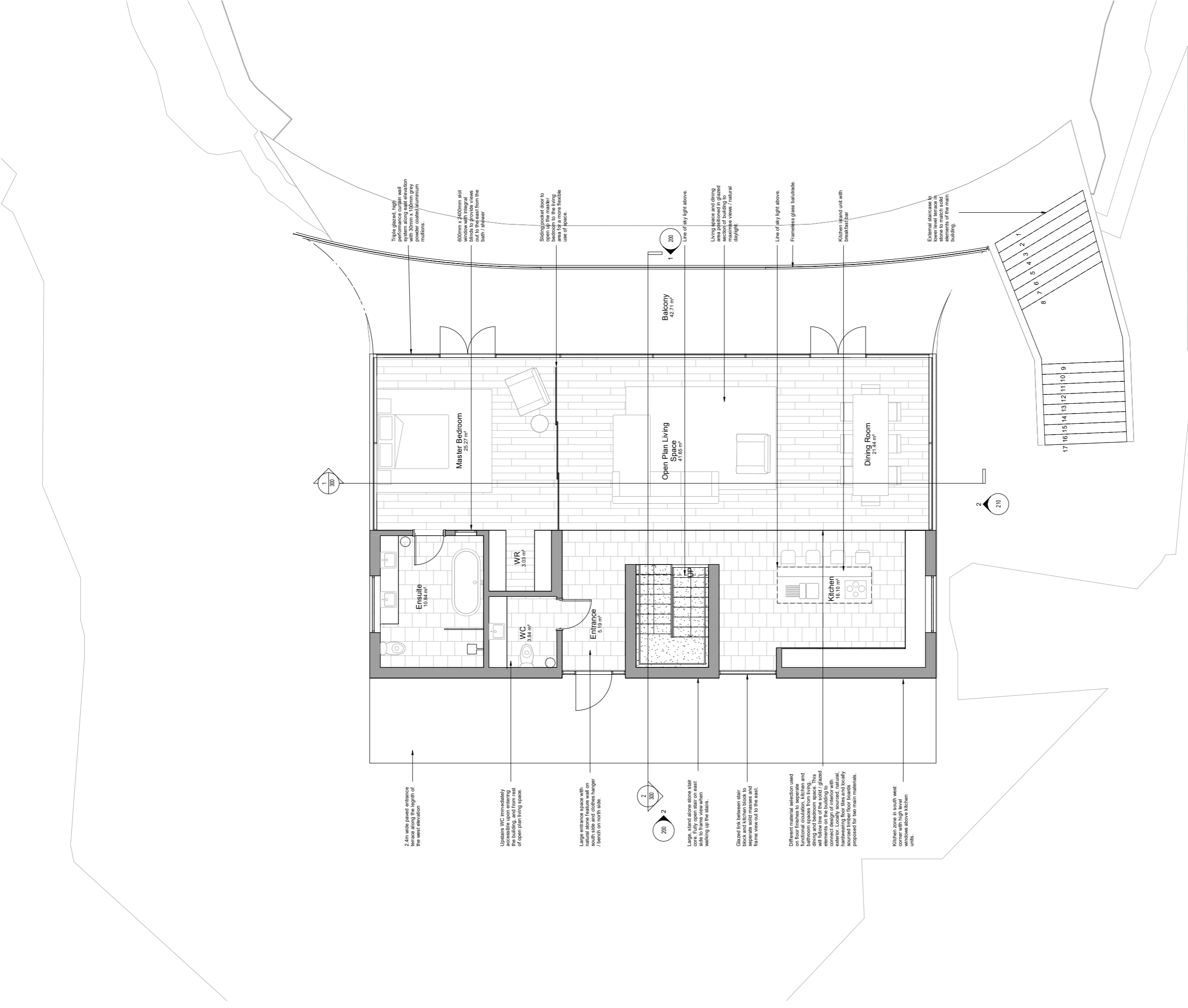


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Checked by:	Date:	Date:	Date:	Date:
GW	13/10/2021	13/10/2021	13/10/2021	13/10/2021

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Triple glazed, high performance curtain wall system along east elevation with 30mm x 100mm grey powder coated aluminium mullions.

600mm x 2400mm slot blinds to provide views out to the east from the bath / shower

Sliding pocket door to open up the master bedroom area for a more flexible use of space.

Line of sky light above.

Living spaces and dining area positioned in glazed section of building to maximize views / natural daylight.

Line of sky light above.

Frameless glass balustrade.

Kitchen island unit with breakfast bar

External staircase to stone to match solid elements of the main building.

2.4m wide paved entrance terrace along the length of the west elevation

Upstairs WC immediately accessible upon entering from the east side of open plan living space.

Large entrance space with natural stone feature wall on north side. Large stone hanging / bench on north side.

Large glazed glass above stairs core. Fully open stairs on east side to frame view when walking up the stairs.

Glazed link between stair core and living space to separate solid masses and frame view out to the east.

Different material selection used on floor finishes to separate functional circulation, kitchen and dining and bedroom spaces. This will follow line of the solid / glazed elements on the building to provide a visual link with exterior. Locally sourced, natural, hardwooding floor tiles and locally sourced stone for main materials, proposed for two main materials.

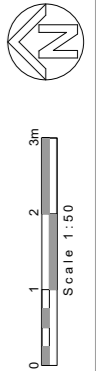
Kitchen zone in south west corner with high level windows above kitchen units.

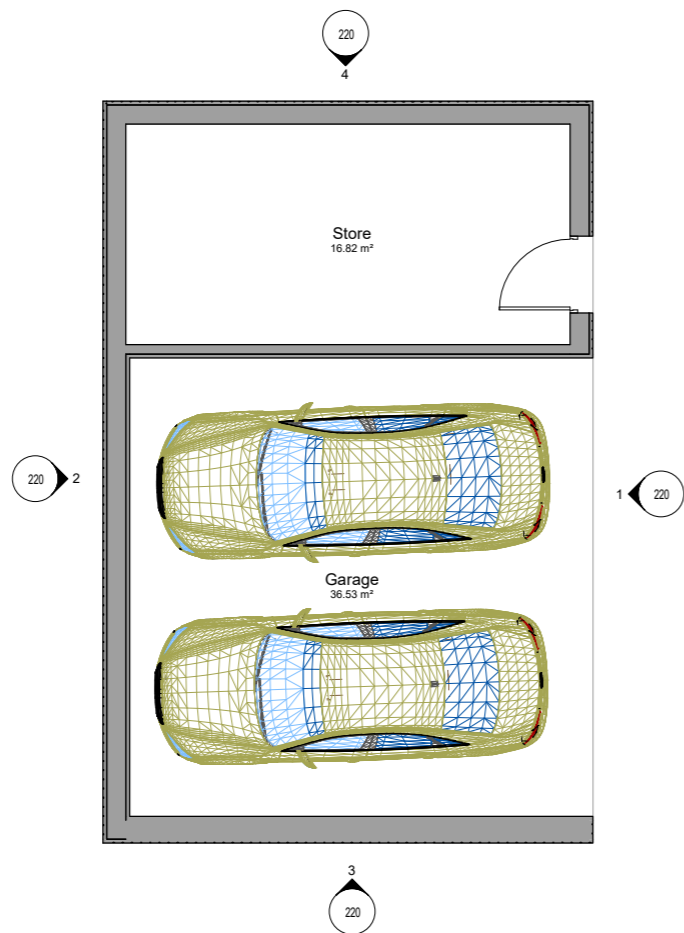
1 GA_Upper Ground Floor Plan
110 Scale - 1 : 50

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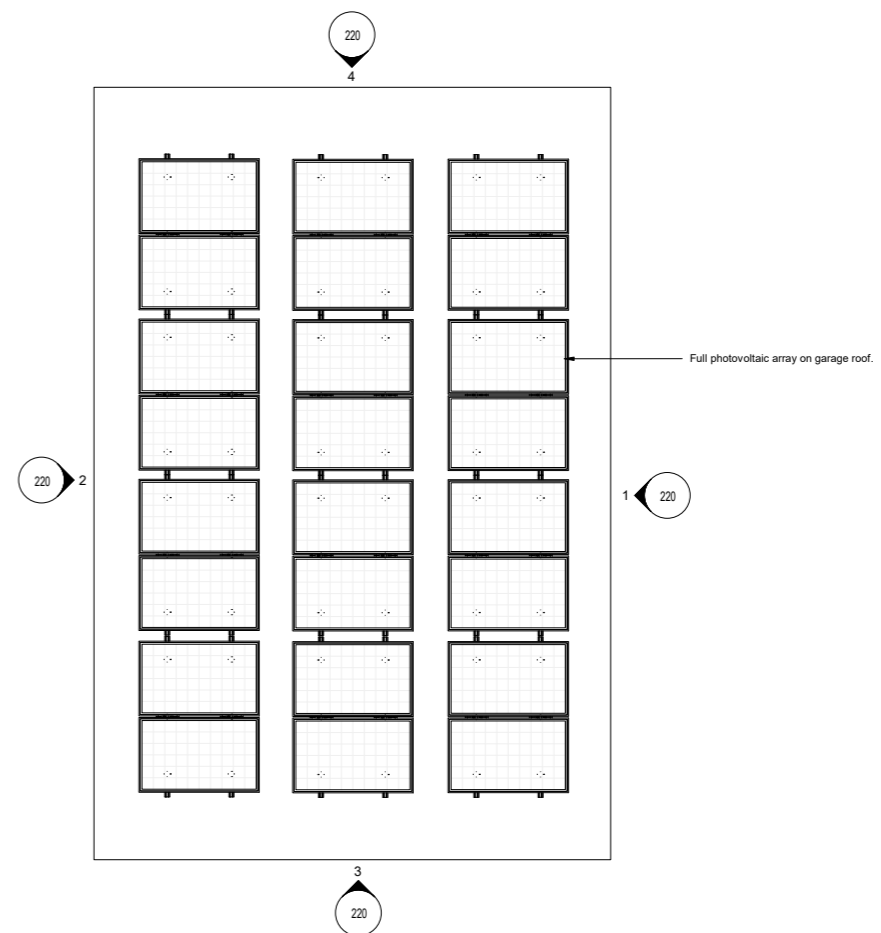
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Project:	Warrenside Farm	Scale:	1 : 50@A1	Rev:		Project Name:	Proposed Upper Ground Floor Plan
Drawn by:	RW	Date:	13/10/2021	Checked by:	GW	Date:	13/10/2021
Comments:							

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1 : 50@A1
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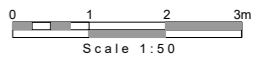




1 Garage Ground Floor Plan
130 Scale - 1 : 50



2 Garage Roof Plan
130 Scale - 1 : 50



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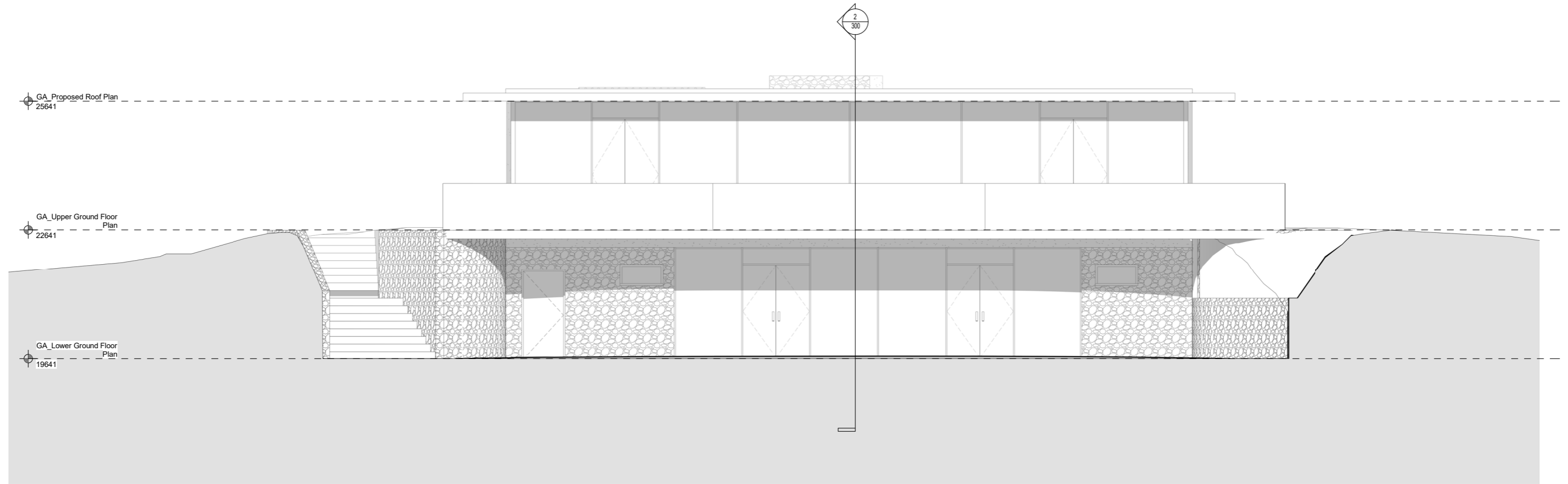
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RW	13/10/2021	GW	13/10/2021

Issued for:	Client:
PLANNING	Martin Evans
Project:	Drawing:
Warrenside Farm	Garage Floor Plans

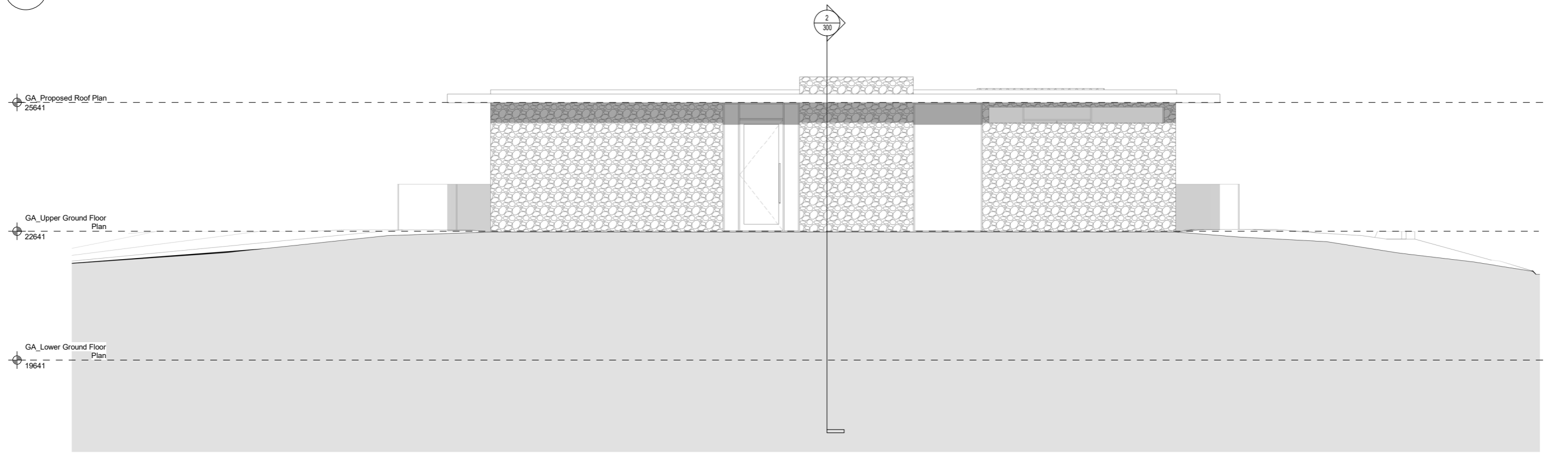
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21008	130
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1 East Elevation
200 Scale - 1 : 50



2 West Elevation
200 Scale - 1 : 50

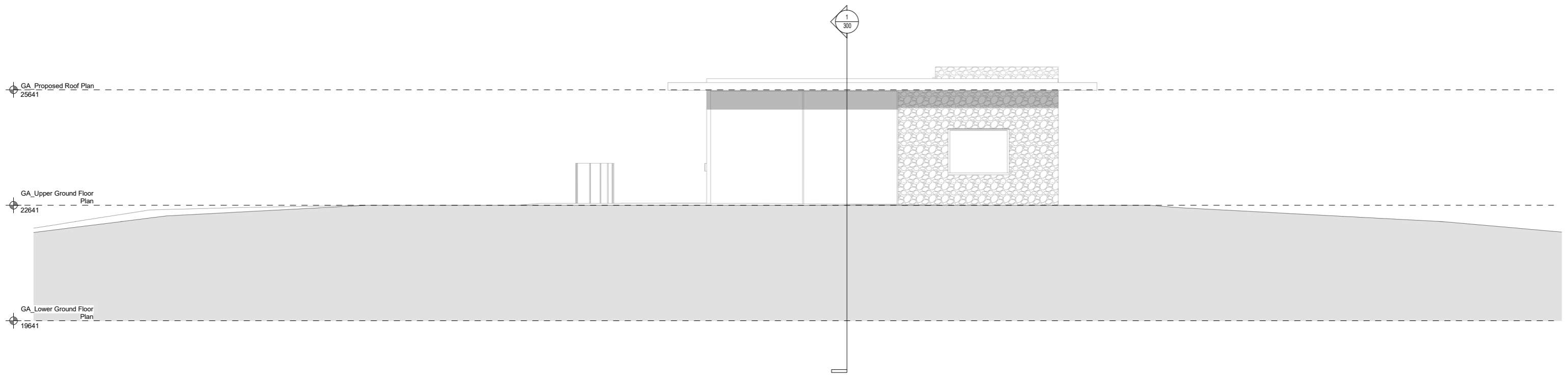
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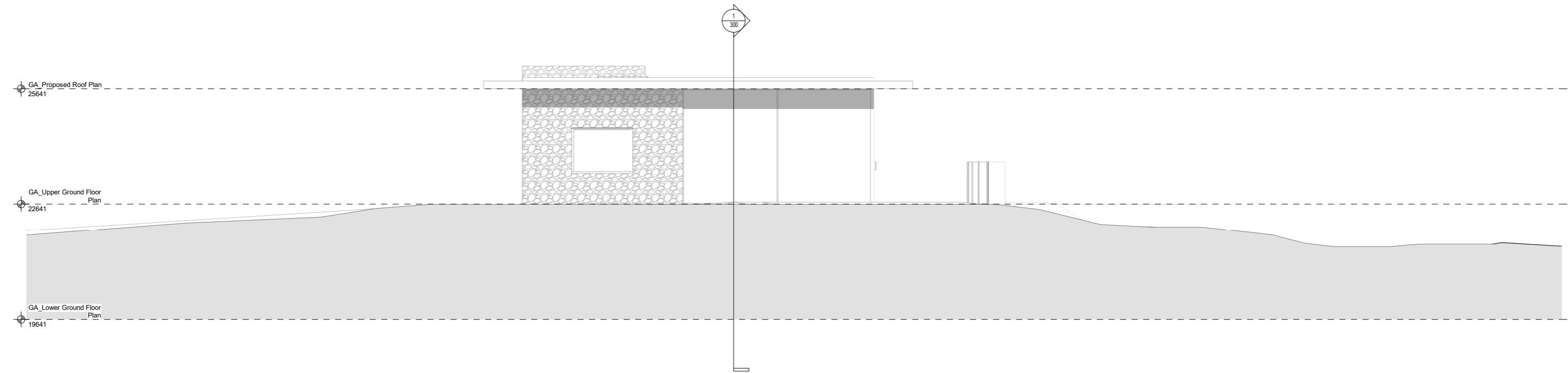
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Project: Warrenside Farm
Client: Martin Evans
Drawing: Proposed East & West Elevations
Project No: 21008 Dwg No: 200
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1 North Elevation
210 Scale - 1 : 50



2 South Elevation
210 Scale - 1 : 50

Notes:

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Project:

Warrenside Farm

Client:

Martin Evans

Drawing:

Proposed North & South Elevations

Project No: 21008 Dwg No: 210

Scale: 1 : 50@A1

Rev:

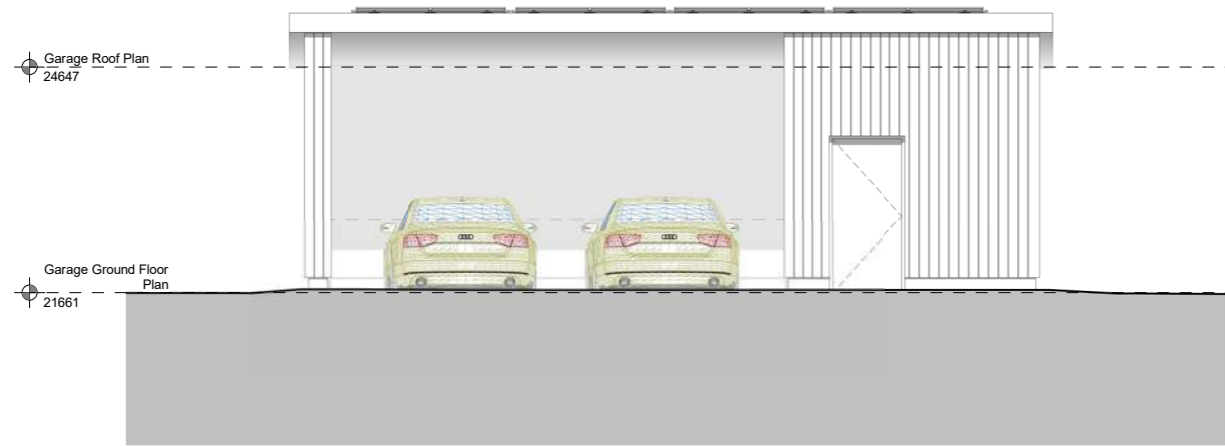
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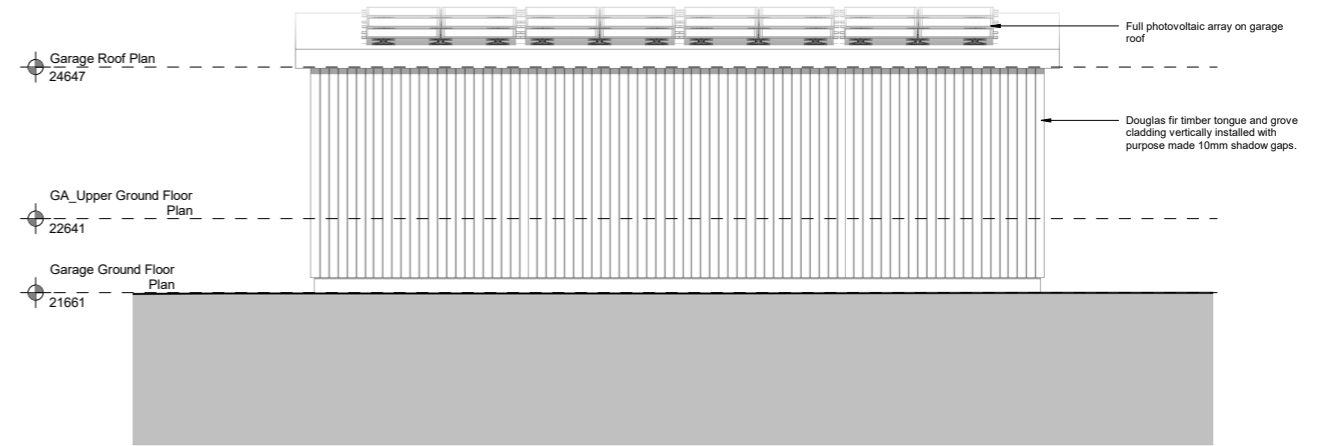
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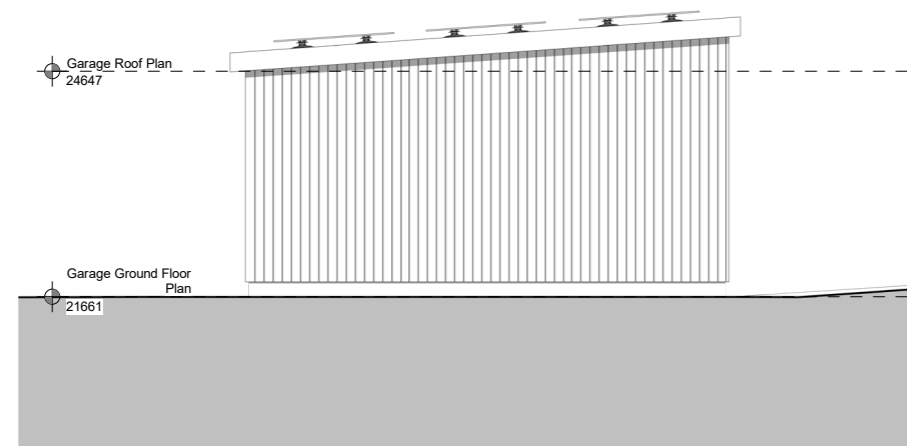




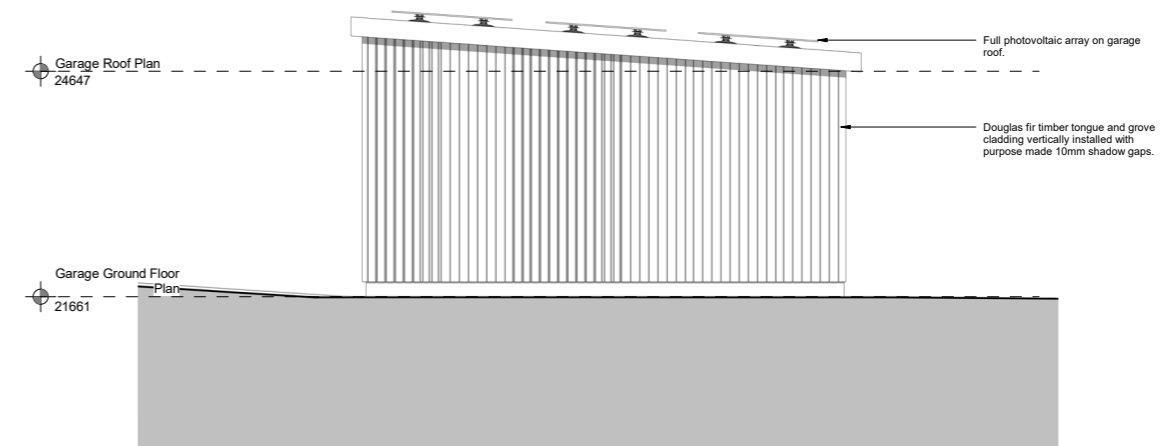
1 Garage East Elevation
220 Scale - 1 : 50



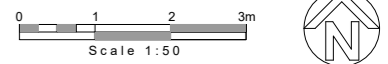
2 Garage West Elevation
220 Scale - 1 : 50



3 Garage South Elevation
220 Scale - 1 : 50



4 Garage North Elevation
220 Scale - 1 : 50



Notes:
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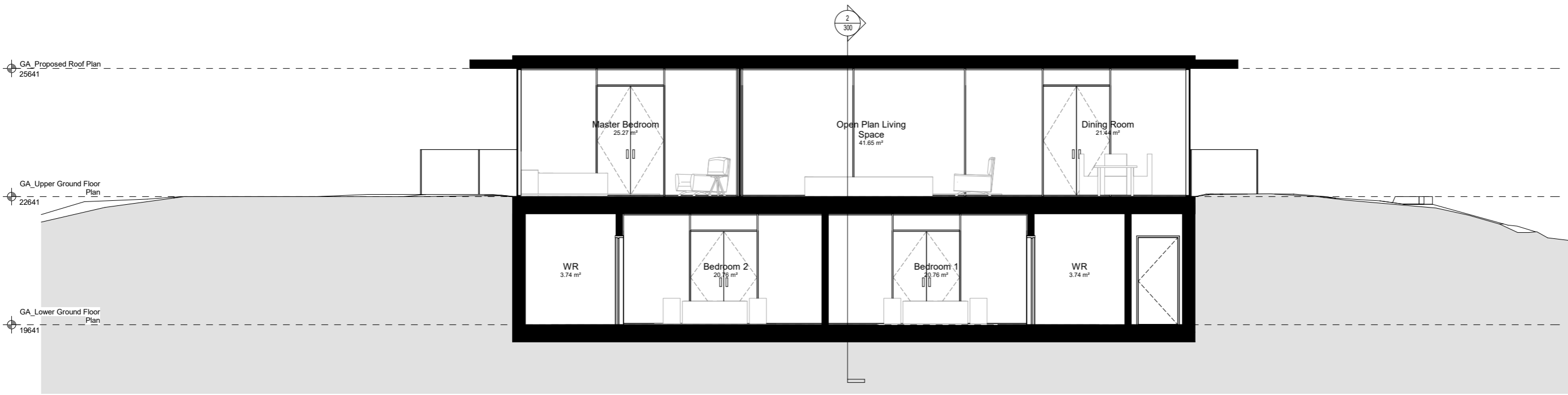
Comments:
Drawn by: RW Date: 13/10/2021
Checked by: GW Date: 13/10/2021

Issued for: PLANNING
Project: Warrenside Farm
Client: Martin Evans
Drawing: Proposed Garage Elevations

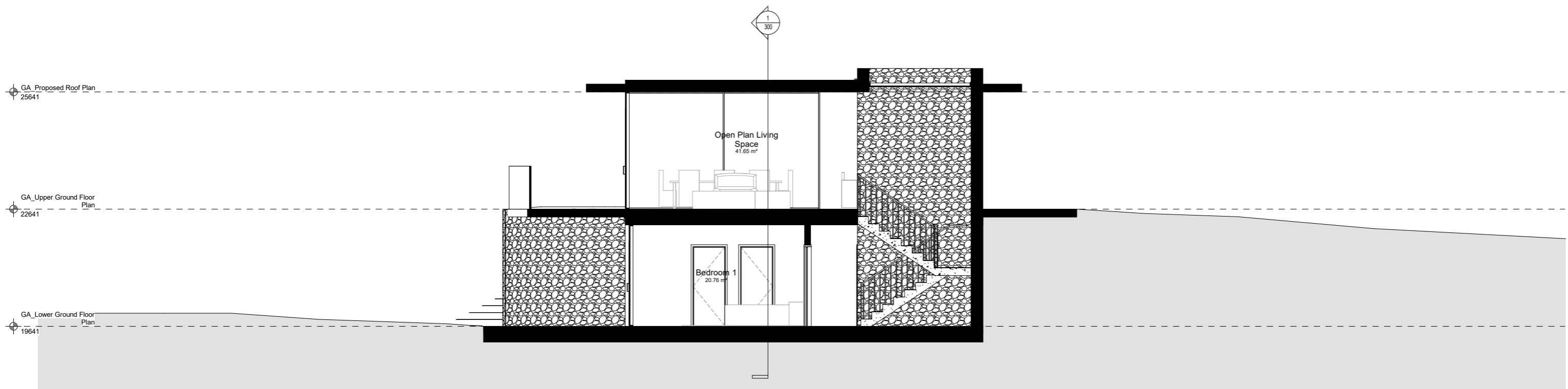
Project No: 21008 Dwg No: 220
Scale: 1 : 50@A1
Rev:

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1 Section A-A
300 Scale - 1 : 50



2 Section B-B
300 Scale - 1 : 50

Notes:

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Issued for:

PLANNING

Project:

Warrenside Farm

Client:

Martin Evans

Drawing:

Section A-A

Project No: 21008 Dwg No: 300

Scale:

1 : 50@A1

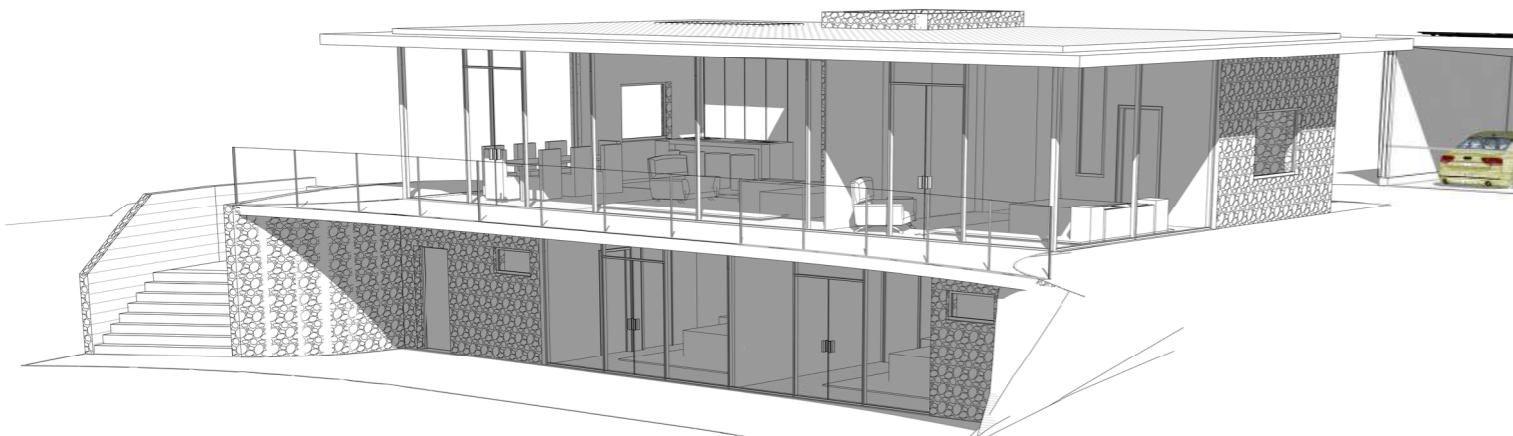
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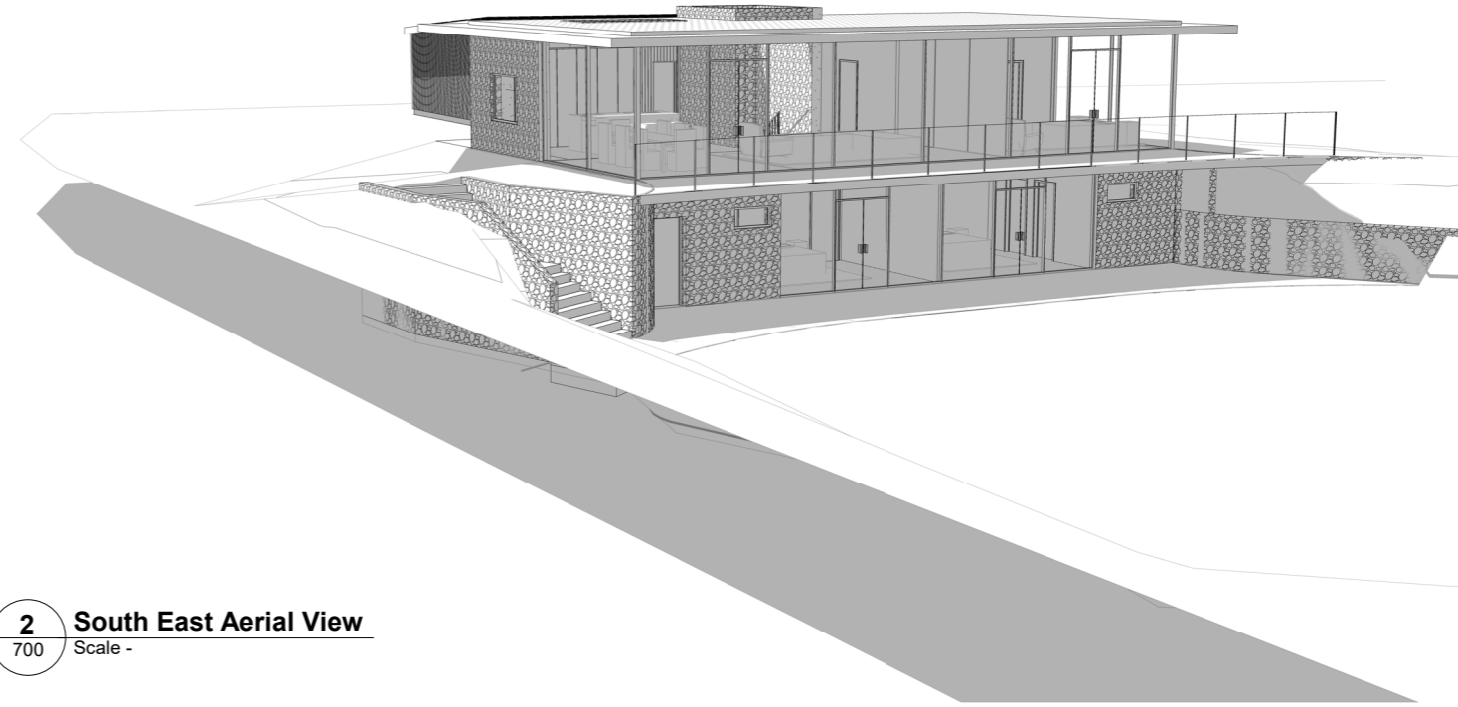
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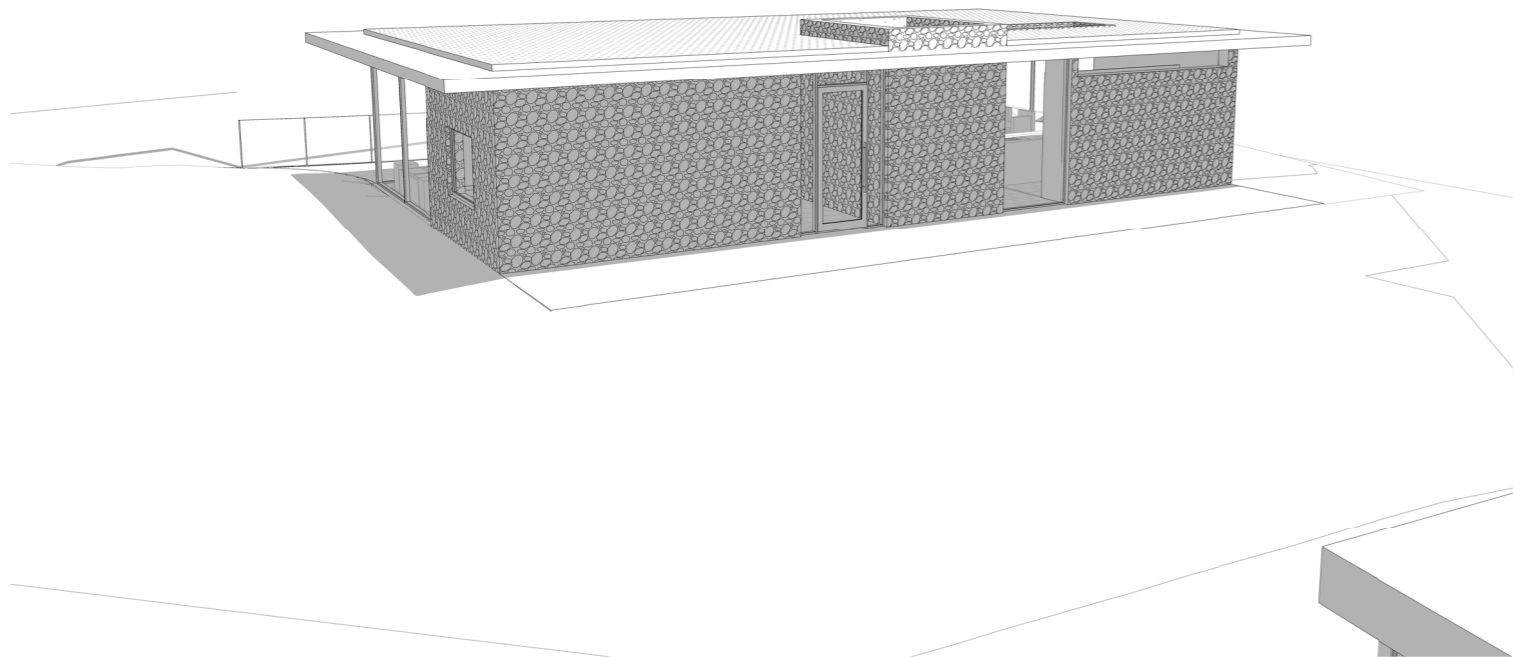




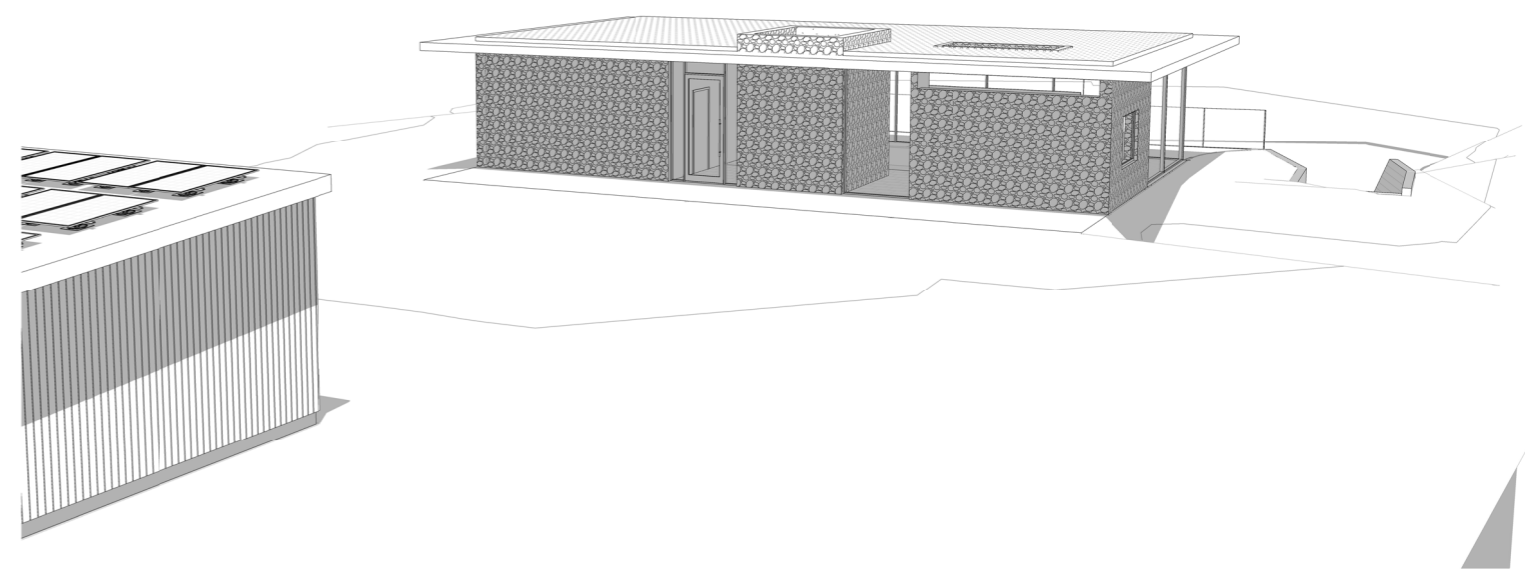
1 North East Aerial View
Scale -



2 South East Aerial View
Scale -



3 North West Aerial View
Scale -



4 South West Aerial View
Scale -

Notes:
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Drawn by: RW Date: 13/10/2021
Checked by: GW Date: 13/10/2021

Issued for: PLANNING
Project: Warreside Farm
Client: Martin Evans
Drawing: 3D Views
Project No: 21008
Dwg No: 700
Scale: @A1
Rev:

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Project Visualisation | South East View



Project Visualisation | Interior View



Project Visualisation | Aerial View





Contact Details

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