



Heritage Statement

Installation of a new Flue Liner and Alterations to Chimney

Tichborne Cottage, Riverside Farm Lane, Tichborne



Contents

1	Introduction	3
2	Description of the site	4
3	Policy	9
4	Proposals	15
5	Conclusion	17
	Appendix 1	18
	Appendix 2	26

1.0 Introduction

1.1 AHC Consultants has been commissioned by Mr Smits, the owner of Tichborne Cottage, Riverside Farm Lane, Tichborne to assess the proposals for the installation of a new flue liner and minor alteration of the chimney. This statement should be read in conjunction with any other documents and plans submitted by Adams Hendry as part of this application. This report will consider the possible impacts that the works may have on the listed building and its setting as well as the Tichborne Conservation Area. Any impacts will also be assessed against the current national legislation, the National Planning Policy Framework (NPPF) and local policy.

1.2 This Statement has been prepared by Dr Carole Fry, who offers many years of experience working in, and studying, the historic environment. Dr Fry has been an independent historic buildings and conservation consultant for thirteen years. She was a Conservation Officer for many years and writes a regular column for the Institute of Historic Building Conservation's journal. Her doctorate concerned the dissemination of neo-Palladianism in this country; she combines, therefore, a sure knowledge of conservation legislation and practice together with a sound historical background in architectural history.

2.0 Description of the Site

2.1 Tichborne Cottage is located in the village of Tichborne, on the east side of Riverside Farm Lane which is just west of the River Itchen. It is a small, attractive, end of terrace Cottage constructed of field flints with red brick window surrounds. The simple thatched roof is deep and has a single brick stack with two, clay chimney pots. To the rear the Cottage has been extended with a large catslide that extends across the rear of the property attached to which is a large conservatory. Plate 1 shows the location of the Cottage. Plates 2 and 3 show the rear and end elevations of the Cottage. Plate 4 shows the terrace of cottages.



Plate 1 Location of Tichborne Cottage



Plate 2 The rear elevation of the property



Plate 3 The end elevation of Tichborne Cottage

2.2 The Cottage and the whole terrace is included in the '*List of Buildings of Special Architectural or Historic Interest*' as Grade II (see Plate 4) and the list description is set out below:

TICHBORNE COTTAGES

The building or site itself may lie within the boundary of more than one authority.

County: Hampshire

District: Winchester (District Authority) (now within the South Downs National Park)

Parish: Tichborne

National Park: SOUTH DOWNS

National Grid Reference: SU 57089 30385

SU 5730 TICHBORNE TICHBORNE

10/8 Downend, Lovat and 5.12.55 Tichborne Cottages

GV II

Row of cottages. C17 and C18. Part timber-frame with brick infill, rest flint with brick dressing, thatched roof. 2 bays of timber-frame at right with 4 bays of flint to left, each cottage 2 bays, 2 storeys. C20 door and pent roof porch to left of C17 part. Doors either end of flint cottages, with C20 door and gabled open porches to 2 doors either side of centre and other doors replaced by tall C20 windows. C20 2-light casement in each bay, with segmental brick heads to openings in C18 part. On 1st floor 2 irregular 2-light casements in timber-frame cottage and C20 3-light casements in C18 cottage. Roof half-hipped with decorated ridge piece. Small stack on right hip and at left end of timber-frame part and large stack between bays of other cottages.

Listing NGR: SU5708930386



Plate 4 Listed Terrace of Cottages with Tichborne Cottage at the left (east) end

3.0 Policy

National Policy

3.1 At the national level, the principal legislation governing the protection of the cultural heritage of the built environment is the Planning (Conservation Areas and Listed Buildings) Act 1990. The Act sets out the legislative framework within which works and development affecting listed buildings and conservation areas must be considered. This states that:

“In considering whether to grant planning permission for development which affects a listed building or its setting, the local planning authority or, as the case may be, the Secretary of State shall have special regard to the desirability of preserving the building or its setting or any features of special architectural or historic interest which it possesses” (s66(1))

3.2 Section 69 of the Planning (Listed Buildings and Conservation Areas) Act 1990 imposes a duty on local planning authorities to designate as conservation areas any

“areas of special architectural or historic interest the character or appearance of which it is desirable to preserve or enhance”.

3.3 Section 72 of the same Act requires that *“special attention shall be paid in the exercise of planning functions to the desirability of preserving or enhancing the character or appearance of a conservation area”*. This is also a material consideration in assessing planning applications which relate to development proposals which fall outside the conservation area but would affect its setting, or views into or out of the area.

3.4 Various principles and policies relating to cultural heritage and archaeology are set out in the National Planning Policy Framework (NPPF) (July 2021) which guide local planning authorities with respect to the wider historic environment. The following paragraphs from NPPF are particularly relevant and are quoted in full:

“In determining applications, local planning authorities should require an applicant to describe the significance of any heritage assets affected, including any contribution made by their setting. The level of detail should be proportionate to the assets’ importance and no more than is sufficient to understand the potential impact of the proposal on their significance. As a minimum the relevant historic environment record should have been consulted and the heritage assets assessed using appropriate expertise where necessary.”

Para.194

“Local planning authorities should identify and assess the particular significance of any heritage asset that may be affected by a proposal (including by development affecting the setting of a heritage asset) taking account of the available evidence and any necessary expertise. They should take this assessment into account when considering the impact of a proposal on a heritage asset, to avoid or minimise conflict between the heritage asset’s conservation and any aspect of the proposal.” Para. 195.

“In determining planning applications, local planning authorities should take account of:

- a) the desirability of sustaining and enhancing the significance of heritage assets and putting them to viable uses consistent with their conservation;*
- b) the positive contribution that the conservation of heritage assets can make to sustainable communities including their economic vitality; and*
- c) the desirability of new development making a positive contribution to local character and distinctiveness.”* Para. 197.

Local Policy

3.5 The Local Plan is the South Downs National Park Local Plan 2014-2033.

Relevant policies are set out below.

Strategic Policy SD12: Historic Environment

- 1. Development proposals will only be permitted where they conserve and enhance the historic environment, including through the safeguarding of heritage assets and their setting.*
- 2. Applicants will be required to provide a Heritage Statement sufficient to allow an informed assessment of the impact of the proposed development on the significance of the heritage asset(s).*
- 3. Development proposals which affect heritage assets (whether designated or non-designated) or their setting will be determined with regard to the significance of the asset, including the long-term conservation and enhancement of that asset.*
- 4. Development proposals will be permitted where they enhance or better reveal the significance of heritage assets, particularly where they are considered to be at risk of irreversible harm or loss.*
- 5. Development proposals which appropriately re-use redundant or under-used heritage assets with the optimal viable use, which secures their long-term conservation and enhancement, including of their setting, will be supported.*
- 6. Development proposals for enabling development that would otherwise conflict with other planning policies but which would secure the future conservation of a heritage asset will be permitted provided:*
 - a) The proposals will not materially harm the heritage values of the asset or its setting;*
 - b) It can be demonstrated that alternative solutions have failed;*

- c) The proposed development is the minimum necessary to protect the significance of the heritage asset;*
- d) It meets the tests and criteria set out in Historic England guidance Enabling Development and the Conservation of Significant Places;*
- e) It is subject to a legal agreement to secure the restoration of the asset; and*
- f) It enables public appreciation of the saved heritage asset.*

Development Management Policy SD13: Listed Buildings

1. Development proposals which affect a listed building or its setting will only be permitted and listed building consent granted where:

- a) They preserve and enhance the significance of the listed building and its setting by demonstrating that loss of historic fabric and detail of significance, including internal features, floor plans and the integrity of the rooms, is avoided; or*
- b) Harm to the significance of the listed building or its setting is considered to be outweighed by public benefits by the Authority, when appropriate mitigation measures will be expected, including archaeological investigation (including a written report) or recording.*

2. Development proposals will be refused planning permission and/or listed building consent where they cause substantial harm to a listed building or its setting.

Development Management Policy SD15: Conservation Areas

1. Development proposals within a conservation area, or within its setting, will only be permitted where they preserve or enhance the special architectural or historic interest,

character or appearance of the conservation area. Sufficient information to support an informed assessment should be provided on the following matters:

- a) The relevant conservation area appraisal and management plan;*
- b) Overall settlement layout and relationship to established landscape setting;*
- c) Historic pattern of thoroughfares, roads, paths and open spaces, where these provide evidence of the historic evolution of the settlement, and the historic street scene;*
- d) Distinctive character zones within the settlement;*
- e) Mix of building types and uses, if significant to the historic evolution of the settlement;*
- f) Use of locally distinctive building materials, styles or techniques;*
- g) Historic elevation features including fenestration, or shop fronts, where applicable;*
- h) Significant trees, landscape features, boundary treatments, open space, and focal points; and*
- i) Existing views and vistas through the settlement, views of the skyline and views into and out of the conservation area.*

2. Within a conservation area, development proposals which involve the total or substantial demolition of buildings or structures will only be permitted where it is sufficiently demonstrated that:

*a) The current buildings or structures make no positive contribution to the special architectural or historic interest, character or appearance of the conservation area;
and*

b) The replacement would make an equal or greater contribution to the character and appearance of the conservation area.

3.10 The Tichborne Conservation Area has the benefit of a Conservation Area Technical Assessment which was published in 1999, information for which was gathered in 1996. Although this is now relatively old it is a useful document for assessing character. Para 9.4 is clear that the chimney stacks and orange, clay pots are an important part of the character of the Conservation area stating that:

'The skyline is punctuated with chimney stacks a number of which are topped with orange, clay chimney pots'

3.11 Paragraph 13.1 sets out a list of detractors within the Conservation Area, one of which is the *'removal of architectural features such as chimney stacks and pots'*.

4.0 Proposals

4.1 Planning permission is sought for the installation of a new chimney flue and to increase the height of the existing chimney above the thatched roof line to minimise fire risk to the cottage and to adjoining properties and meet with the requirements for the use of appliances burning solid fuel in thatched properties. The height of the existing brick chimney stack is approximately 1.65m above the thatched roofline. This measurement excludes the existing metal flue terminus which currently protrudes above the chimney pot and which is to be removed; and the existing flue vent plug on the disused chimney which is to be retained. The total proposed height to the rim of the chimney pot will be 2m above the thatched roof line. The additional height would be formed by removing the existing clay chimney pots and setting these aside for re-use. The top four courses of brickwork from the chimney would be taken down and five courses of new brickwork built using new bricks to match existing as near as possible. The four courses of brickwork removed would then be rebuilt similar in detail to the existing and the existing clay chimney pots would be reinstated.

4.2 The method of installation of the new flue line would be as follows. The existing Hunter Herald 8 stove would be removed and set aside, the existing liner and register plate would be removed and disposed of and the chimney swept. A CCTV survey and Soundness Test would be carried out. From suitable supports, a 150mm diameter twin wall insulated metal chimney system would be fitted rising up through chimney to terminate at the top of the chimney pot. The existing stove would then be refitted and connected and the flue and register plate fitted.

4.3 Pre-application advice has been sought and the Conservation Officer has stated that *'subject to the use of appropriate detailing and materials to match the existing, the extension of this chimney stack would not affect the particular significance of the listed building, or the character or appearance of the conservation area' and*

'Details of the materials and methods of installation of the flue liner will be required, to ascertain the potential impact of this element of the work.'

4.4 Appendix 1 shows the manufacturer's details of the internal, twin wall, steel chimney system (flue liner), a Therminox TI/ZI. These details demonstrate how the flue liner is to be correctly fitted. As can be seen the system uses a minimal amount of perforated wall, joist and rafter supports where needed. These perforated supports minimise the contact between old and new fabric and mean that only simple, stainless steel, screws are required to affix the flue liner into the existing chimney void. This type of minimalist fitting would cause only a negligible loss of historic fabric upon the insertion of the screw. This system also means that the flue liner can be easily removed, if required, at a future date, with no further loss of fabric.

4.5 A HETAS qualified structural engineer from the Cowan Consultancy has been consulted on the condition of the chimney and its ability to safely accommodate the additional 5 brickwork courses (Appendix 2). It has been concluded that *'The existing chimney is well supported and appears to be in good condition'* and that the addition of 5 courses of brickwork *'will have no detrimental structural effects on the existing building or the adjoined adjacent listed building'*.

4.6 It is considered that this minor work to insert a new flue liner and extend the chimney would not affect the significance of the listed building or the terrace as a whole. Neither would it affect the special character and appearance of the Conservation Area. The use of matching materials and the re-use of the orange, clay chimney pots would ensure that the heritage assets involved would not be affected.


5.0 Conclusion

5.1 The proposed alterations to the chimney at Tichborne Cottage would preserve the special interest of the listed building. They would also preserve the special character and appearance of the Conservation Area. For these reasons it is considered that this application is acceptable in historic environment terms, is in line with both national and local policy, and is to be welcomed.

Appendix 1

Manufacturer's details of the Therminox TI/ZI

Therminox TI/ZI installation instructions - UKv1



INSTALLATION INSTRUCTIONS

Therminox TI & ZI - Twin wall insulated chimney system

POUJOLAT (UK) LTD - Unit 1a Quadrum Park - Old Portsmouth Road
GU3 1LU Guildford / SURREY
Tel: +44 (0) 1483 461 700 - Fax +44 (0) 1483 533 435
sales@poujoulat.co.uk
www.poujoulat.co.uk

Type of flue

- Twin wall chimney, insulated by 30 mm high pressure injected mineral wool (TI/ZI type).

Range	Ø	CE no.	date	without joint seal	with joint seal
TI	80 => 300	0071-CPR-0011	2004	T250 N1 W V2L50040 O20	T200 P1 W V2L50040 O20
				T450 N1 W V2L50040 G50	
	350 => 450			T250 N1 W V2L50050 O30	T200 P1 W V2L50050 O30
				T450 N1 W V2L50050 G75	
	500			T250 N1 W V2L50050 O40	T200 P1 W V2L50050 O40
				T450 N1 W V2L50050 G100	
	600			T250 N1 W V2L50060 O40	T200 P1 W V2L50060 O40
				T450 N1 W V2L50060 G100	
ZI	80 => 300	0071-CPR-0011	2004	T250 N1 W V2L50040 O2	T200 P1 W V2L50040 O20
				T450 N1 W V2L50040 G50	
	350 => 450			T250 N1 W V2L50050 O30	T200 P1 W V2L50050 O30
				T450 N1 W V2L50050 G75	
	500			T250 N1 W V2L50050 O40	T200 P1 W V2L50050 O40
				T250 N1 W V2L50050 O40	
	600			T250 N1 W V2L50060 O40	T200 P1 W V2L50060 O40
				T450 N1 W V2L50060 G100	

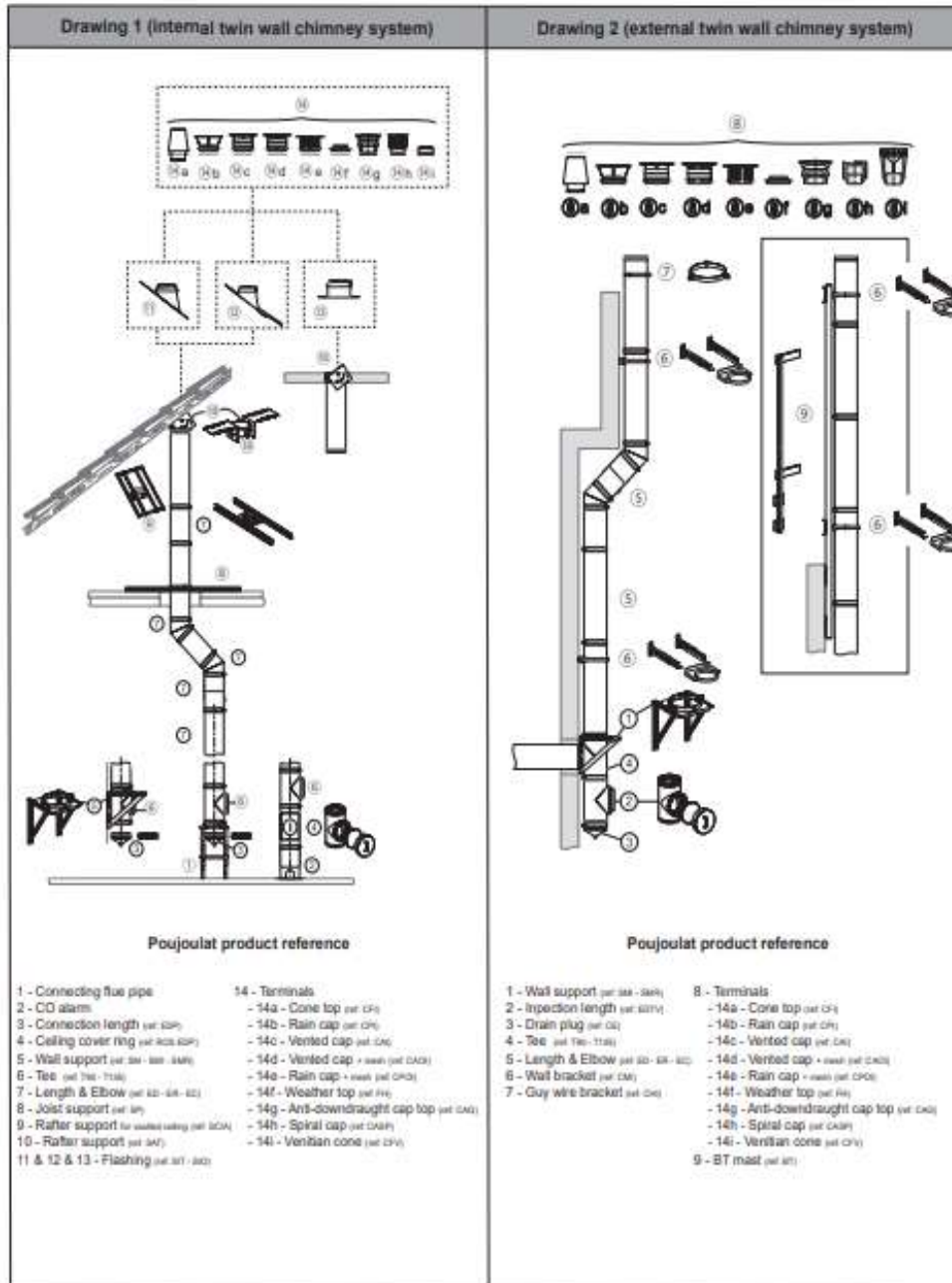
Designation according to EN 1856-1

- T450 (T160, T200, T250) temperature level: Normal operating temperature not exceeding 450° C (160°C, 200°C, 250°C)
- N1 pressure level: negative pressure chimney
- P1 pressure level: positive pressure chimney (up to 200 Pa)
- Resistance to condensate class: W = wet condensation
- Corrosion resistance V2 = Test 2
- Inner wall : - L 50= steel grade: Mat No 1.4404 (AISI 316 L) L 20 = Mat No 1.4301 (AISI 304)
- Wall thickness 040=0,4mm
- Wall thickness 050=0,5mm
- Minimum distance to combustible materials: G50, G75, G100 ;

PAGE 1

poujoulat.co.uk

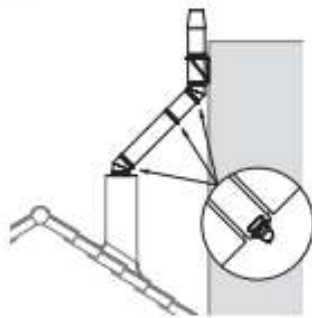
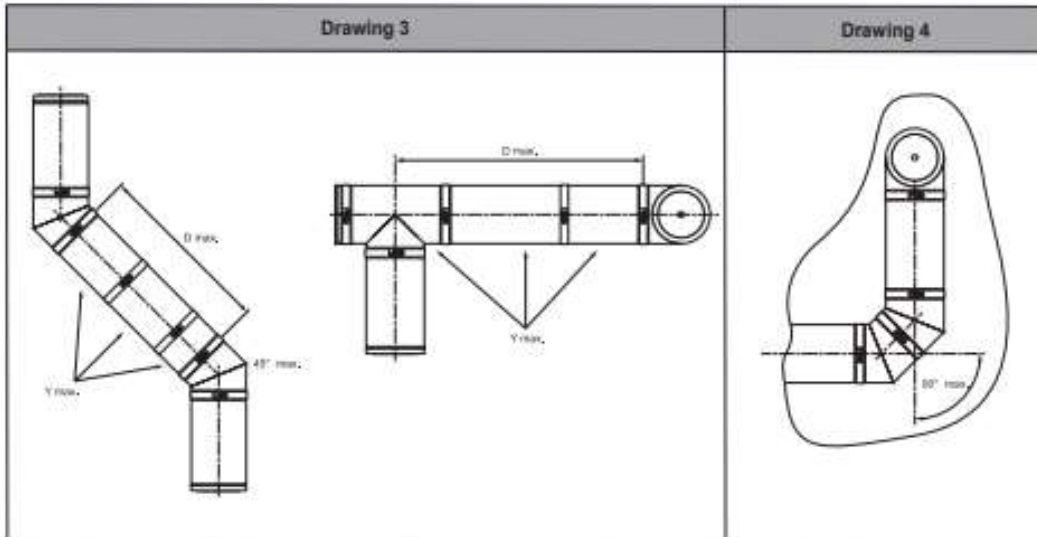
Order of installation



Maximum distance between two elbows or two tees:

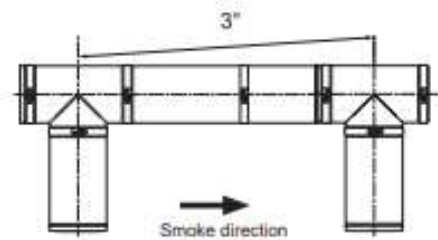
- D max. : Maximum distance between two elbows without suspension collar (in meters).
- Y max. : Maximum number of lengths between two elbows. If larger than D max., add a support (CMI, CSC, etc.) every Y lengths.

		THERMINOX TI/ZI												
Drawing		Ø80	Ø100	Ø130	Ø150	Ø180	Ø200	Ø250	Ø300	Ø350	Ø400	Ø450	Ø500	Ø600
D max.	3 & 4	3	3	3	3	3	3	3	3	3	2	2	2	2
Y max.		3	3	3	3	3	3	3	3	3	3	3	3	3



WARNING - For an offset realized outside of a building, the toggle catch system of the locking band should face downwards.

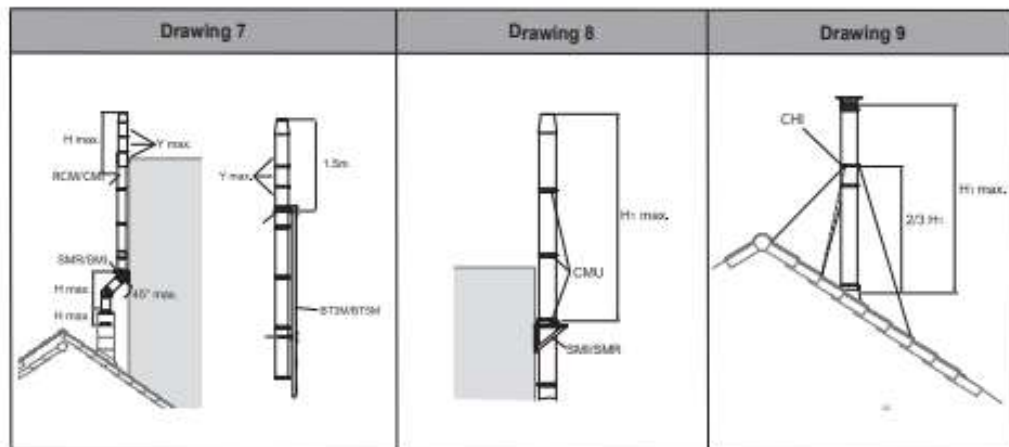
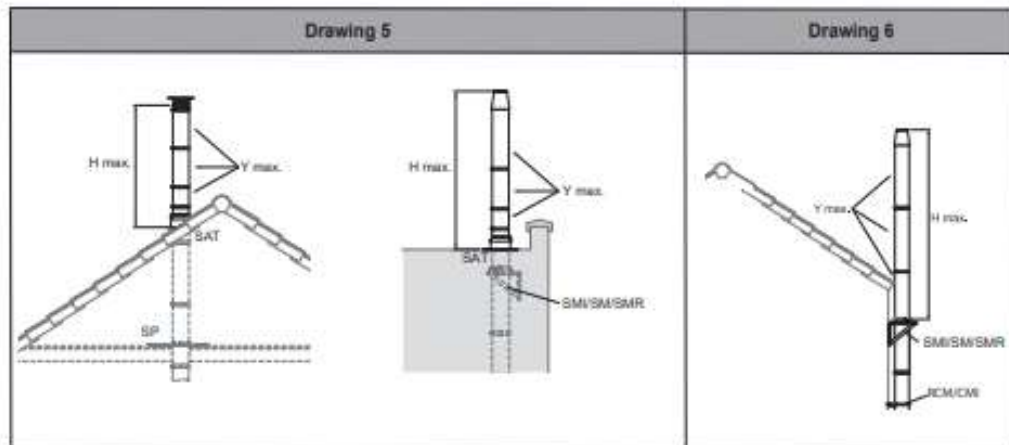
Minimum pitch for the header :



Free standing height (H in meters)

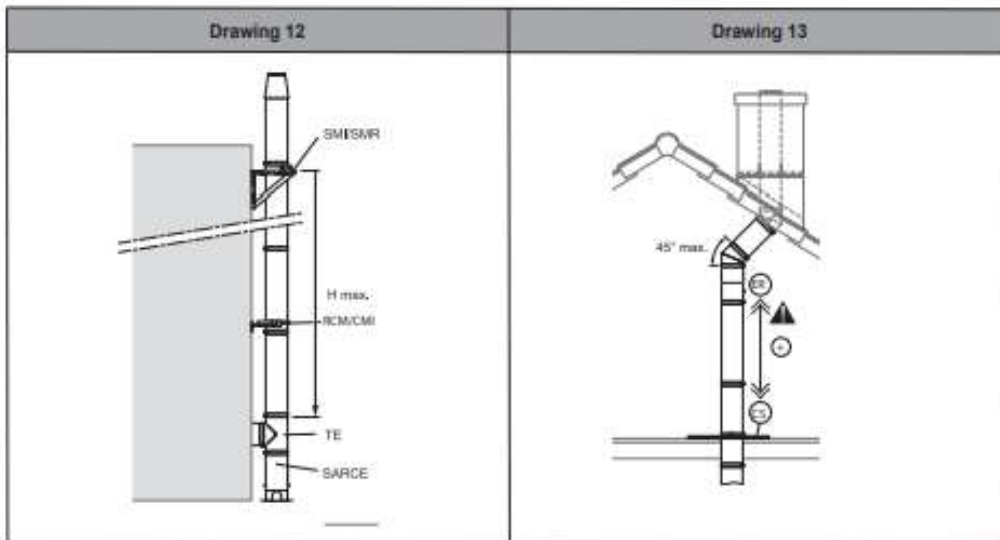
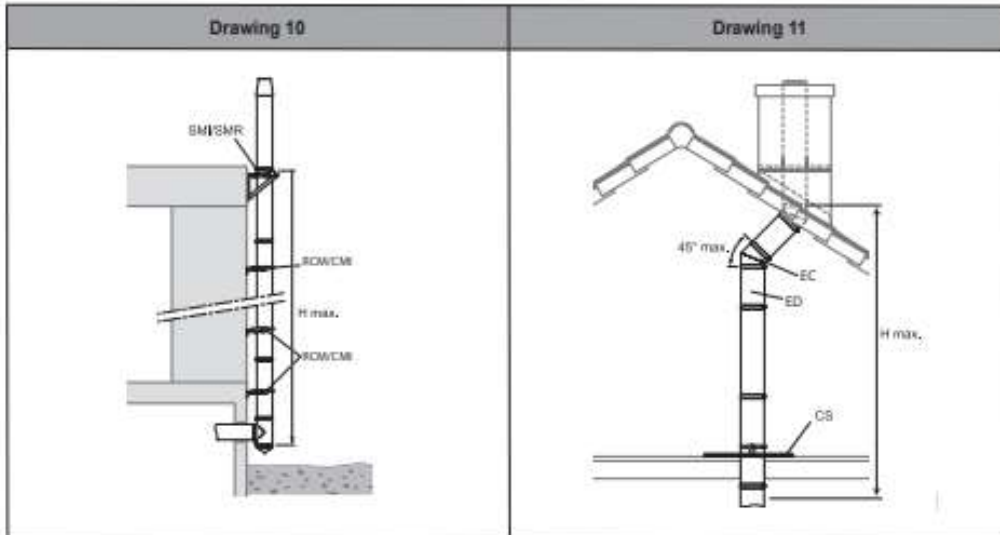
- Y max: Maximum number of lengths above of the last support.

		THERMINOX T1/Z1												
Drawing		Ø80	Ø100	Ø130	Ø150	Ø180	Ø200	Ø250	Ø300	Ø350	Ø400	Ø450	Ø500	Ø600
H max.	5, 6 & 7	2	2	2	2	2	2	2	2	3	3	3	3	3
Y max.	5, 6 & 7	2	2	2	2	2	2	2	2	3	3	3	3	3
H1 max.	8 & 9	3	3	3	3	3	3	3	3	3	3	3	3	3



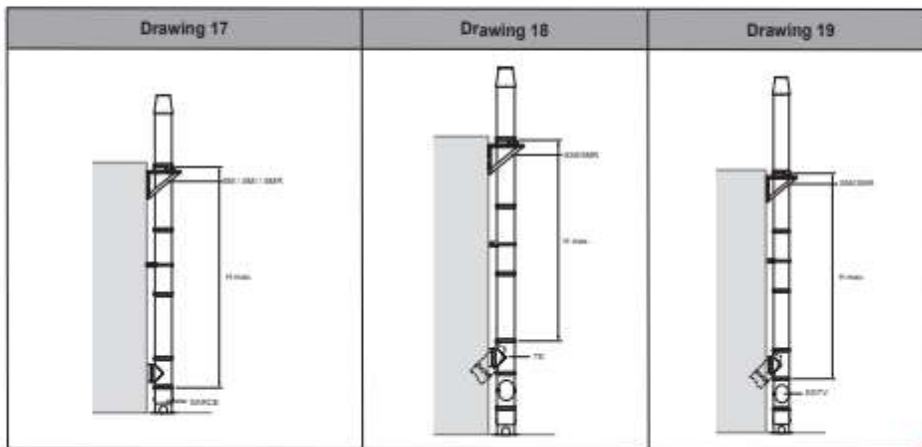
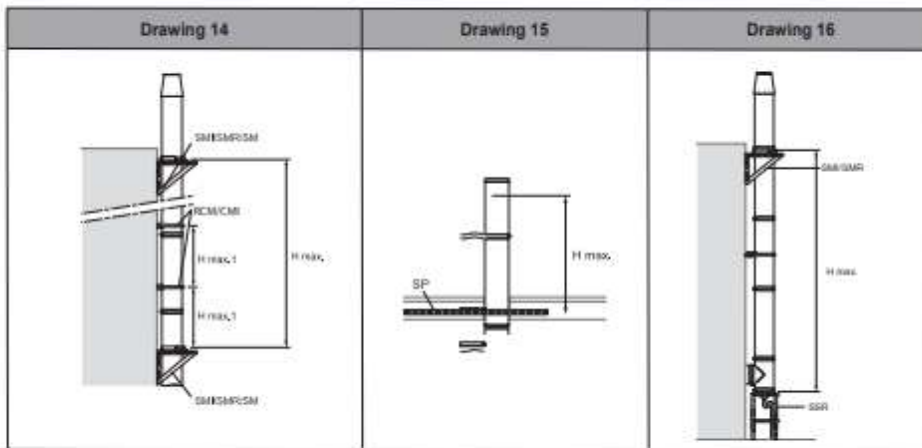
Tensile strength (in meters)

		THERMINOX T1/Z1													
	Reference	Drawing	Ø80	Ø100	Ø130	Ø150	Ø180	Ø200	Ø250	Ø300	Ø350	Ø400	Ø450	Ø500	Ø600
H.max	SMI / SMR	10	16	16	16	16	16	16	16	16	12	12	12	8	8
H.max	SM		12	12	12	12	12	12	12	12	8	-	-	-	-
H.max	ED / EC	11	10	10	10	10	10	10	10	10	-	-	-	-	-
H.max	SMI / SMR	12	16	16	16	16	16	16	16	16	12	12	12	12	12
H.max	SM		16	16	16	16	16	16	16	16	12	12	12	12	12



Compressive strength (in meters)

			THERMINOX T1/Z1												
	Reference	Drawing	Ø80	Ø100	Ø130	Ø150	Ø180	Ø200	Ø250	Ø300	Ø350	Ø400	Ø450	Ø500	Ø600
H.max	SMI	14	16	16	16	16	16	16	16	16	12	12	12	12	12
H.max	SMR 05-20		16	16	16	16	16	16	16	16	12	12	12	12	12
H.max	SMR 20-40		-	-	8	8	8	8	8	8	8	8	8	6	6
H.max	SMR 30-60		-	-	8	8	8	8	8	8	8	8	8	6	6
H.max.1	CMI + RCM		4	4	4	4	4	4	4	4	4	3	3	3	3
H.max.1	SP	15	10	10	10	10	10	10	10	10	10	10	10	10	10
H.max	SSR	16	12	12	12	12	12	12	12	12	8	8	8	8	8
H.max	SARCE	17	12	12	12	12	12	12	12	12	8	8	8	8	8
H.max	TE	18	16	16	16	16	16	16	16	16	12	12	12	12	12
H.max	EDTV	15	12	12	12	12	12	12	12	12	8	8	8	8	8

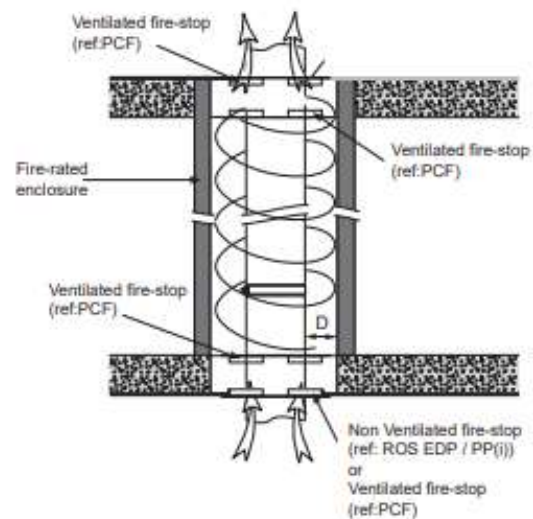


Distance to combustible materials

	THERMINOX TI/ZI												
	Ø80	Ø100	Ø130	Ø150	Ø180	Ø200	Ø250	Ø300	Ø350	Ø400	Ø450	Ø500	Ø600
T450	D = 50 mm						D = 75 mm			D = 100 mm			
T250	D = 20 mm						D = 30 mm			D = 40 mm			
T200	D = 20 mm						D = 30 mm			D = 40 mm			

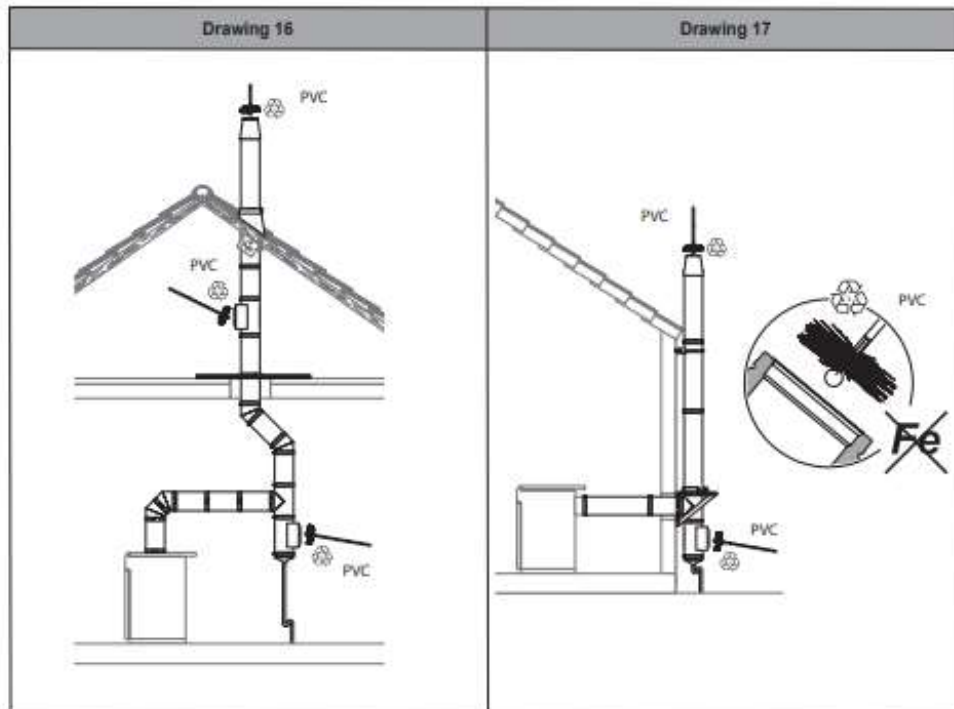
Fire-stop and fire rated enclosure arrangement when passing through two or more floors.

- Therminox and fire-stops have been tested to BS476 part 20 to achieve a maximum four hour rating.



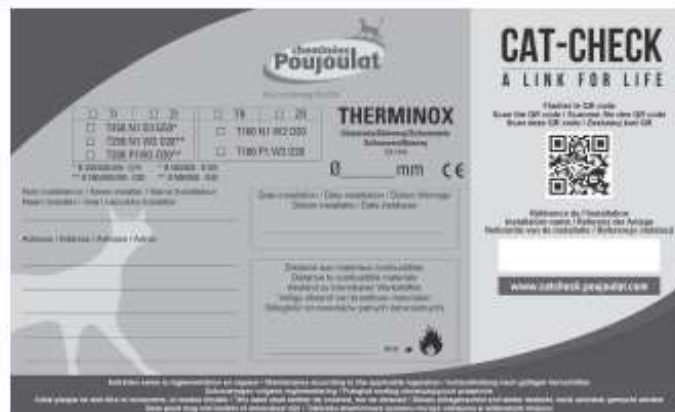
T450: D = 50mm distance to combustible materials
T250: D = 20mm distance to combustible materials
T200: D = 20mm distance to combustible materials

Maintenance



The following label must be attached to or located close to the chimney

- The essential information for installation on site is in this notice. Other information system on these products are available in the brochure, price list and on our website. In the customer's interest Poujoulat retains the right to make changes to their range of products in order to improve them in accordance with technical developments.



Appendix 2 – Structural Engineer’s letter.

 <p>EG/435070/eg</p> <p>23/11/2021</p> <p>Mr R Smits Tichborne Cottage Tichborne Alresford</p> <p>Dear Robert</p> <p>Re: Proposed chimney works at Tichborne Cottage, Tichborne, Alresford</p> <p>After our recent visit to your house as noted above we are writing to confirm that the proposed works to the chimney, of adding approximately 5 courses of brickwork to raise the height of the chimney, will have no detrimental structural effects on the existing building or the adjoined adjacent building.</p> <p>The existing chimney is well supported and appears in good condition.</p> <p>Hopefully this letter provides the information you need to proceed with the works and gain the proper permissions required. Please let me know if you would like to discuss anything or need any further information.</p> <p>Yours Sincerely</p>  <p>Elvin Gomery Beng HONS For and on behalf of Cowan Consultancy</p>	<p><i>Structural Engineering</i></p> <p><i>Timber Framed Buildings</i></p> <p><i>Heritage Buildings</i></p> <p><i>Structural Inspections</i></p> <p><i>Subsidence</i></p> <p><i>Party Wall Surveyors</i></p> <p><i>Civil Engineering</i></p> <p><i>Roads & Drainage</i></p> <p><i>Site Investigations</i></p> <p><i>Contaminated Land</i></p> <p><i>Site Stability Reports</i></p> <p><i>Flood Risk Assessments</i></p> <p><i>Project Management</i></p> <p>Cowan Consultancy Limited 3 Turnberry House 4400 Parkway Whiteley Fareham Hampshire PO15 7FJ</p> <p>Telephone: 01489 577488 Fax: 01489 579873</p> <p>www.cowanconsult.co.uk consultants@cowanconsult.co.uk</p> <p><i>Also at:</i> Landguard Manor Landguard Manor Road Shanklin Isle of Wight PO37 7JB</p> <p>Telephone: 01983 868497 Fax: 01983 865781</p> <p>Directors: D.J. Button B.Sc., C.Eng., M.I.C.E. (Managing) J. Button B.Ed.</p> <p>Associate: E. Gomery B.Eng (Hons)</p>
---	---