

**FORD CASTLE,  
NORTHUMBERLAND.  
LISTED BUILDING CONSENT  
APPLICATION**

**Design and Access Statement and Heritage  
Statement**

Prepared for: PGL Travel Ltd

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**SLR** 

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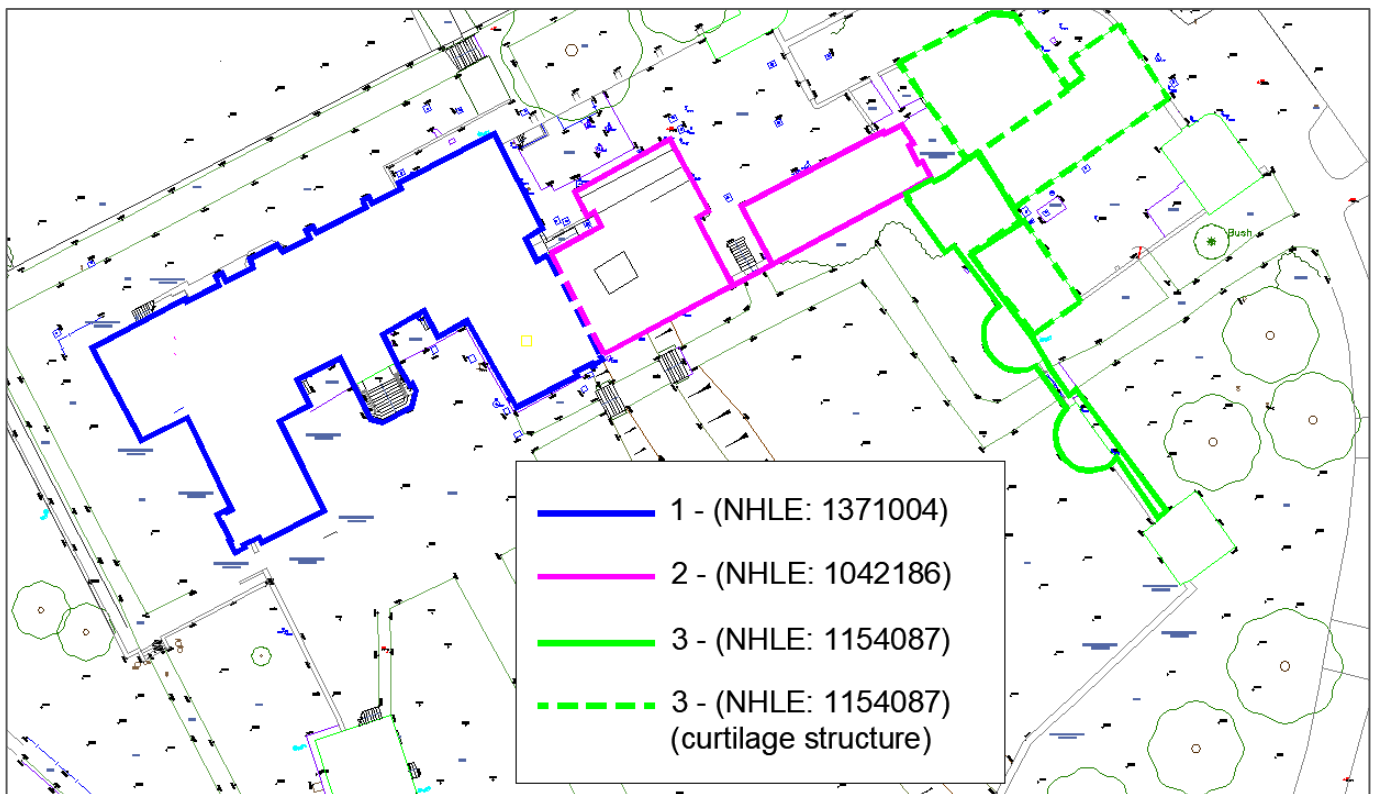
## 1.0 Introduction

In November 2021, SLR Consulting was commissioned by PGL Travel Ltd to prepare a Design and Access Statement and Heritage Statement in relation to a Listed Building Consent application for proposed works at Ford Castle Northumberland. The proposals for which Listed Building Consent are being applied for are in relation to the resumption of adventure holidays at the Castle, the viability of which will require the improvement of facilities and/or the provision of health and safety measures to ensure that Ford Castle remains an attractive and certified option for prospective clients.

The specific Listed Buildings at the Ford Castle Estate addressed by this report are:

1. Grade I Ford Castle (NHLE reference 1371004);
2. Grade II\* Ford Castle north forecourt wall and gateway with laundry and service wing attached to rear (NHLE reference 1042186); and
3. Grade II\* Ford castle east gateway, east forecourt wall and handyman's cottage (1154087).

These are shown on Plate 1.1 below.



**Plate 1-1 - Block Plan of Listed Buildings Affected**

As part of this assessment pre-application consultation has been held with Northumberland County Council Environment and Design Team (Kain, R 2021, pers comm., 11<sup>th</sup> November). Historic England were also contacted for pre-application advice (Lowe, M 2021, pers comm., 23 November) (PA01167589).

## 2.0 Proposals

The proposals for which consideration of Listed Building Consent is requested are set out below. Room reference numbers are provided where appropriate.

- Refurb works affecting historic bathrooms at (1):
  - G12 (basins only - repair)
  - G18 (toilet only - removal)
  - F05 (heated rail and door - removal)
  - F14 (heated rail only - removal)
  - F20 (tiles only - covering)
  - F37 (removal of whole suite, heated rail, tiles and flooring)
  - F41 (covering of tiles, removal of whole suite, flooring and heated rail)
  - S07 (removal of whole suite, heated rail, flooring and tiles)
  - S23 (covering of tiles, removal of whole suite, flooring and heated rail)
- Other works affecting bathrooms - installation of extractor ventilation to bathrooms at (1):
  - F33
  - F37
  - F41
  - S07
  - S15
  - S23
- The repositioning of an attic room doorway at (1):
  - (S16)
- The conversion of an attic bedroom to a bathroom facility at (1):
  - (S15)
- The insertion of protective barriers to the openings of fireplaces of sixteenth/seventeenth century date at (1):
  - F09
  - F11
  - F40
  - S06
- The insertion of protective boxes around nineteenth century fireplaces at (1):
  - G16
  - F17
  - F28
  - F34

- F35
- S21
- S22
- The installation of handrails to specific staircases at (1):
  - Stair 3
  - West Stair
  - S20
- Installation of kitchen facilities at (2):
  - B26 (excavation of below ground drainage gully required between the cooker and external drain in service yard to east). To include the renewal of a grease trap in the service yard and the interior integration of the kitchen sink drainage currently breaching the external wall (extant sink drainage through wall to be removed with wall repaired) and the re-surfacing of the service yard with flag stones to provide enhancement
  - B26-B31, B33 & B36-37 (removal of floor covering and installation of new covering)
  - B29 (concrete ramp)
  - B26 & B29 (covering of historic wall tiles)
  - B26 & B29 (removal of extant fixtures and fittings and installation of new free-standing kitchen
  - Removal of cupboards/shelving in B27, B28, B31, B33 & B37
  - B37 (installation of condenser pipework)
  - B26 (installation of extractor fan through existing skylight)
  - B26 (installation of electric cabling)
  - B29 (installation of extractor fan through existing skylight)
  - B29 concrete ramp to steps
  - B34 (installation of electric cabling)
- General removal and replacement of modern vinyl and carpet floor coverings to bedrooms and communal areas (1) and (3)
- The general renewal/fitting of curtain fixtures to bedrooms (1) & (3)
- General re-plastering (minimal) and re-decorating at (1), (2) and (3) in accordance with a specification set out within the lease of the Castle
- General replacement of existing power sockets with USB and power socket ports at (1)(2)(3)
- General replacement and upgrading of extant non-historic light fittings at (1)(2)(3)
- General installation of emergency lighting at (1)(2)(3)
- General installation of fire signs at (1)(2)(3)
- Installation of bedroom signage at (1)(3)
- Installation/renewal of power at (1)
  - B39
  - B24
  - B14
  - B07
  - B08

- B11

For transparency, other proposals not addressed by the Listed Building Application are the refurbishment of a number of other bathroom/toilet facilities of clearly modern date for which a Certificate of Lawfulness will be requested under separate cover. The application for a Certificate of Lawfulness will cover all the floors and sanitaryware fittings within the following bathrooms except where features are explicitly referenced. Features in brackets will be either be retained or will be subject to the Listed Building Consent application.

- (1) - B16, B17, B18, B19 (not toilet), G12 (not basins), DG85, G17, G18 (not toilet), F04, F05 (not heated rail), DF107, F13, F14 (not heated rail), F18, F20 (not wall tiles), DF129, F24, F33, F26 (not heated rail) F36, F39, S03, S16 (not heated rail), S18.
- (2) - B35.
- (3) G03A, G10, G08A, G014A, G15, G16, G18A, F07.



## 3.0 Methodology

The assessment has been undertaken in accordance with all relevant statute, policy and guidance, including:

- the Planning (Listed Buildings and Conservation Areas) Act 1990;
- the NPPF (2021) - Chapter 16 Conserving and Enhancing the Historic Environment;
- Historic England's (2021) Listed Building Consent: Historic England Advice Note 16; and
- Historic England's (2019) Statement of Heritage Significance: Analysing Significance in Heritage Assets Historic England Advice Note 12.

The assessment has been undertaken, and the report prepared, by Charlotte Dawson, MCIfA, Principal Heritage Consultant, SLR Consulting. SLR Consulting is a Registered Organisation (RO) with the Chartered Institute for Archaeologists (CIfA) and a member of the Federation of Archaeological Managers and Employers (FAME).

The following sources were consulted during the preparation of this report:

- Northumberland County Council Historic Environment Record (HER);
- the National Heritage List; and
- Ford Castle Northumberland Conservation Plan Final Draft (Simpson & Brown Architects 2012/2013).

The Castle was visited in November 2021 with the Northumberland County Council Built Heritage and Design Officer, Rosalind Kain, in attendance.

This report should be read in conjunction with the following schedule of works and submission plans:

- Schedule of works
  - 2035-Doc 01- Clock Tower Scope of Works-Listed-Building-Rev C
  - 2035-Doc 03 - Scope of Works- Basement Only – Listed Building-Rev B
  - 2035-Doc 05- Scope of Works-Ground Floor-Listed Building -Rev B
  - 2035-Doc 07 -Scope of Works-First Floor – Listed Building Rev D
  - 2035-Doc 09- Scope of Works-Second Floor – Listed Building- RevC
  - 2035-Doc 11 Bedroom Specification rev A
- Submission Plans
  - 2035\CY-004 Existing Clock Tower Lower Roof Plan
  - 2035\CY-010 Rev A Proposed Clock Tower Ground Floor Plan
  - 2035\CY-011 Rev A Proposed Clock Tower First Floor Plan
  - 2035\FC-001 rev B Site Location Plan
  - 2035\MC-010 rev A Proposed Basement Level Plan
  - 2035\MC-011 Proposed Ground Floor Plan
  - 2035\MC-012 rev F Proposed First Floor Plan
  - 2035\MC-013 Proposed Second Floor Plan
  - 2035\MC-014 Proposed Roof Plan
  - 2035\MC-100 rev C Proposed Bathroom Alterations Example Sheet 1
  - 2035\MC-101 rev C Proposed Bathroom Alterations Example Sheet 2
  - 2035\MC-102 rev C Proposed Bathroom Alterations Example Sheet 3
  - 2035\MC-103 rev C Proposed Bathroom Alterations Example Sheet 4
  - 2035\MC-104 rev C Proposed Bathroom Alterations Example Sheet 5
  - 2035\MC-105 rev B Proposed Bathroom Alterations Example Sheet 6
  - 2035\MC-106 rev B Proposed Bathroom Alterations Example Sheet 7
  - 2035\MC-110 rev D Proposed Basement Level Kitchen Alterations and New Drain Connection Details

- 2035\MC-210 Existing Fire Place Insert and Boxing Examples
- 2035\MC-214 rev A Proposed Handrail Detail Stair 3
- 2035\MC-215 rev A Proposed Handrail Detail Stair S20
- 2035\MC-216 Proposed Handrail Detail West Staircase

## 4.0 Special Interest

To determine the potential harm that the proposals may cause to the significance of Listed Buildings and provide the baseline on which the Listed Building Consent application can be determined it is important to understand where the special interest of the Listed Buildings lies. The interests of each building are set out below to assist the decision-maker. The Ford Castle Northumberland Conservation Plan Final Draft (Simpson & Brown Architects 2012/2013) has been utilised where appropriate. Plans and gazetteers of specific features relevant to this application are included in Appendices 2-7 and referenced as appropriate.

### 4.1 (1) Ford Castle (1371004)

#### Description

The multi-phase Ford Castle holds historic and architectural interest in features dating from the thirteenth century through to the twentieth century. To avoid unnecessary repetition, the historic and architectural interests of the Castle are described together below. Archaeological interest is also set out.

#### Architectural and Historic Interest

A manor at Ford was first referenced in 1282. Surviving elements of the early building are limited, restricted to some fabric of the basement and ground floor of the western wing of the Castle.

Its embattlement as a fortified manor house was permitted in 1338 when William Heron was provided with a licence to crenellate. At this time a stone quadrangular castle was constructed around four corner towers connected by a curtain wall. The tower located at the north-west corner ('King James Tower') is the only wholly surviving tower of fourteenth century date within the main body of the Castle, its basement level being particularly significant in its unaltered medieval date. Surviving parts of the corresponding north-eastern tower are limited, restricted to fabric of its western elevation within the basement and ground floor of the extant building. The conjoining fourteenth century curtain wall between the towers is also extant in part hidden internally to later phases, with diminishing fabric between the basement and first floor of the Castle (for example in the northern elevation of part of the long gallery).

By 1367 the Castle was key in the defence of the borders. Reflecting this, it was taken by the Scots in 1385 and left ruinous. William Selby occupied a presumably restored Castle in 1509 before it was taken by Scots King James IV (whose brief occupancy led to the naming of the King James Tower) and purposefully partially destroyed through fire, being recorded as predominantly ruinous again in 1541. Shortly after this a failed attack from French troops (fighting on behalf of the Scots) was described with a Thomas Carr being recorded as resisting the attack from a tower.

In 1589 a major rebuilding was undertaken with the two northern towers and their conjoining curtain enveloped within an Elizabethan mansion of three floors with Tudor mullioned windows. The two southern towers were retained externally to the buildings to flank a new, near symmetrical, entrance front with a new driveway extending to the south between them.

The Elizabethan mansion incorporating the earlier medieval towers and northern curtain wall was subject to some remodelling by Sir Francis Blake in 1694. The extent of the remodelling is likely to have included the replacement of a spiral staircase in the western part of the house with a stair with landings (F01). This remains extant today.

Eighteenth century early 'Gothicism', involving numerous locally known architects (George Raffield, James Nesbit and Alexander Gilkie), saw the emphasis of improvements on embracing the existing gothic fabric of the Elizabethan building, removing the Tudor windows and replacing them with lancet windows (which remain to the King James Tower) and the addition crenelations for example. Of particular note, from around the 1780s,

new forecourt walls protected under a separate listed and included here for context were established. These extended from the southern elevation and around to the east and south (NHLE references 1042186, 1154087 and 1041285).

A major period of Victorian investment within the Castle was undertaken for Lady Waterford after a period of neglect. This saw the reversal of much of the eighteenth-century Gothicism and the refacing of much of the exterior facades. This was undertaken by David Bryce. His Victorian interiors have been lost but his replacement of the majority of the gothic lancet windows across much of the building is evident, with eighteenth century Gothic examples limited to the King James Tower. The windows were generally replaced with seventeenth century style rectangular stone cross windows.

Two toilet closets within the Castle, one to the basement floor (B19) and one to the ground floor (G18) retain toilets of Victorian character. Bryce also extended the basement floor to the east, creating a service wing (protected under a separate listing NHLE reference 1042186), allowing the removal of the kitchen from the main house. This separately listed extension exists with little subsequent alteration with characteristic service yards and courts.

The twentieth century (known as the 'Joicey' period with the Castle coming under the ownership of Lord Joicey) saw the loss of Bryce's Victorian interiors. Two new water closets were installed to the ground floor, in the vicinity of the entrance hall (the long gallery) (room G12). The original basins and marble surrounds survive. In each of the principal bedrooms a wash basin was also installed. The marble surrounds survive in bedrooms 'Heron', 'Waterford', 'Delaval'. The sink in 'Heron' is original but the sinks in 'Waterford' and 'Delaval' appear later. The examples in the 'Blake' and 'James' bedrooms are entirely modern replacements. An underground boiler and fuel store was also installed to the north of the Victorian service range in the 1930s which facilitated an improved hot water supply to the Castle and the use of radiators and heated towel rails.

Also, at this time a new corridor was created at the first floor (bedroom) level to enable access to a suite of bedrooms now known as the Cheviot and Joicey bedrooms. Arts and crafts doors were also installed throughout the building at this time. Joicey's work was completed in 1939 but the start of WWII meant that the Castle was never utilised as a country mansion. During the war it was used as hospital for the British Red Cross and St John's Ambulances. Thereafter it was used by the National Association of Boys Clubs of Great Britain and a field study centre.

In summary, the Castle is of high historic importance, with known associations with notable historic individuals and periods of conflict between England and Scotland. Architectural importance principally arises from the exterior of the Castle but with a particular element to the interior being exceptional; the basement to the King James Tower which is wholly medieval in date. Otherwise, the highest levels of architectural importance are present in the fabric of the medieval towers (principally the King James Tower) and to the general façade of the castle which displays a palimpsest of a number of different architectural styles and trends reflecting successive phases of investment. Again, it is the King James Tower, which is notable here, containing medieval stonework and an original slit window amongst later eighteenth century gothic examples. The extensive windows to the rest of the building comprise leaded windows predominantly of nineteenth century date (Bryce for Waterford) set within sixteenth to twentieth century stonework. Other interior features of some note include, stone fireplaces of sixteenth/seventeenth century date (primarily to the principal rooms of the ground floor but also present within five bedrooms to the first floor). Later Victorian fireplaces with simple regency style grey veined white marble surrounds are apparent to other bedrooms, some with the Waterford crest. Other notable features due to their number and conformity are the arts and crafts styled doors attributable to the Joicey period and main staircases including a restored sixteenth century newel stair in the east wing and a seventeenth century stair with landings in the west wing.

Appendix 1 includes general photographs of principal rooms.

## Archaeological Interest

The layers of fabric within the Castle building, hold archaeological interest in their evidential value which illustrates successive periods of engineering and craftsmanship. Furthermore, the land bound within the later curtain walls to the south of the building, which includes the footprint of the earlier quadrangular fourteenth century castle and its likely thirteenth century predecessor, is likely to hold archaeological deposits of high importance.

## 4.2 (2) Ford Castle north forecourt wall and gateway with laundry and service wing attached to rear (NHLE reference 1042186)

### Description

This section of the Castle was constructed in the two phases. The north forecourt walls were constructed in 1781 by J Nisbet. The laundry and service wing to the rear which includes the kitchen space were added by David Bryce for Lady Waterford in the mid nineteenth century.

### Architectural and Historic Interest

The historic interest of the asset lies in its association with two specific periods at the Castle, reflecting the continued importance of the Castle as a place of residence with successive owners investing in specific architectural trends to enhance the courtyard experience or practical extensions; the north forecourt walls were added in the late eighteenth-century as part of the wider Gothicism of the Castle whilst the kitchen and laundry were added by Lady Waterford to the rear to remove these operations from the body of the Castle.

The crenelated walls extend either side of a gateway set in a pointed arch with an imitation portcullis in a blank trefoiled arch with a modillion cornice above including pierced quatrefoils in the parapet.

The kitchen and laundry to the rear are single storey in plan under Lakeland slate roofs. They both incorporate typical Victorian sash windows. The listing description references Victorian period laundry equipment within the laundry house, but access was not gained as part of this assessment and so this cannot be verified here. Access to the kitchen complex, however, allowed observation of a series of rooms appearing to be original in their layout with various rooms/stores obviously set aside for different tasks, the presence of a large Victorian refrigeration unit in one room being a particular feature of note (room B32). Original doors and architraves were observed and a number of sash windows including one particularly large window to the main kitchen space (B26) overlooking a service yard. This incorporates a twelve over twelve arrangement and is inclusive of folded wooden shutters housed within a shallow reveal. Also, in the main kitchen space (B26) and a side kitchen (B29), some original tiling was observed to comprise a tile trim.

### Archaeological

The archaeological interest of the asset lies in the fabric of the building which may hold evidence of successive phases of alteration and decoration, albeit this is anticipated to be limited with the asset essentially representing three discrete single-phase buildings. The ground beneath the asset may hold evidence of gardens associated with the Castle which were known to extend from the eastern elevation of the main Castle complex from at least the eighteenth century.

## 4.3 (3) Ford Castle east gateway, east forecourt wall and handyman's cottage (NHLE reference 1154087)

### Description

This section of the Castle primarily comprises the east forecourt walls which were constructed in 1781 by J Nisbet. A handyman's cottage that was added in 1862. Attached stables to the rear were added in the mid nineteenth

century also and are cautiously referenced as a curtilage structure, as is a servant's block to the north of the Stables.

### Architectural and Historic Interest

The historic interest of the asset lies in its association with two specific periods at the Castle, reflecting the continued importance of the Castle as a place of residence with successive owners investing in specific architectural trends or practical extensions. The east forecourt walls were added in the late eighteenth-century as part of the wider gothicisation of the Castle whilst the handyman's cottage, stables and servant's quarters were added by Lady Waterford during a Victorian period of extensions.

The east crenelated wall houses cruciform slits and contains two half drum towers displaying arched niches to the ground floor and pierced quatrefoils above. These flank an eastern gate holding an imitation portcullis. The northern-most tower houses a dovecot in a central roundel whilst the southern-most tower houses a clock.

The handyman's cottage extends into the northern-most tower across two floors and three bays. The buildings attached to the east of the walls, referenced by the listing description as 'garages' but which are now converted to accommodation were likely stables during the Victorian period. The listing description references these are having no special interest. The servant's quarters to the north of the former garages/stables are not mentioned but these are of typical Victorian character including sash windows and Victorian fireplaces.

### Archaeological Interest

The archaeological interest of the asset lies in the fabric of the building which may hold evidence of successive phases of alteration and decoration, albeit this is anticipated to be limited. The ground beneath the building may hold evidence of gardens associated with the Castle which were known to extend across its footprint from at least the eighteenth century.

## 5.0 Potential Harm

This section of the report will address the proposals with reference to the Listed Buildings as follows:

1. Grade I Ford Castle (NHLE reference 1371004);
2. Grade II\* Ford Castle north forecourt wall and gateway with laundry and service wing attached to rear (NHLE reference 1042186); and
3. Grade II\* Ford castle east gateway, east forecourt wall and handyman's cottage (1154087).

### 5.1 Bathrooms Removal/Repair/Covering at (1)

Refurbishment within nine of the extant toilets/bathrooms at Ford Castle (1371004) are anticipated to potentially require Listed Building Consent due to the presence of 'historic' features. These comprise the rooms referenced as follows with potentially sensitive elements cited in brackets:

- G12 (basins only - repair);
- G18 (toilet only removal);
- F05 (heated rail and internal door removal);
- F14 (heated rail only removal);
- F20 (tiles only covering);
- F37 (removal of whole suite, heated rail, tiles and flooring)
- F41 (covering of tiles, removal of whole suite, flooring and heated rail)
- S07 (removal of whole suite, heated rail, flooring and tiles)
- S23 (covering of tiles, removal of whole suite, flooring and heated rail)

The location of these rooms is shown in Appendix 2 which also includes a basic photographic record.

#### 5.1.1 G12 (Basin Repair)

Proposals for which the consideration of Listed Building Consent is requested are set out within the schedule and discussed below. Appendix 2 includes a location plan and a basic photographic record.

Works to modern features (two toilets and cubicles and floor covering) are being requested separately under a Certificate of Lawfulness.

The twin 1930s washbasins date to the Joicey 1930s period and are inset into an original marble/stone countertop. It is proposed that cracks within the countertop will be repaired.

It is anticipated that the works would cause **no harm** to the overall significance of the Listed Building, the repair of the 1930s wash basins alongside the intended retention of the heated rail representing the conservation of elements representative of innovations implemented in recent historic periods.

#### 5.1.2 G18 (Toilet Removal)

Proposals for which the consideration of Listed Building Consent is requested are set out within the schedule and discussed below. Appendix 2 includes a location plan and a basic photographic record.

Works to modern features (a wash basin and floor covering) being requested separately under a Certificate of Lawfulness).

This room has been dated by the Conservation Plan to the Victorian period and classified as of 'moderate' importance. The exterior wall is classified as being of 'considerable' importance being of medieval date.

It was associated with Lady Waterford's improvements; possibly a facility for the use of Lady Waterford and her guests, being in close proximity to the East Lounge, the access to the room may have been altered, with fixed timber boarding to the eastern wall indicating a blocked doorway. The toilet is Victorian. The pale yellow/cream washbasin on stand appears later, its removal to be requested under a separate certificate of lawfulness.

The removal of the historic toilet and its replacement with a modern toilet would be considered to cause a **negligible harm** to the overall significance of the Listed Building, affecting an element that directly related to the Victorian phase of improvements at the Castle. It should be noted, however that another early toilet (shown in Appendix 2) located within the Castle at would be retained by PGL Travel and that the overall significance of the Castle which is listed principally for its medieval and Elizabethan external fabric would be unaffected.

Mitigation for the harm would be the careful removal of the toilet and its safe storage at the Castle.

It is anticipated that the external wall will not require intervention as part of these works. In the unlikely event that any intervention to the external wall is required, it is anticipated that suitable mitigation would comprise monitoring by a buildings archaeologist with opportunity provided for the recording of any exposed masonry of archaeological significance.

### 5.1.3 F05 (Heated Rail and Door Removal)

Proposals for which the consideration of Listed Building Consent is requested are set out within the schedule and discussed below (works to modern features being requested separately under a Certificate of Lawfulness). Appendix 2 includes a location plan and a basic photographic record. Submission drawing 2035\MC-106 also shows the location of the rail and the door.

This configuration of the room is classified by the Conservation Plan as being of neutral significance and of Joicey date.

The heated rail located in this room is 1930s in date and would be removed as part of the proposals which will otherwise affect entirely modern features which are not discussed further here, their removal clearly not affecting any elements of significance.

The removal of the heated towel rail would cause **negligible harm**, affecting an element that directly related to the Joicey phase of improvements at the Castle. It should be noted, however that other historic handrails located within the Castle would be retained by PGL Travel and that the overall significance of the Castle which is listed principally for its medieval and Elizabethan external fabric would be unaffected.

As a mitigation measure the heated rail would be carefully removed and stored on site at the Castle.

The removal of the door is required to facilitate movement within the reconfigured bathroom suite (applied for under a separate Certificate of Lawfulness). The actual space affected is referenced within the Conservation Plan as being of neutral significance therefore the removal of the door is not anticipated to affect the appreciation of an important layout; the door between the bathroom space (provided via the associated F04) would not be affected. **No harm** is anticipated.

### 5.1.4 F14 (Heated Rail Removal)

Proposals for which the consideration of Listed Building Consent is requested are set out within the schedule and discussed below. Appendix 2 includes a location plan and a basic photographic record.

This configuration of the room is classified by the Conservation Plan as being of neutral significance and of 1862 date.

The heated rail located in this room may be Victorian in date and would be removed as part of the proposals which will otherwise affect entirely modern features which are not discussed further here, their removal clearly not affecting any elements of significance.



The removal of the heated towel rail would cause **negligible harm**, affecting an element that directly related to the Victorian or Joicey phase of improvements at the Castle. It should be noted, however that other contemporary handrails located within the Castle would be retained by PGL Travel and that the overall significance of the Castle which is listed principally for its medieval and Elizabethan external fabric would be unaffected.

As a mitigation measure the heated rail would be carefully removed and stored on site at the Castle.

### 5.1.5 F20 (Covering of Tiles)

Proposals for which Listed Building Consent are set out within the schedule and discussed below (works to modern features being requested separately under a Certificate of Lawfulness). Appendix 2 includes a location plan and a basic photographic record. Submission drawing 2035\MC-105 shows the location of the tiles to be covered

This room was classified by the Conservation Plan as being of 'moderate' importance although it was dated as post-dating 1950, this possibly reflecting a refurbishment undertaken at around the time of the report's production, albeit the configuration of the room should have been allocated a 'Joicey' date. The classification of importance at 'moderate' was likely a reference to the Joicey date for its footprint. Of note, the masonry section behind the toilet is referenced as being of 'considerable' importance, being of 1862 date.

A 1930s bath was recently removed through LBC and a modern suite inserted. Only the green fish tiles remain which are possibly 1930s in date but they are not remarkable examples. It is proposed that as part of the works set out within the schedule that the tiles are covered over. This intervention will preserve the tiles in situ such that a layer of 1930s fabric remains in the bathroom for the understanding of future generations. Therefore, **no harm** to the overall significance of the Castle is predicted.

### 5.1.6 F37 (Removal of Whole Suite, Heated Rail, Tiles and Flooring)

Proposals for which the consideration of Listed Building Consent is requested are set out within the schedule and discussed below. Appendix 2 includes a location plan and a basic photographic record.

Submission drawing 2035\MC-104 shows the proposals.

This room has been dated to the early twentieth century period of improvement, the 'Joicey' period. The Conservation Management Plan indicates that it is of 'neutral' importance. Notably, however the fabric in the masonry to the rear of the toilet may be of medieval date and is therefore classified as being of 'considerable' importance.

With respect to the current fittings, the wash basin is deco in style and its removal may result in the loss of a Joicey feature. As a mitigation measure the wash basin and pedestal would be carefully removed and stored on the Castle estate.

The bath may also be 1930s but it particularly remarkable and a precedent for the loss of 1930s date baths has been set within Room F20. As a mitigation measure the bath would be carefully removed and stored on the Castle estate.

The proposed removal of the bath, basin and the heated rail may affect Joicey dated features with group value and therefore cause **limited harm**. The tiles are not considered to be particularly illustrative of a significant 1930s interior and their preservation is not considered necessary, other tiles of 1930s date with a more decorative design being preserved elsewhere (F20 and F41).

With respect to the heated rail, it should be noted, that other contemporary handrails located within the Castle would be retained by PGL Travel and that the overall significance of the Castle which is listed principally for its medieval and Elizabethan external fabric would be unaffected. As a mitigation measure the heated rail would be carefully removed and stored on site at the Castle. Other features of Joicey date to be retained are also

present in G12 and in some of the principal bedrooms; Delaval, Waterford and Heron where original marble surrounds and historic basins survive in wall cabinets.

The modern toilet is not considered to be a significant fixture, its removal along with the replacement of the floor covering not considered to cause harm.

It should be noted that it is anticipated that the wall to the rear of the toilet will not require intervention as part of these works unless the routing for the existing toilet cannot be re-used. In the unlikely event that any intervention to the external wall is required, it is anticipated that suitable mitigation would comprise monitoring by a buildings archaeologist with opportunity provided for the recording of any exposed masonry of archaeological significance.

### 5.1.7 F41 (Covering of Tiles, Removal of Whole Suite, Flooring and Heated Rail)

Proposals for which the consideration of Listed Building Consent is requested are set out within the schedule and discussed below. Appendix 2 includes a location plan and a basic photographic record.

Submission drawing 2035\MC-103 shows the proposals.

The Conservation Plan references this room as being of 'moderate' importance associated with Joicey's improvements. The external walls relate to the retention of a façade dating to 1862 and are therefore of 'considerable' importance.

The blue bath (with grab rail and soap dishes seen elsewhere such as S23 and formerly in F37, S07) is potentially 1930s in date, as is the deco style basin, and their removal may affect a feature of potential Joicey period date. This would cause some harm, affecting elements that potentially directly relate to the Joicey phase of improvements at the Castle. However, the overall significance of the Castle which is listed principally for its medieval and Elizabethan external fabric would be wholly unaffected. A precedent for the removal of a bath of this period was set through the consent granted for the removal of a contemporary bath from Room F20.

The blue tiles to the walls and the floor are reflective of colour trends originating from around the 1930s period as, are the scattered tiles which incorporate a fish design similar to that found in F20 and formerly assessed to be of 1930s date. These features are not considered to be particularly significant but do reflect a particular trend in interior decoration and would be preserved in situ through carefully covering over.

The removal of the heated towel rail, bath and deco style sink (toilet modern) would cause **limited harm**, affecting a group of elements that reference the Joicey phase of improvements at the Castle. It should be noted, however that other contemporary handrails located within the Castle would be retained by PGL Travel and that the overall significance of the Castle which is listed principally for its medieval and Elizabethan external fabric would be unaffected. Other features of Joicey date to be retained are also present in G12 and in some of the principal bedrooms; Delaval, Waterford and Heron where original marble surrounds and historic basins survive in wall cabinets.

It should be noted that it is anticipated that the external walls will not require significant intervention as part of these works, aside from the fixing of any lateral restraint for the false wall (protecting the tiles) which may breach historic fabric behind retained tiles. In the unlikely event that any significant intervention to the external wall is required which would display a visible horizon, it is anticipated that suitable mitigation would comprise monitoring by a buildings archaeologist with opportunity provided for the recording of any exposed masonry of archaeological significance.

### 5.1.8 S07 (Removal of Whole Suite, Heated Rail, Flooring and Tiles)

Proposals for which the consideration of Listed Building Consent is requested are set out within the schedule and discussed below. Appendix 2 includes a location plan and a basic photographic record.

Submission drawing 2035\MC-100 shows the proposals.

The Conservation Plan identifies this as a room of moderate importance, assigned to the 'Joicey' period of improvements. The east, south and west walls are classified as being of potential considerable importance due to the potential presence of medieval fabric.

The cream-coloured bath and soap dishes (with absent grab rail) and the deco style basin are potentially 1930s in date and their removal will affect a feature of potential Joicey period date. This, along with the removal of the heated towel rail would cause **limited harm**, affecting elements that potentially directly related to the Joicey phase of improvements at the Castle. However, the overall significance of the Castle which is listed principally for its medieval and Elizabethan external fabric would be wholly unaffected. A precedent for the removal of a bath of this period was set through the consent granted for the removal of a contemporary bath from Room F20 and it should be noted that other contemporary handrails located within the Castle would be retained by PGL Travel and that the overall significance of the Castle which is listed principally for its medieval and Elizabethan external fabric would be unaffected. Other features of Joicey date to be retained are also present in G12 and in some of the principal bedrooms; Delaval, Waterford and Heron where original marble surrounds and historic basins survive in wall cabinets.

The modern toilet is not considered to be a significant fixture, its removal along with the replacement of the floor covering not considered to cause harm.

It should be noted that it is anticipated that the wall to the rear of the toilet will not require intervention as part of these works unless the routing for the existing toilet cannot be re-used. In the unlikely event that any intervention to the external wall is required, it is anticipated that suitable mitigation would comprise monitoring by a buildings archaeologist with opportunity provided for the recording of any exposed masonry of archaeological significance.

#### 5.1.9 S23 (Covering of Tiles, Removal of Whole Suite, Flooring and Heated Rail)

Proposals for which the consideration of Listed Building Consent is requested are set out within the schedule and discussed below. Appendix 2 includes a location plan and a basic photographic record.

Submission drawing 2035\MC-100 shows the proposals.

The Conservation Plan classifies this bathroom as being of moderate importance, being associated with the Joicey period of improvements.

The blue bath (with grab rail and soap dishes seen elsewhere such as F41, S07 and formerly F20) and deco style wash basin are potentially 1930s in date and their removal along with the heated rail may affect features of potential Joicey period date. This would cause **limited harm**, affecting elements that potentially reference the Joicey phase of improvements at the Castle. However, the overall significance of the Castle which is listed principally for its medieval and Elizabethan external fabric would be wholly unaffected. A precedent for the removal of a bath of this period was set through the consent granted for the removal of a contemporary bath from Room F20 and heated rails will be preserved elsewhere in the Castle.

The blue tiles to the walls and the floor are reflective of colour trends originating from around the 1930s period and may be 1930s in date but this is doubtful. As a precaution these would be preserved in situ through carefully covering over.

The modern toilet is not considered to be a significant fixture, its removal along with the replacement of the floor covering not considered to cause harm.

## 5.2 Bathrooms Extraction Ventilation at (1)

The removal of baths from the extant bathrooms referenced above and the conversion of a current bedroom into a shower-room (see section 5.4) will necessitate the insertion of an extractor fan to remove excess moisture from the building.

### 5.2.1 F33

Proposals for which the consideration of Listed Building Consent is requested are set out within the schedule and discussed below. Appendix 2 includes a location plan and a basic photographic record.

The Conservation Plan references the location of the window as being of considerable significance being 1862 in date.

The window is present to the northern façade of the building overlooking the gardens to the rear of the Castle. Views of the northern façade of the Castle which the window would be visible within are of moderate significance according to the Conservation Plan. The proposed extractor fan is anticipated to replicate an external appearance presented to B18 which is shown at the end of Appendix 2. This is regarded to be almost imperceptible such that no harm would be anticipated to the appreciation of the Castle in any views possible from the grounds. However, the internal effect of the proposals may cause some harm to historic fabric and the aesthetic appreciation of the window from the interior space such that **limited harm** is possible. Sympathetic design solutions with respect to this would be provided to the Conservation Officer.

### 5.2.2 F37

Proposals for which the consideration of Listed Building Consent is requested are set out within the schedule and discussed below. Appendix 2 includes a location plan and a basic photographic record.

The Conservation Plan references the location of the window as being of moderate significance being Joicey period in date.

The window is present to the eastern façade of the building overlooking the Victorian built service yard. The view of this façade was not specifically assessed within the Conservation Plan, however, it would be anticipated to be of lesser significance than other facades, being effected by the presence of the later Victorian service yard.

Nevertheless, the proposed extractor fan is anticipated to replicate an external appearance presented to B18 which is shown at the end of Appendix 2. This is regarded to be almost imperceptible such that no harm would be anticipated to the appreciation of the Castle in any views possible from the grounds. However, the internal effect of the proposals may cause some harm to historic fabric and the aesthetic appreciation of the window from the interior space such that **limited harm** is possible. Sympathetic design solutions with respect to this would be provided to the Conservation Officer.

### 5.2.3 F41

Proposals for which the consideration of Listed Building Consent is requested are set out within the schedule and discussed below. Appendix 2 includes a location plan and a basic photographic record.

The Conservation Plan references the location of the window as being of considerable significance being 1862 in date.

The window is present to the southern façade of the building overlooking the courtyard. The view of the southern (front) elevation of the Castle is referenced as being of outstanding significance in the Conservation Plan albeit this window is to the extreme right-hand side of the elevation and would not therefore be the focus of the view directly from the portcullis gate.

Nevertheless, the proposed extractor fan is anticipated to replicate an external appearance presented to B18 which is shown at the end of Appendix 2. This is regarded to be almost imperceptible such that no harm would be anticipated to the appreciation of the Castle in any views possible from the grounds. However, the internal effect of the proposals may cause some harm to historic fabric and the aesthetic appreciation of the window from the interior space such that **limited harm** is possible. Sympathetic design solutions with respect to this would be provided to the Conservation Officer.

#### 5.2.4 S07

Proposals for which the consideration of Listed Building Consent is requested are set out within the schedule and discussed below. Appendix 2 includes a location plan and a basic photographic record.

The Conservation Plan references the location of the window as being of considerable significance and being Joicey period in date.

The window is present to the southern façade of the building overlooking the western wing of the Castle. The view of the southern (front) elevation of the Castle is referenced as being of outstanding significance in the Conservation Plan. However, the window is set close to the western wing, being visible in views of the southern elevation from the west of the courtyard walls only, albeit these are still of considerable importance.

The proposed extractor fan is anticipated to replicate an external appearance presented to B18 which is shown at the end of Appendix 2. This is regarded to be almost imperceptible such that no harm would be anticipated to the appreciation of the Castle in any views possible from the grounds. However, the internal effect of the proposals may cause some harm to historic fabric and the aesthetic appreciation of the window from the interior space such that **limited harm** is possible. Sympathetic design solutions with respect to this would be provided to the Conservation Officer.

#### 5.2.5 S15

Proposals for which the consideration of Listed Building Consent is requested are set out within the schedule and discussed below. Appendix 2 includes a location plan and a basic photographic record.

The Conservation Plan references the location of the window as being of moderate significance and being 1862 in date.

The window is present to the southern façade of the building overlooking the courtyard. Whilst views of the southern façade are of considerable importance. However, the proposed extractor fan is anticipated to replicate an external appearance presented to B18 which is shown at the end of Appendix 2. This is regarded to be almost imperceptible such that no harm would be anticipated to the appreciation of the Castle in any views possible from the grounds. However, the internal effect of the proposals may cause some harm to historic fabric and the aesthetic appreciation of the window from the interior space such that **limited harm** is possible. Sympathetic design solutions with respect to this would be provided to the Conservation Officer.

#### 5.2.6 S23

Proposals for which the consideration of Listed Building Consent is requested are set out within the schedule and discussed below. Appendix 2 includes a location plan and a basic photographic record.

The Conservation Plan references the location of the window as being of moderate significance and being Joicey period in date.

The window is present to the southern façade of the building overlooking the crenelated parapet to the first floor of the Castle. Whilst views of the southern façade are of considerable importance, the presence of the crenelated parapet to the first-floor blocks views of this window from the portcullis gate and courtyard.

Nevertheless, the proposed extractor fan is anticipated to replicate an external appearance presented to B18 which is shown at the end of Appendix 2. This is regarded to be imperceptible such that no harm would be anticipated to the appreciation of the Castle in any views possible from the grounds. However, the internal effect of the proposals may cause some harm to historic fabric and the aesthetic appreciation of the window from the interior space such that **limited harm** is possible. Sympathetic design solutions with respect to this would be provided to the Conservation Officer.

### 5.3 The Re-positioning of an Attic Room Doorway at (1)

The function of the doorway in its extant location restricts the circulation of room S16. Proposals for which the consideration of Listed Building Consent is requested are shown on submission drawing 2035\MC-101. Appendix 3 includes a location plan and a basic photographic record.

Room S16 is referenced within the Conservation Plan as being Joicey period in date, likely in reference to its conversion to a bathroom at this date (indicated by the presence of a heated rail which will be retained). Its importance is classified as 'moderate'.

The simple four panelled door is of Victorian character. Door handles are modern. Door set within a simple wooden frame. Skirting between doorways simple and wooden rail above and between doorways simple. Skirting extends to skirting of an earlier date rising from stairwell to east.

The door would be relocated a minimal distance as part of the proposals. The skirting and boarding removed would be reinstated or replicated to either side of the relocated door.

The minor lateral movement of the doorway will not affect an appreciation of the arrangement of doors along the narrow corridor providing access to small close set rooms utilised by servants. The retention and re-use of the door and the replication of current detailing at the skirting level and above the door frames will retain the simple design intention with **no harm** on the significance of the building.

### 5.4 Conversion of an Attic Bedroom (S15) to a Bathroom Facility at (1)

Proposals for which the consideration of Listed Building Consent is requested are shown on submission drawing 2035\MC-101. A basic photographic record is included in Appendix 3.

The Conservation Plan references the room as being of moderate significance and of 1862 date however it is apparent that the room does not reflect the 1862 arrangement entirely. In 1862 it would have been larger replicating the same floorplan as S09. It was curtailed in size by the provision of a bathroom (S16) in the Joicey period. The room has therefore undergone adaption which has curtailed its size. The conversion of this room into an additional bathroom space would not therefore affect a room which is entirely authentic to its original design intention. With due regard to previous intervention, it is anticipated that harm would be **limited**.

### 5.5 The Insertion of Protective Barriers to the Openings of Fireplaces of Sixteenth/Seventeenth Century Date at (1)

A number of the children's bedrooms have fireplaces of sixteenth/seventeenth century date. It is not known if these fireplaces are original to the Castle or whether they were salvaged from other properties during the periods of investment which sought to Gothicise the Castle, the eighteenth century in-particular. The proposed bedrooms are listed below with the location of the fireplaces shown and a basic photographic record provided in Appendix 8:

- F09;
- F21;
- F40; and
- S06.

Whether or not the fireplaces are original to the Castle or not, they are certainly medieval in character and therefore illustrate a highly significant period in relation to the history of the Castle. They are therefore of high importance.

The proposals for each of the fireplaces would seek to preserve the ability to appreciate the contribution that they make towards an understanding of the Castle, retaining visibility of highly important features whilst at the same time fulfilling a health and safety obligation in rooms where children will be unsupervised.

The proposals will seek to utilise a Perspex (or similar) insertion to the void of each fireplace in order to maintain an appreciation of the architecture of the fireplace and retain visibility of the stonework surrounds. This shall be fixed with minimal intervention to the interior/underside of the stonework of each fireplace to minimise disturbance to historic fabric and to avoid impact to highly visible horizons. This shall be done in accordance with a specification to be agreed for each fireplace in consultation with the Conservation Officer and/or Historic England and should include measures to retain necessary air flow to maintain the ventilation of the building.

For reference a broadline approach for the proposals is shown on submission drawing 2035\MC-210. No interventions are proposed for other fireplaces of medieval character which are either located in communal areas where children will be supervised or within adult only areas.

**Limited harm** is anticipated in recognition of the minimal interventions that may be required to fix the insertions in place. This is necessary to ensure the prevention of greater damage which may be incurred by the natural curiosity of children with regard to the otherwise open voids which would be extant without intervention. The effect of the intervention should therefore be considered in respect to the long-term conservation principle.

## 5.6 The Insertion of Protective Boxes Around Nineteenth Century Fireplaces at (1)

A number of the children's bedrooms have fireplaces of nineteenth century date. They reflect a period of Victorian investment in the Castle with two examples specifically bearing reference to Lady Waterford. The proposed bedrooms are listed below with the location of the fireplaces shown and a basic photographic record provided in Appendix 8:

- G16;
- F17;
- F28;
- F35;
- S21; and
- S22.

The fireplaces are of moderate importance.

The proposals for each of the fireplaces would seek to preserve each fireplace (including lintels, surrounds and any grates, hobs and register plates) behind boxing. This is in the interest of fulfilling any health and safety obligations that should be considered in rooms where children will be left unattended.

The proposals will seek to utilise made to measure wooden structures with measures taken to ensure the retention of necessary air flow to maintain the ventilation of the building. The boxing shall be fixed with minimal intervention to the surrounding masonry and floorboards. All the boxing-in shall be done in accordance with a specification to be agreed for each fireplace in consultation with the Conservation Officer and/or Historic England. For reference a broadline approach for the proposals is shown on drawing 2035\MC-210.

**Negligible harm** is anticipated in recognition of the limited interventions that may be required to fix the boxes in place. This is necessary to ensure the prevention of greater damage which may be incurred by the natural curiosity of children with regard to the otherwise open voids which would remain extant without intervention. The effect of the intervention should therefore be considered in respect to the long-term conservation principle.

## 5.7 The Installation of Handrails to Specific Staircases at (1)

Three of the stairwells currently devoid of a handrail or requiring an additional rail will, under the proposals, be used by children whilst moving about the Castle. The location of these stairwells and a basic photographic record are presented in Appendix 5.

### 5.7.1 Stair 3

Proposals for which the consideration of Listed Building Consent is requested are shown on submission drawing 2035\MC-214.

The stairwell is Victorian in character and displays turned balusters of particular aesthetic note. It is of moderate significance. The masonry of the external wall to the rear of timber panelling where the handrails will be positioned include fabric of Victorian date where a date is known (the date of the eastern wall which includes a section of timber panelling being unknown). The insertion of necessary fittings to secure the handrail in place will cause some harm with fittings kept to minimum. Any impact to the aesthetics of the stairwell will be minimised through sympathetic profiling and materials (wood), the specification of which will be agreed in advance with the Conservation Office/Historic England as necessary, but which is shown in broad detail on drawing 2035\MC-214. The effect of the intervention should be considered against the use of the rail which would reduce the load on the historic rail present and therefore the benefit to the conservation of this feature. Overall, considering the secondary status of the stairwell, **negligible harm** is predicted.

### 5.7.2 West Stair

Proposals for which the consideration of Listed Building Consent is requested are shown on drawing 2035\MC-216.

The stairwell is in the location of a Tudor staircase which was altered to include landings in the seventeenth century and refurbished in the Joicey period. The walls are all considered to have the potential to hold Tudor fabric. It holds considerable importance reflecting numerous alterations in an important space controlling circulation between principal areas of the Castle from the Elizabethan period onwards. The provision of a handrail will cause some harm to masonry through the insertion of necessary fittings to secure the handrail in place. However, fittings will be kept to minimum. Any impact to the aesthetics of the stairwell will be minimised through sympathetic profiling and materials, the specification of which will be agreed in advance with the Conservation Office/Historic England as necessary, but which is shown in broad detail on drawing 2035\MC-216. Considering the primary status of the stairwell, **limited harm** is predicted.

### 5.7.3 S20

Proposals for which the consideration of Listed Building Consent is requested are shown on submission drawing 2035\MC-215.

The stairwell is Victorian in character and displays turned balusters of particular aesthetic note. It is of moderate significance. The masonry of the external wall where the handrail will be positioned includes fabric of potential medieval date. The insertion of necessary fittings to secure the handrail in place will cause some harm. However, fittings will be kept to minimum. Any impact to the aesthetics of the stairwell will be minimised through sympathetic profiling and materials (wood), the specification of which will be agreed in advance with the Conservation Office/Historic England as necessary, but which is shown in broad detail on drawing 2035\MC-215. The effect of the intervention should be considered against the use of the rail which would reduce the load on the historic rail present and therefore the benefit to the conservation of this feature. Overall, considering the secondary status of the stairwell, **negligible harm** is predicted.

## 5.8 Installation of Kitchen Facilities at (2)

**5.8.1 B26 (excavation of below ground drainage gully required between the cooker and external drain in service yard to east). To include the renewal of a grease trap in the service yard and the interior integration of the kitchen sink drainage currently breaching the external wall**



### (extant sink drainage through wall to be removed with wall repaired) and the re-surfacing of the service yard with flag stones to provide enhancement)

Proposals for which the consideration of Listed Building Consent is requested are included on submission drawing 2035\MC-110, included on the schedule of works and described below. Appendix 6 includes relevant plates.

The cooking provision would require a drainage connection. A drainage channel would be excavated to the nearest external drain through the excavation of an east-west aligned channel between the cooking provision and the external drainage present in the service yard to the east, see Appendix 6 Plates 5 and 11-13. This would necessitate the excavation of a shallow trench across the eastern part of the kitchen, underneath the external wall and into the service yard to achieve an underground connection. This would disturb the kitchen floor, the footings below the eastern elevation of the kitchen wall and the ground within the service yard which would also be disturbed by works to the extant grease trap. The extent of disturbance at surface level in the kitchen is indicated on submission drawing 2035\MC-110. The disturbance to the wall would be kept to a minimum for the insertion of a pipe only. The disturbance in the service yard would extend as indicated on submission drawing 2035\MC-110.

Buried layers of the kitchen floor, the kitchen wall and the surface yard floor are all anticipated to contain fabric of mid nineteenth century Victorian date, this being the date that the building and the service yard were constructed. However, the potential disturbance to these layers should be considered in light of the fact that all of the Victorian fabric potentially affected is below current ground level with any Victorian surfaces having been covered by later floor coverings/treatments. As such any affected fabric does not currently visibly contribute towards an understanding of the building's Victorian architecture.

Due to the lack of visible contribution to the overall significance of the kitchen complex and the relative minimal level of disturbance proposed it is anticipated that the level of harm to the building would be **limited**. The harm should be considered with regard to the proposed integration of the current sink drainage into the proposed underground connection to the drain. This currently penetrates the kitchen wall above ground level beneath the sash window (see Appendix 6 Plates 12-13). By diverting this previous intervention into a buried solution which exits the kitchen below ground level, the proposals would provide enhancement. Further enhancement would be provided through the resurfacing of the service yard in flag stones, which would ensure access for future maintenance to the drain and grease trap should it be necessary and be more authentic than the current concrete surface.

Furthermore, it would be proposed that an archaeological watching brief undertaken during the works would ensure the recording of any surfaces exposed during the works. This would contribute to the knowledge of the Victorian construction of the service wing and also any garden layers which may be present below these. In the event that layers are exposed that could be practically reinstated in situ as part of the backfilling of the drainage cut, the archaeological recording would assist in an authentic reinstatement of historic layers before their covering over. In the event that reinstatement is not possible any substantial fragments could be carefully stored on the Castle estate, a discard strategy being otherwise employed for fabric which is not historic and/or which is substantially fragmented through removal.

#### 5.8.2 B26-B31, B33 & B36-37 (removal of floor covering and installation of new covering)

Proposals for which the consideration of Listed Building Consent is requested are the removal of vinyl floor coverings as referenced in the schedule of works and discussed below.

The flooring requires renewal and replacement to provide a surface more suitable to a commercial kitchen. The current floor covering to all areas is modern and does not contribute towards the significance of the Listed Building. There would be no harm on the basis that any layers of Victorian date would not be disturbed and would (if present) remain in situ without altering their contribution to the building. In the worst-case event that historic layers are disturbed as part of the replacement of a modern layer **limited harm** may be incurred. However, the potential disturbance to these layers should be considered in light of the fact that all of the

Victorian fabric potentially affected is below current ground level with any Victorian surfaces having been covered by later floor coverings/treatments. As such any affected fabric does not currently visibly contribute towards an understanding of the building's Victorian construction. Mitigation could comprise the implementation of an archaeological watching brief undertaken during the removal works. This would ensure the recording of any surfaces exposed during the works and their preservation by record should they be truncated by the works. This would contribute to the knowledge of the Victorian construction of the kitchen.

### 5.8.3 B26 and B29 (covering of historic wall tiles)

Proposals for which the consideration of Listed Building Consent is requested are included on the schedule of works and described below.

The 150x150 white tiles to the walls in the kitchen require removal so that hygienic wall panelling can be adhered to the wall. It is intended that the edge (beading) tile is retained.

This would cover what appears to be later tiling whilst retaining the decorative edge which is likely Victorian in date and original to the kitchen (see Appendix 6 Plate 6). On this basis **no harm** is anticipated.

### 5.8.4 B26 and B29 (removal of extant fixtures and fittings) and installation of new free-standing kitchen

Proposals for which the consideration of Listed Building Consent is requested are included in the schedule of works, shown on submission drawing 2035\MC-110 and discussed below.

The extant fittings within the kitchen are all modern and so not contribute towards the significance of the Listed Building. This is reflected in the classification of the room as 'neutral' in the Castle Conservation Plan. Their removal would cause **no harm**.

Apart from the drainage required for the cooker, which is referenced above, the proposals would not cause any disturbance to any historic floor deposits (should they exist). The proposals would provide for the furnishing of the main part of the Victorian kitchen complex with cooking related equipment, visibly fulfilling the original purpose of the room. It is anticipated that the proposals would cause **no harm**.

### 5.8.5 Removal of cupboards/shelving in B27 B28, B31, B33 & B37

Proposals for which the consideration of Listed Building Consent is requested are included in the schedule of works and discussed below. The location of the rooms and a basic photographic record are included in Appendix 6.

The shelving in B31 and B37 is clearly modern and does not contribute towards the significance of the building. Its removal would cause **no harm**.

The shelving in B28 and B33 appears to be contemporary with each other but not original to the Victorian phase of the building. This can be established through noting the stone supports for the shelving in B33. This is in stone and indicates that the original shelving would have been more substantial/heavier than the wooden boarding present, perhaps soapstone or slate. The removal of the wooden shelving to these rooms would therefore not be anticipated to affect an original kitchen feature. **No harm** would be predicted.

The unit and shelving at B27 may be of early or Victorian date. Its removal could therefore cause harm albeit this would be negligible, the feature being an isolated example which has lost its integrity as a consequence. **Negligible harm** is predicted.

### 5.8.6 Removal of sink in B31

Proposals for which the consideration of Listed Building Consent is requested are included in the schedule of works and discussed below. The location of room B31 and a basic photographic record are included in Appendix 6.

The sink in this room may be of Victorian date and its removal, therefore would affect an original fixture. However, it is not part of the main kitchen and is hidden under a wooden board such that it is not a readily appreciated feature. Whilst its removal would cause some harm this would be **negligible**. The sink would be carefully removed and stored on the Castle estate. The retention of a similar sink in the laundry (B43-laundry) is noted.

### 5.8.7 B37 (condenser pipework)

Proposals for which the consideration of Listed Building Consent is requested are included on the schedule of works and described below.

Condenser pipework is required to facilitate the planned use of the room as a coldroom. The room itself is referenced as being of neutral significance in the Castle Conservation Plan as are the internal walls. Only the external wall, being of eighteenth-century date is referenced as being of considerable significance.

Apart from the shelving, which is proposed for removal, the interior of the room is noted as being predominantly blank apart from existing pipework (function unknown). The proposed pipework would not therefore be anticipated to detract from any features of particular significance. However potential impact to fabric of note, specifically the exterior wall to the south cannot be discounted at this stage. Assuming minimal intervention here in the worst-case scenario, only **negligible harm** would be predicted. Careful routing and consultation with the Conservation Officer may be necessary.

### 5.8.8 B26 (installation of extractor fan through existing skylight)

Proposals for which the consideration of Listed Building Consent is requested are included on the schedule of works and described below.

The proposed location of the extractor fan and visualisations of the proposed appearance of a replacement fan are included in Appendix 6, Plates 14 and 16-18. The proposals would utilise the location of an existing fan (to be replaced). The proposals would appear like-for-like in any views of the apparatus from the upper east facing rooms of the Castle which overlook the service yard and would not, due to their near flush profile, be visible in any views of the Castle from the exterior of the Castle. The extractor fan is necessary to prevent the accumulation of steam and smoke, its successful function preventing any damage to historic fabric through excessive moisture levels. The proposals would cause **no harm** to significance of the building, affecting part of a skylight already utilised for a fan light which would be replaced, with no significant Victorian fabric being affected.

### 5.8.9 B26 (installation of electric cabling)

Proposals for which the consideration of Listed Building Consent is requested are included on the schedule of works and described below.

The free-standing kitchen equipment is likely to require additional electrical cabling within the kitchen area. The precise routing of the cabling is not known at this time and some channelling may be necessary, however it could be surface mounted. It is recognised that the room was designed for functionality but a guiding design principle for any surface mounted cabling would be careful routing around the sash windows and door architraves within this space. Any surface mounted cabling around the windows and doors would be white and fixed to the wood with minimal fixings. Routing along the top of the beading (to be retained) could also be used to hide the cabling to some extent. Should any channelling within the walls be required this would be minimised to reduce the impact to historic fabric but some harm as a consequence of this would result. Details of this would be provided

to the Conservation Officer, potentially under a condition to LBC, with positions agreed to minimise any impact to historic fabric, the intention being to minimise harm to the Listed Building but being considered against the backdrop that the layout of the kitchen would not be affected. Careful consideration of any necessary disturbance to the walls would cause **negligible** harm in a worst-case scenario.

#### 5.8.10 B29 (installation of extractor fan through existing skylight)

Proposals for which the consideration of Listed Building Consent is requested are included on the schedule of works and described below.

The proposed location of the extractor fan and visualisations of the proposed appearance of a replacement fan are included in Appendix 6, Plates 15-18. The proposals would utilise the location of an existing skylight. The proposals would appear flush in any potential views of the Castle from the upper rooms of the Castle's eastern elevation and would not protrude in any way, within any view of the Castle from its exterior. The extractor fan is necessary to prevent the accumulation of steam and smoke, its successful function preventing any damage to historic fabric through excessive moisture levels. The proposals would cause **no harm** to significance of the building, affecting a skylight which does not hold significant Victorian fabric.

#### 5.8.11 B29 (Concrete Ramp)

Proposals for which the consideration of Listed Building Consent is requested are included on the schedule of works and described below. A basic photographic record is provided in Appendix 6.

The proposals require level access into the kitchens which would necessitate the levelling off two steps between B29 and the access corridor to the east (see Appendix 6 Plate 25). The steps are not considered to be significant, being a small functional element simply allowing access from the slightly higher corridor into the kitchen space. They have no particular aesthetic embellishment and are minimal in appearance. The proposals would not affect an appreciation of the enclosure and layout of B29 and the corridor and their interaction. Furthermore, the steps have been subject to previous intervention with an anti-slip tread and metal nosing. The proposals would not harm the overall significance of the building. There would be **no harm**.

#### 5.8.12 B34 (installation of electric cabling)

Proposals for which the consideration of Listed Building Consent is requested are included on the schedule of works and described below. Appendix 6 Plate 26 includes a basic photographic record.

A power supply is required to facilitate the planned use of the room for freestanding freezers. The room itself is referenced as being of neutral significance in the Castle Conservation Plan. The walls are referenced as being of moderate significance dating to 1862.

The proposed cable would either be surface mounted (fixings to mortar joints where possible rather than the stone) and colour matched to the masonry or hidden within surface mounted trunking painted or power finished to match the masonry. Alternatively, the cabling will be dropped through the plasterboard ceiling for direct connection to the appliances. In the worst-case scenario of surface mounted cabling affecting the masonry minimally, only **negligible harm** would be predicted. Careful routing and consultation with the Conservation Officer may be necessary.

### 5.9 General Removal and Replacement of Modern Vinyl and Carpet Floor Coverings to Bedrooms and Communal Areas (1) And (3).

Proposals for which the consideration of Listed Building Consent is requested are included on the schedule of works and described below.

The schedule of works references the removal and replacement of floor coverings in a number of rooms within the Listed Buildings.

The flooring coverings require renewal and replacement to provide a uniform and satisfactory presentation suitable for the on-going long-term use of the Castle. The current floor covering to all areas referenced for this in the schedule are modern and do not contribute towards the significance of the Listed Buildings. Their removal and replacement with new coverings would generally cause **no harm**.

However, in some ground floor rooms where historic layers of flooring may survive beneath recent coverings, it is possible that historic fabric would be uncovered and in the case of the removal of vinyl affected in some way. Restricted ground floor impacts would be considered to be cause **limited harm** to the overall significance of each asset. To mitigate this, it may be prudent to have a buildings archaeologist present to ensure the preservation by record of any revealed historic surfaces which would be re-covered over by the proposals or minimally affected, for example the basement rooms to the Castle (1) which are scheduled as B14 and B24 and the ground floor rooms to the former Victorian stable block in (2) which are scheduled as G05-G09, G12-G14, G17-G19.

## 5.10 The General Renewal/Fitting of Curtain Fixtures to Bedrooms (1) & (3).

Proposals for which the consideration of Listed Building Consent is requested are included on the schedule of works and described below.

The majority of the windows within the Castle, whilst of seventeenth style, date to a Victorian period of investment with this being most obvious from the interior where many of the windows benefit from shutters, timbered reveals and decorative architraves. The exceptions to this are the windows in the King James Tower which are survivals of the eighteenth-century Gothicism.

A number of the proposed bedrooms require the renewal or fitting of fixtures for curtain poles or blinds. This is required to block light and provide privacy. The locations of the windows where works may take place is shown in Appendix 7 which includes a basic photographic record of the windows and/or a description of the current interventions (or lack of). The solutions proposed in Appendix 7 will not be repeated here. It is generally proposed that where previous interventions have been implemented to secure curtain fixtures, that these will be re-used to prevent any additional impact on historic fabric or windows. Any new fittings, secured as set out in Appendix 7, would not be considered to cause any harm to the overall significance of the Castle. **No harm** is predicted.

## 5.11 General Replastering (Minimal) and Re-Decorating at (1), (2) and (3) in Accordance with a Specification Set Out Within the Lease of The Castle.

Proposals for which the consideration of Listed Building Consent is requested are included on the schedule of works and described below.

The schedule references some re-plastering to make good in some rooms. In all rooms where plastering is proposed this will be undertaken to match the existing fabric only. **No harm** is anticipated on these grounds.

The schedule references general painting and making good. This would be done in accordance with the requirements of the Castle lease with paint products specified in Appendix 4. By matching colours on a like-for-like basis with the specified Farrow and Ball products no aesthetic change to the colour palette as existing will occur. Where colours are not specified for (3) appropriate Farrow and Ball colours to match existing should be applied. There would be **no harm** to the Listed Buildings as a result.

## 5.12 General replacement of existing power sockets with USB and power socket ports (1)(2)(3).

Proposals for which the consideration of Listed Building Consent is requested are included on the schedule of works and described below.

For the provision of facilities to charge devices it is proposed that existing power sockets are upgrade to provide USB charging capabilities. These would use existing sockets such that no new disturbance to historic fabric would occur. **No harm** is predicted.

### 5.13 General replacement and upgrading of extant non-historic light fittings (1)(2)(3).

Proposals for which the consideration of Listed Building Consent is requested are included on the schedule of works and described below.

For the provision of uniform and sound lighting across a number of the rooms it is proposed that modern light fittings are replaced without disturbance to historic fabric. **No harm** is predicted.

### 5.14 The General Installation of Emergency Lighting (1) (2) And (3).

Proposals for which the consideration of Listed Building Consent is requested are included on the schedule of works and described below.

For health and safety purposes emergency ceiling mounted lighting is required across the Castle. Extant lighting will be upgraded as necessary with no new interventions to the fabric of ceilings. If new ceiling mounted lighting is required that requires new fixings and cabling, details would be provided to the Conservation Officer, potentially under a condition to LBC, with positions agreed to minimise any impact to historic fabric/detailing of aesthetic note, the intention being to minimise harm to the Listed Buildings, this being considered against the backdrop that the layout of the Listed Buildings would not be effected and that the external appearance of the Castle would remain unchanged. Careful consideration would cause **negligible** harm in a worst-case scenario.

### 5.15 The General Installation of Fire Signs (1) (2) and (3)

Proposals for which the consideration of Listed Building Consent is requested are included on the schedule of works and described below.

For health and safety purposes fire signs are required across the Castle. These would be self-lit, requiring no power supply. With due regard to the minimal fixings required these would be anticipated to cause very limited impact on historic fabric such that with careful sighting would be anticipated to cause **negligible harm** to the special significance of the Castle.

### 5.16 Installation of bedroom signage at (1)(3)

Proposals for which the consideration of Listed Building Consent is requested are included on the schedule of works and described below.

For the safe orientation of staff and guests around the main Castle (1) bedroom signage is required in-particular to identify the location of each bedroom. The doors currently have some signage which is generally placed centrally to the lock rail of each door (see Appendix 9). Upgrading is proposed which would seek to present a uniform approach and utilise the existing screw holes wherever possible, deviation from this being agreed with the Conservation Officer as necessary with any holes that are not able to be re-used being made good. The anticipated level of harm would be anticipated to be **negligible**.

The doors extant to the bedrooms in the 'Clock Tower Range' (3) are modern and do not contribute towards the significance of the Castle. New bedroom signage in (3) would cause **no harm**.

## 5.17 Installation of Power (1)

### 5.17.1 B39 Dining Room

Proposals for which the consideration of Listed Building Consent is requested are included on the schedule of works and described below.

The provision of power is proposed on the eastern and southern walls. These walls are Tudor in date and referenced as being of moderate and considerable significance respectively within the Conservation Plan. Any disturbance to Tudor fabric would be considered to cause harm. If existing routes cannot be utilised as part of these works with new disturbance to historic fabric required, the significance of the building would be affected. Should any channelling within the walls be required this would be minimised to reduce the impact to historic fabric but some harm as a consequence of this would result. Details of this would be provided to the Conservation Officer, potentially under a condition to LBC, with routing agreed to minimise any impact to historic fabric, the intention being to minimise harm to the Listed Building but being considered against the backdrop that the layout of the dining room would not be affected. Careful consideration of any necessary disturbance to the walls would cause **negligible** harm in a worst-case scenario.

### 5.17.2 B24 Dining Room

Proposals for which the consideration of Listed Building Consent is requested are included on the schedule of works and described below.

The provision of power is proposed on the western wall. This wall is of unknown or medieval in date and referenced as being of moderate significance within the Conservation Plan. Any disturbance to medieval fabric would be considered to cause harm. If existing routes cannot be utilised as part of these works with new disturbance to historic fabric required, the significance of the building would be affected. Should any channelling within the wall be required this would be minimised to reduce the impact to historic fabric but some harm as a consequence of this would result. Details of this would be provided to the Conservation Officer, potentially under a condition to Listed Building Consent (LBC), with routing agreed to minimise any impact to historic fabric, the intention being to minimise harm to the Listed Building but being considered against the backdrop that the layout of the dining room would not be affected. Careful consideration of any necessary disturbance to the walls would cause **negligible** harm in a worst-case scenario.

### 5.17.3 B14

Proposals for which the consideration of Listed Building Consent is requested are included on the schedule of works and described below.

The provision of power is proposed on the southern wall. This wall is of Tudor date and referenced as being of considerable significance within the Conservation Plan. Any disturbance to Tudor fabric would be considered to cause harm. If existing routes cannot be utilised as part of these works with new disturbance to historic fabric required, the significance of the building would be affected. Should any channelling within the wall be required this would be minimised to reduce the impact to historic fabric but some harm as a consequence of this would result. Details of this would be provided to the Conservation Officer, potentially under a condition to LBC, with routing agreed to minimise any impact to historic fabric, the intention being to minimise harm to the Listed Building but being considered against the backdrop that the layout of the Castle would not be affected. Careful consideration of any necessary disturbance to the walls would cause **negligible** harm in a worst-case scenario.

### 5.17.4 B07

Proposals for which the consideration of Listed Building Consent is requested are included on the schedule of works and described below.

The provision of power is proposed. This external west and south walls are of medieval date and referenced as being of considerable significance within the Conservation Plan. The interior northern and eastern walls are classified as being of moderate significance, but the eastern wall is likely medieval date also. Any disturbance the fabric would be considered to cause harm. However, the use of existing white plastic trunking is proposed such that there would be **no harm** to the walls which hold significance.

#### 5.17.5 B08

Proposals for which the consideration of Listed Building Consent is requested are included on the schedule of works and described below.

The provision of power is proposed. The external walls are of medieval date and referenced as being of considerable significance within the Conservation Plan. The interior walls are classified as being of moderate significance. Any disturbance the fabric would be considered to cause harm. However, the use of existing white plastic trunking is proposed such that there would be **no harm** to the walls which hold significance.

#### 5.17.6 B11

Proposals for which the consideration of Listed Building Consent is requested are included on the schedule of works and described below.

The provision of power is proposed. This exterior is of Tudor date and referenced as being of considerable significance within the Conservation Plan. The interior walls are of mixed date and of moderate significance including some Tudor and medieval fabric. Any disturbance to the fabric would be considered to cause harm. If existing routes cannot be utilised as part of these works with new disturbance to historic fabric required, the significance of the building would be affected. Should any channelling within the wall be required this would be minimised to reduce the impact to historic fabric but some harm as a consequence of this would result. Details of this would be provided to the Conservation Officer, potentially under a condition to LBC, with routing agreed to minimise any impact to historic fabric, the intention being to minimise harm to the Listed Building but being considered against the backdrop that the layout of the Castle would not be affected. Careful consideration of any necessary disturbance to the walls would cause **negligible** harm in a worst-case scenario.



## 6.0 Summary of Harm, Justification and Mitigation Measures

The above-described works and their potential impact to the specified Listed Buildings are summarised below for ease of reference. Also presented is a justification for the works where this is necessary or applicable and potential mitigation measures.

### 6.1 (1) Ford Castle (1371004)

Room Reference	Summary Works	Harm	Justification	Mitigation
<b>Works Affecting Historic Bathrooms</b>				
G12	Repair to basins	None	-	-
G18	Removal of Victorian toilet	Negligible	Modern bathroom and toilet facilities are required to ensure the current and future viability of the Castle accommodation and consequently the long-term conservation of the Castle	Careful removal and storage on the estate
F05	Removal of historic heated rail	Negligible	The reconfiguration of the bathroom to provide modern facilities requires the removal of the rail	Careful removal and storage on the estate
F05	Removal of door	No harm	-	-
F14	Removal of historic heated rail	Negligible	The reconfiguration of the bathroom to provide modern facilities requires the removal of the rail	Careful removal and storage on the estate
F20	Covering of historic tiles	No harm	-	-
F37	Replacement of flooring and group of fittings: potential 1930s bath, deco style washbasin and historic heating rail	Limited	Modern bathroom and toilet facilities are required to ensure the current and future viability of the Castle accommodation and consequently the long-term conservation of the Castle. To note, the clearly 1930s basins present in G12 alongside the basins in Delaval, Waterford and Heron are perhaps more authentic in displaying the Joicey phase and are more easily retained and incorporated into the on-going use of the Castle.	Careful removal and storage of heated rail, bath and basin on the estate. Potential watching brief of works to wall to rear of extant toilet if works breach historic fabric
F41	Replacement of flooring and group of fittings potential 1930s bath and grab rail, deco style basin and removal of historic heated rail	Limited		
S07 fittings	Replacement of flooring and removal of group of fittings, potential 1930s bath and deco style washbasin and removal of historic heated rail	Limited		

Room Reference	Summary Works	Harm	Justification	Mitigation
				Potential watching brief of works to external wall if works breach historic fabric
S23 fittings	Removal of group of fittings - potential 1930s bath and grab rail, deco style basin and removal of historic heated rail	Limited		Careful removal and storage on the estate of basin, bath and heated rail.
<b>Works Affecting Bathrooms – Installation of Extractor Fans</b>				
F33	The addition of ventilation extraction	Limited	The addition of showers to provide fit for purpose bathroom accommodation to facilitate the long-term viability of the Castle and its ongoing conservation. Mechanical extraction is required to prevent levels of moisture which could harm historic fabric.	Exterior design replicating B18's external appearance. All details to be agreed with the Conservation Officer. Possible watching briefs where walls of considerable importance are disturbed
F37	The addition of ventilation extraction	Limited		
F41	The addition of ventilation extraction	Limited		
S07	The addition of ventilation extraction	Limited		
S15	The addition of ventilation extraction	Limited		
S23	The addition of ventilation extraction	Limited		
<b>The Re-positioning of an Attic Floor Doorway</b>				
S16	Works to move a doorway to facilitate the circulation in a modernised bathroom space	No harm	Modern bathroom and toilet facilities are required to ensure the current and future viability of the Castle accommodation and consequently the long-term conservation of the Castle	The skirting and detailing to the top of the doors would be replicated to either side of the re-positioned doorway.
<b>The Conversion of an Attic Bedroom (S15) to a Bathroom</b>				
S15	Conversion of a previously adapted room from a bedroom to a bathroom	Limited	The conversion of this room is required to provide adequate numbers of bathroom facilities.  Modern bathroom and toilet facilities are required to ensure the current and future viability of the Castle accommodation and consequently the long-term conservation of the Castle.	-
<b>The Insertion of Protective Barriers to the Openings of Fireplaces of Sixteenth/Seventeenth Century Date</b>				
F09	Possible limited intervention to interior/underside of stonework surrounds (and potentially floorboards) to fit protective insert which may affect historic fabric	Limited	The works are required under a health and safety obligation in rooms where children would be unsupervised but would seek to preserve the fireplaces whilst maintaining their legibility	None
F21		Limited		
F40		Limited		
S06		Limited		

Room Reference	Summary Works	Harm	Justification	Mitigation
			as a feature associated with some of the earlier phases of the Castle	
<b>The Insertion of Protective Boxes Around Nineteenth Century Fireplaces</b>				
G16	Possible limited intervention to masonry to adjacent walls (potentially floorboards) to fit protective insert which may affect historic fabric	Negligible	The works are required under a health and safety obligation in rooms where children would be unsupervised but seek to preserve the fireplaces.	None
F17		Negligible		
F28		Negligible		
F35		Negligible		
S21		Negligible		
S22		Negligible		
<b>The Installation of Handrails to Specific Staircases</b>				
Stair 3	Limited intervention to secondary stairwell to walls (panelling) of Victorian date	Negligible	The works are required under a health and safety obligation but would provide some protection to a Victorian rail through otherwise anticipated over-use	None
West stair	Limited intervention to walls of primary stairwell containing potential Tudor fabric	Limited	The works are required under a health and safety obligation	
S20	Limited intervention to walls of secondary stairwell containing potential medieval fabric	Negligible	The works are required under a health and safety obligation but would provide some protection to a Victorian rail through otherwise anticipated over-use	
<b>General Removal of Floor Coverings to Bedrooms and Communal Areas</b>				
Rooms referenced in schedule	Generally, no harm would be anticipated but in respect to the ground floor rooms B14 and B24 harm to historic surfaces below cannot be entirely discounted	Limited (B14 and B24)	The flooring requires renewal and replacement to provide a uniform and satisfactory presentation suitable for the on-going long-term use and conservation of the Castle	It may be prudent to have a buildings archaeologist present to ensure the preservation by record of any revealed historic surfaces which would be re-covered over by the proposals or minimally affected
<b>General Renewal/Fitting of Curtain Fixtures to Bedrooms</b>				
Rooms as referenced in schedule	General re-use of extant fittings with minimal interventions proposed	No harm	To provide for privacy and the blocking of light in order to offer suitable bedroom facilities, ensuring	-

Room Reference	Summary Works	Harm	Justification	Mitigation
	where necessary to minimise impact to historic fabric		the commercial viability of the Castle and its long-term Conservation	
<b>General Replastering and Redecorating</b>				
Rooms referenced in schedule	Replastering of minimal areas to make good with fabric to match existing. Repainting and making good with due regard to farrow and ball specifications set out in lease	No harm	-	-
<b>General Replacement of Existing Power Sockets with USB and Power Socket Ports</b>				
Rooms referenced in schedule	Replacement of existing sockets	No harm	-	-
<b>General Replacement and Upgrading of Extant Non-Historic Light Fittings</b>				
Rooms referenced in schedule	Replacement of existing modern fixtures	No harm	-	-
<b>General Installation of Emergency Lighting</b>				
Rooms referenced in schedule	Potential new ceiling mounted fixtures requiring a power supply	Negligible	The provision of adequate health and safety measures to ensure commercial viability and the long-term conservation of the Castle	-
<b>General Installation of Fire Signs</b>				
Rooms referenced in schedule	Wall mounted no cabling required	Negligible	The provision of adequate health and safety measures to ensure commercial viability and the long-term conservation of the Castle	-
<b>Installation of bedroom signage</b>				
Bedrooms	Door mounted signs using existing screw-holes where possible	Negligible	A consistent approach to bedroom signage to facilitate the easy movement of guests and personnel around the building and to facilitate efficient emergency access should this be required	
<b>Addition of Power to Rooms</b>				
B39	Installation of electric cabling through channelling within the walls	Negligible	A satisfactory electrical supply is required to ensure the current and future viability of the Castle accommodation and consequently the long-term	Sensitive routing of cabling

Room Reference	Summary Works	Harm	Justification	Mitigation
			conservation of the Castle through viable use.	
B24	Installation of electric cabling through channelling within the walls	Negligible	A satisfactory electrical supply is required to ensure the current and future viability of the Castle accommodation and consequently the long-term conservation of the Castle through viable use.	Sensitive routing of cabling
B14	Installation of electric cabling through channelling within the walls	Negligible	A satisfactory electrical supply is required to ensure the current and future viability of the Castle accommodation and consequently the long-term conservation of the Castle through viable use.	Sensitive routing of cabling
B07	Installation of power utilising existing wall plastic trunking. No interventions to walls anticipated	No harm	-	-
B08	Installation of power utilising existing wall plastic trunking. No interventions to walls anticipated	No harm	-	-
B11	Installation of electric cabling through channelling within the walls	Negligible	A satisfactory electrical supply is required to ensure the current and future viability of the Castle accommodation and consequently the long-term conservation of the Castle through viable use.	Sensitive routing of cabling

## 6.2 (2) Ford Castle north forecourt wall and gateway with laundry and service wing attached to rear (NHLE reference 1042186)

Room Reference	Works Identified to Cause Harm	Harm	Justification	Mitigation
<b>Installation of Kitchen Facilities</b>				
B26	Excavation of below ground drainage gully required between the cooker and external drain in service yard to east. To include the renewal of a grease trap in the service yard and the interior integration of the kitchen sink drainage currently breaching the external wall (extant sink drainage through wall to be	Limited	Enhancement would be provided through the removal of the extant sink drainage beneath the sash window and to the surface yard which would be resurfaced in flags to provide a more authentic finish.	An archaeological watching brief could be undertaken during the cutting of the drainage channel and any ground disturbance in the service yard to allow for the recording of any Victorian layers and any earlier garden layers and to inform on sensitive backfilling of the drainage cut or

Room Reference	Works Identified to Cause Harm	Harm	Justification	Mitigation
	removed with wall repaired) and the re-surfacing of the service yard with flag stones to provide enhancement		Modern kitchen facilities are required to ensure the current and future viability of the Castle accommodation and consequently the long-term conservation of the Castle as a whole	service yard where surfaces could be reinstated before covering over. Any substantial historic fragments not able to be reinstated should be considered for storage on the Castle estate
B26-B31, B33 & B36-37	Removal of floor covering and installation of new covering to ground floor surfaces may effect historic surfaces below	Limited	Modern kitchen facilities and flooring in accordance with health and safety regulations are required to ensure the current and future viability of the Castle accommodation and consequently the long-term conservation of the Castle through viable use.	Mitigation could comprise the implementation of an archaeological watching brief undertaken during the removal works. This would ensure the recording of any Victorian surfaces exposed during the works and their preservation by record should they be truncated by the works. This would contribute to the knowledge of the Victorian construction of the kitchen.
B26 and B29	Covering of wall tiles whilst retaining the historic beading (edge tiles)	No harm	The wall panelling proposed is required on hygiene grounds	-
B26, B29	Removal of extant kitchen fittings and fixtures and installation of new free-standing kitchen	No harm	-	-
B27, B28, B31, B33, B37	Removal of modern/later shelving	No harm	-	-
	Removal of a Victorian unit (B27)	Negligible harm	The space here is required for a double freezer and as such the feature requires removal. Modern kitchen facilities are required to ensure the current and future viability of the Castle accommodation and consequently the long-term conservation of the Castle as a whole	
B31	Removal of sink	Negligible harm	The removal of the sink will remove a redundant feature and maximise the space for the continued viable use of the Castle.	Careful removal and retention on the Castle estate.
B37	Condenser pipework	Negligible harm	This is required as part of improving the kitchen facilities, in the wider context of providing suitable commercial kitchens in the interest of	Sensitive routing of any piping to minimise effect on fabric in the southern wall

Room Reference	Works Identified to Cause Harm	Harm	Justification	Mitigation
			the long-term conservation of the Castle as a whole	
B26	Installation of extractor fan through existing skylight	No harm	-	-
B26	Installation of wall mounted electric cabling	No harm	The supply of a safe and adequate electrical supply to the commercial kitchen. To ensure its adequacy in the proposed function of the Castle and the long-term conservation of the Castle through viable use.	-
	Installation of electric cabling through channelling within the walls	Negligible		Sensitive routing of cabling
B29	Installation of extractor fan through existing skylight	No harm	-	-
B29	Concrete ramp over two steps into corridor	No harm	Level access is required into the kitchens. The proposals relate to the overall refurbishment of the kitchen required for the viable functioning of the Castle and its long-term conservation	-
B34	Installation of electric cabling	Possible negligible harm	The supply of a safe and adequate electrical supply to a commercial kitchen area. To ensure its adequacy in the proposed function of the Castle and the long-term conservation of the Castle through viable use.	Sensitive routing of cabling. Any surface mounted cabling to be colour matched to the masonry and fixed to mortar joints where possible.
<b>General Replastering and Redecorating</b>				
Rooms referenced in schedule	Replastering of minimal areas to make good with fabric to match existing. Repainting and making good with due regard to farrow and ball specifications set out in lease	No harm	-	-
<b>General Replacement and Upgrading of Extant Non-Historic Light Fittings</b>				
Rooms referenced in schedule	Replacement of existing modern fixtures	No harm		

Room Reference	Works Identified to Cause Harm	Harm	Justification	Mitigation
<b>General Installation of Emergency Lighting</b>				
Rooms referenced in schedule	Potential new ceiling mounted fixtures requiring a power supply	Negligible	The provision of adequate health and safety measures to ensure commercial viability and the long- term conservation of the Castle	
<b>General Installation of Fire Signs</b>				
Rooms referenced in schedule	Wall mounted no cabling required	Negligible	The provision of adequate health and safety measures to ensure commercial viability and the long- term conservation of the Castle	



### 6.3 (3) Ford Castle north forecourt wall and gateway with laundry and service wing attached to rear (NHLE reference 1042186)

Room Reference	Works Identified to Cause Harm	Harm	Justification	Mitigation
<b>General Removal of Floor Coverings to Bedrooms and Communal Areas</b>				
Rooms referenced in schedule	Generally, no harm would be anticipated but in respect to the ground floor rooms G05-G09, G12-G14 and G17-G19 harm to historic surfaces below cannot be entirely discounted	Limited G05-G09, G12-G14 and G17-G19	The flooring requires renewal and replacement to provide a uniform and satisfactory presentation suitable for the on-going long-term use and conservation of the Castle	It may be prudent to have a buildings archaeologist present to ensure the preservation by record of any revealed historic surfaces which would be re-covered over by the proposals or minimally affected
<b>General Redecorating</b>				
Rooms referenced in schedule	Repainting and making good with due regard to farrow and ball specifications set out in lease for the main Castle which would be replicated here	No harm	-	-
<b>General Renewal/Fitting of Curtain Fixtures to Bedrooms</b>				
Rooms as referenced in schedule	General re-use of extant fittings with minimal interventions proposed where necessary to minimise impact to historic fabric	No harm	To provide for privacy and the blocking of light in order to offer suitable bedroom facilities, ensuring the commercial viability of the Castle and its long-term Conservation	
<b>General Replacement of Existing Power Sockets with USB and Power Socket Ports</b>				
Rooms referenced in schedule	Replacement of existing sockets	No harm	-	-
<b>General Replacement and Upgrading of Extant Non-Historic Light Fittings</b>				
Rooms referenced in schedule	Replacement of existing modern fixtures	No harm	-	-
<b>General Installation of Emergency Lighting</b>				
Rooms referenced in schedule	Potential new ceiling mounted fixtures requiring a power supply	Negligible	The provision of adequate health and safety measures to ensure commercial viability and the long term conservation of the Castle	-
<b>General Installation of Fire Signs</b>				
Rooms referenced in schedule	Wall mounted no cabling required	Negligible	The provision of adequate health and safety measures to ensure commercial viability and the long- term conservation of the Castle	-

Room Reference	Works Identified to Cause Harm	Harm	Justification	Mitigation
<b>Installation of bedroom signage</b>				
Bedrooms	Door mounted signs using existing screw-holes where possible	No harm	A consistent approach to bedroom signage to facilitate the easy movement of guests and personnel around the building and to facilitate efficient emergency access should this be required	-

## 7.0 Conclusions

This report has provided an assessment of the special interest of the Listed Buildings at Ford Castle where PGL Travel Ltd wish to install a new kitchen, carry out bathroom refurbishments and undertake otherwise minor works to facilitate the successful use of the Castle for the residential accommodation of groups of children and responsible adults.

Whilst some negligible or limited harm has been identified in respect to various isolated elements which hold historic fabric, the overall effect on the historic fabric of the individual Listed Buildings would (in accordance with the terminology of the NPPF) be at the extreme lower end of less than substantial. The proposed works are demonstrably able to be accommodated without appreciably affecting the overall understanding of the significance of the Listed Buildings and should be considered against the overarching principal of ensuring the long-term viable use of the Castle which will ensure its long-term conservation.

As a best practice measure, a watching brief by a buildings archaeologist could be undertaken during specific works applied for under this Listed Building Consent application. This would be during the removal of some of the floor coverings but also in the very unlikely event that historic fabric to certain walls is disturbed to an extent that would display a visible horizon during works in bathrooms. Locations are as follows:

- Ford Castle (1371004)
  - B14 floor covering
  - B24 floor covering
  - F37 bathroom refurb and ventilation – wall to rear of toilet
  - F41 bathroom refurb and ventilation – external walls
  - S07 bathroom refurb and ventilation – external walls
  - S23 bathroom refurb and ventilation – external wall
  - F33 ventilation insertion – external wall
  - S15 – bathroom installation and ventilation - external wall
- Ford Castle north forecourt walls and laundry and service wing (1042186)
  - B26 floor covering and drainage excavation
  - B27 floor covering
  - B28 floor covering
  - B29 floor covering
  - B30 floor covering
  - B31 floor covering
  - B33 floor covering
  - B37 floor covering
  - B37 floor covering
- Ford Castle east gateway, east forecourt wall and handyman’s cottage (1154087)
  - G05 floor covering
  - G06 floor covering
  - G07 floor covering
  - G08 floor covering
  - G09 floor covering
  - G12 floor covering
  - G13 floor covering
  - G14 floor covering
  - G17 floor covering
  - G19 floor covering

## APPENDIX 1

### Elevations and Principal Rooms Plates



**Plate 1: Ford Castle southern (entrance) front (1371004)**



**Plate 2: Ford Castle southern (entrance) front (1371004), north forecourt walls (1042186) and east gateway and east forecourt wall (1154087)**



**Plate 3: Ford Castle western end of southern (entrance) front (1371004) including King James Tower to LHS**



**Plate 4: Ford Castle northern (garden) front (1371004)**





**Plate 5: Ford Castle eastern front (1371004) with service wing to foreground (1042186)**



**Plate 6: Timber panelled octagon hallway east wing**



**Plate 7: Long Gallery**



**Plate 8: West Hall**

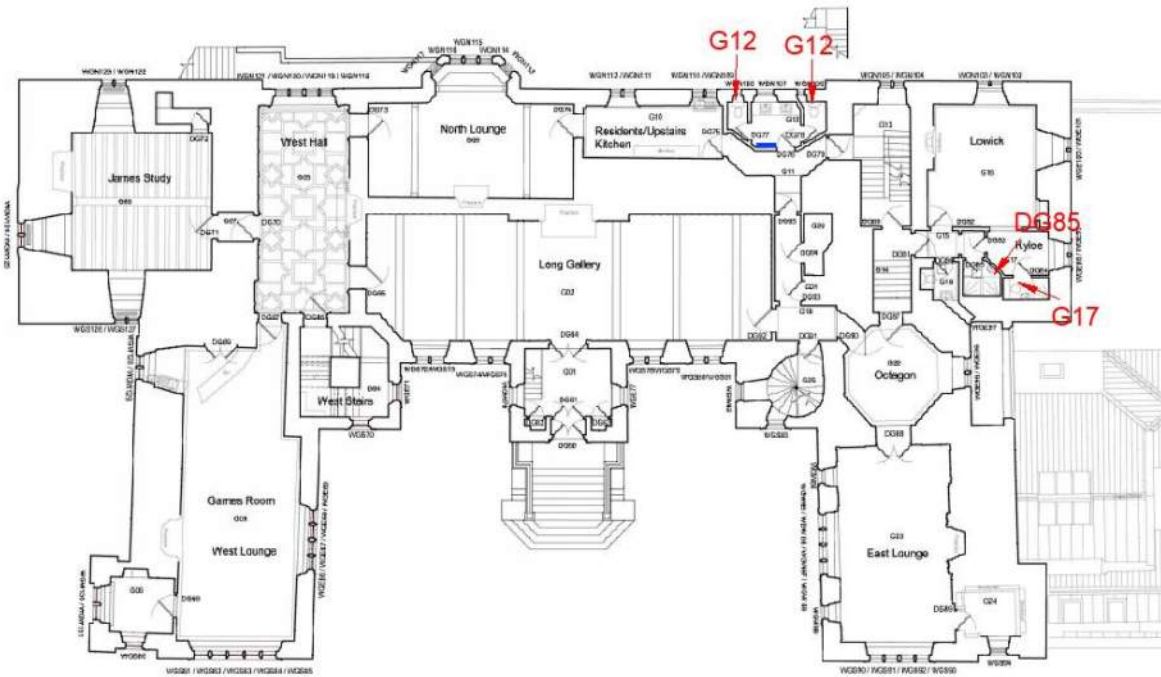


**Plate 9: James Study**

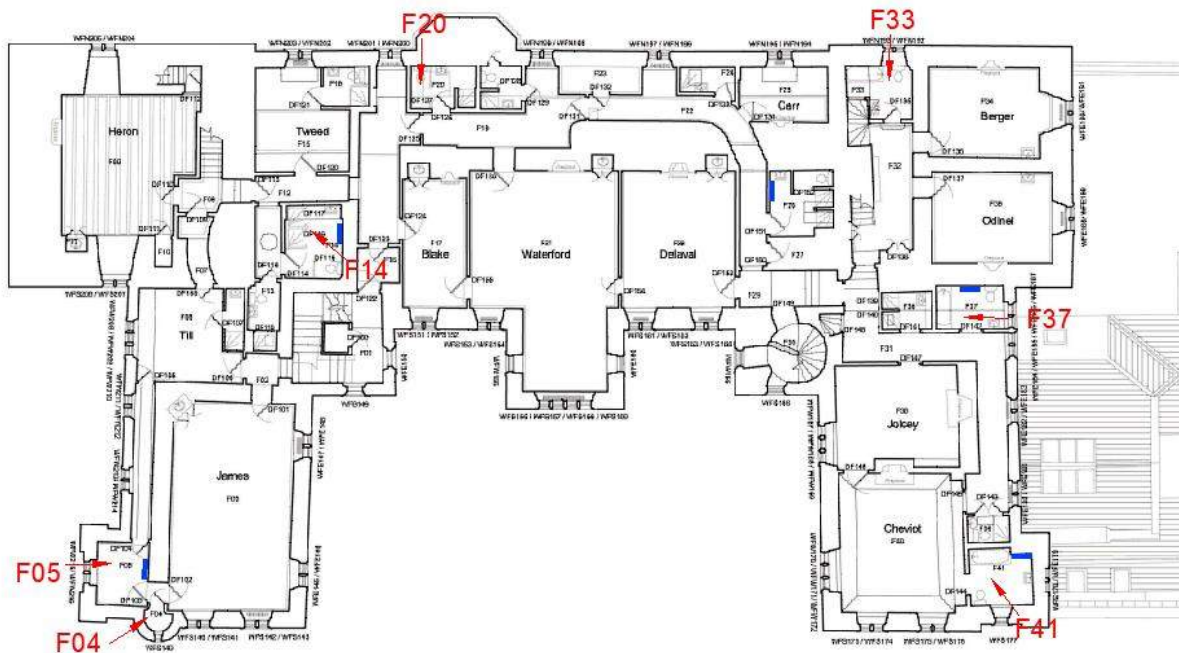
## APPENDIX 2

### Bathroom Plates

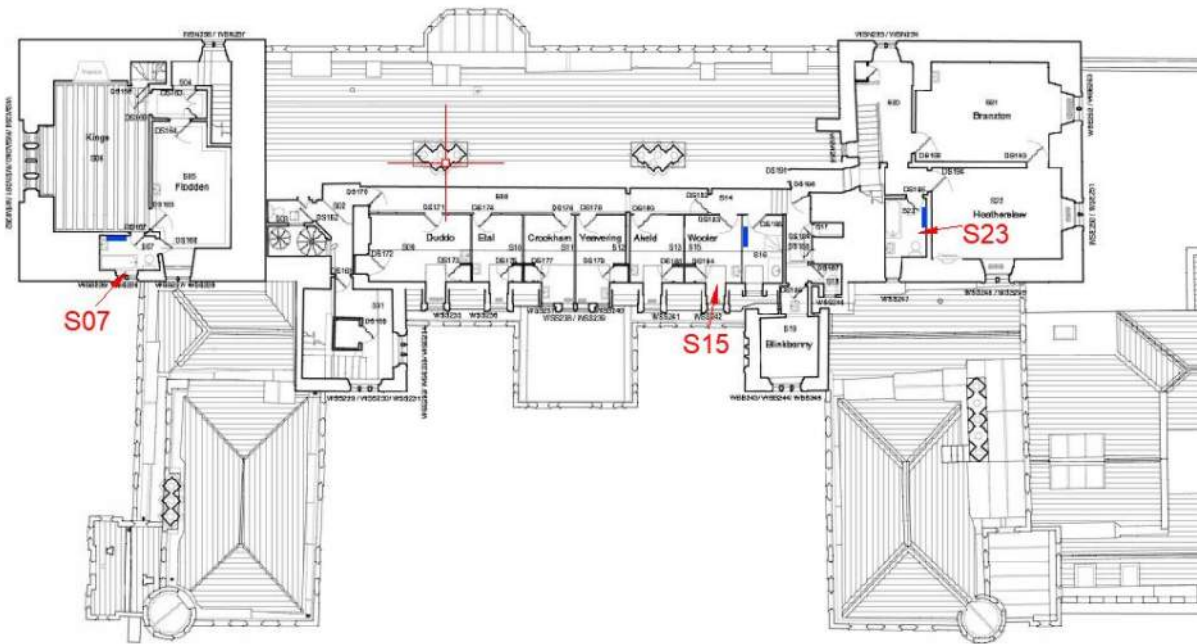
**(1) Ford Castle (1371004) – Ground (principal) floor toilets/bathrooms – heated towel rails shown in blue**



**(1) Ford Castle (1371004) – First floor (bedroom) floor toilets/bathrooms – heated rails shown in blue**



(1) Ford Castle (1371004) – Second floor (attic) floor toilets/bathrooms – heated rails shown in blue





**G12 – Basin marble surround repairs**

**'Significance' and (date) as per Conservation Plan Final Draft (2012/2013)**

Interior 'moderate' (early twentieth century 'Joicey'). Exterior wall - 'considerable' (1862). Internal walls - 'moderate' (multi-period).

**No harm** has been identified by the works for which consideration of LBC is requested.



**G18 – removal of toilet**

**'Significance' and (date) as per Conservation Plan Final Draft (2012/2013)**

**Interior 'moderate' (1862) southern wall (not toilet wall) - 'considerable' (medieval). Other walls - 'moderate' (multi-period).**

**Limited harm** has been identified by the works for which consideration of LBC is requested. The mitigation for the removal of the toilet would be its careful removal and storage on the Castle estate.



**F05 – removal of heated rail and door**

**'Significance' and (date) as per Conservation Plan Final Draft (2012/2013)**

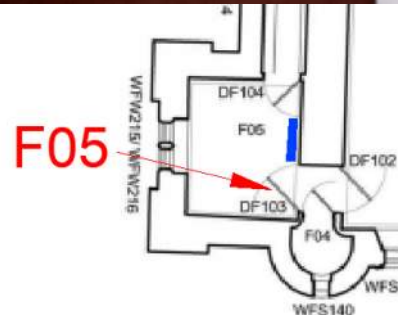
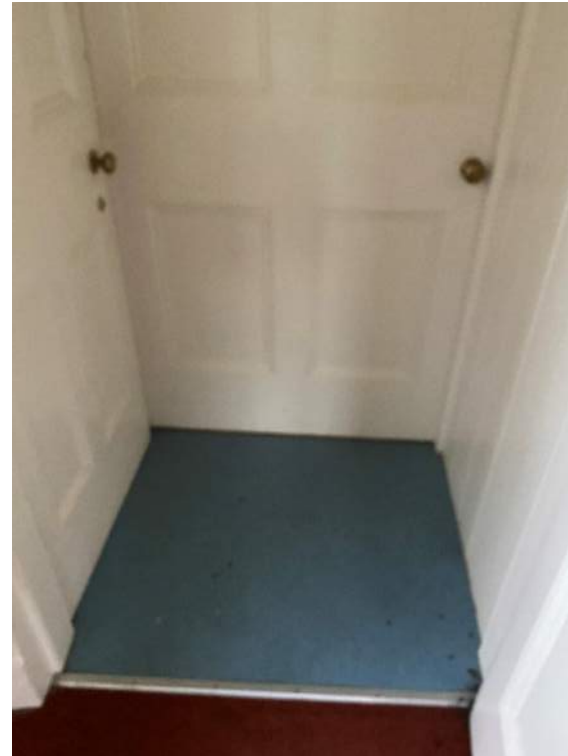
**Interior 'neutral' (early twentieth century 'Joicey'). All walls – 'considerable' (1862/not known for rail section)**

The location of the doorway to be removed is shown on drawing 2035/MC-106  
**Negligible harm** has been identified by the works for which consideration of LBC is requested.  
 The mitigation for the removal of the heated rail would be its careful removal and storage on the Castle estate.

Heated rail to be removed



Door to be removed centre of frame and shown on plan below



<b>F14 – removal of heated rail</b>	
<b>'Significance' and (date) as per Conservation Plan Final Draft (2012/2013)</b>	<b>Interior – 'neutral' (1862). Walls – 'moderate' (1862(rail)/unknown date)</b>

Proposals shown on submission drawing 2035\MC-102  
**Negligible harm** has been identified by the works for which consideration of LBC is requested. The mitigation for the removal of the heated rail would be its careful removal and storage on the Castle estate.



**F20 covering of tiles**

**'Significance' and (date) as per Conservation Plan Final Draft (2012/2013)**

Interior– 'moderate' (after 1950). Internal walls 'moderate' (eighteenth and twentieth century fabric). Western extremity of northern elevation (toilet location) – 'considerable' (1862)

Proposals shown on submission drawing 2035/MC-105

**No harm** has been identified by the works for which consideration of LBC is requested.



**F33 Extraction ventilation only**

**'Significance' and (date) as per Conservation Plan Final Draft (2012/2013)**

Interior – 'neutral' (early twentieth century 'Joicey').  
External wall – considerable' (eighteenth century). Other walls – 'moderate' (early twentieth century 'Joicey'/unknown)

Proposals shown on submission drawing 2035\MC-105. Ventilation extraction is also proposed. The potential for **limited harm** has been identified by the works for which consideration of LBC is requested. In the very unlikely event that any significant intervention to the wall behind the toilet is required which would display a visible horizon, it is anticipated that a best practice response would comprise monitoring by a buildings archaeologist with opportunity provided for the recording of any exposed historic masonry.



**F37**

**'Significance' and (date) as per Conservation Plan Final Draft (2012/2013)**

Interior – 'neutral' (early twentieth century (Joicey)). Wall to rear of toilet 'considerable' (potential medieval fabric). Remainder of the northern wall (medieval) and all other walls (early twentieth century 'Joicey') – 'moderate'

Proposals shown on submission drawing 2035\MC-104. Ventilation extraction is also proposed. **Limited harm** has been identified by the works for which consideration of LBC is requested. The mitigation for the removal of the heated rail, sink and bath would be their careful removal and storage on the Castle estate. In the very unlikely event that any significant intervention to the wall behind the toilet is required which would display a visible horizon, it is anticipated that a best practice response would comprise monitoring by a buildings archaeologist with opportunity provided for the recording of any exposed historic masonry.



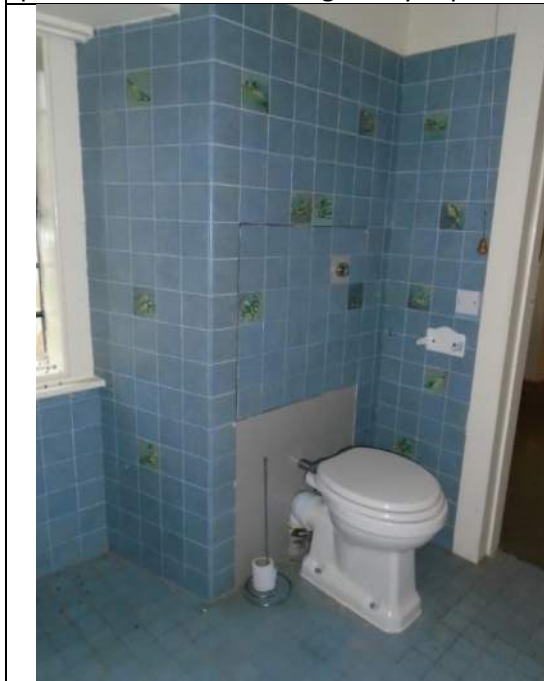


**F41**

**'Significance' and (date) as per Conservation Plan Final Draft (2012/2013)**

Interior – 'moderate' (early twentieth century 'Joicey'). External walls – 'considerable' (1862). Interior walls – 'moderate' (early twentieth century 'Joicey')

Proposals shown on submission drawing 2035\MC-103. Ventilation extraction is also proposed. **Limited harm** has been identified by the works for which consideration of LBC is requested. The mitigation for the removal of the heated rail, sink and bath would be their careful removal and storage on the Castle estate. In the very unlikely event that any significant intervention to the external walls takes place which would display a visible horizon, it is anticipated that a best practice response would comprise monitoring by a buildings archaeologist with opportunity provided for the recording of any exposed historic masonry.







**S07**

**'Significance' and (date) as per Conservation Plan Final Draft (2012/2013)**

Interior and wall to bedroom – 'moderate' (early twentieth century 'Joicey'). Other walls 'considerable' (early twentieth century 'Joicey' or potential medieval)

Proposals shown on submission drawing 2035\MC-100. Ventilation extraction is also proposed. **Limited harm** has been identified by the works for which consideration of LBC is requested. The mitigation for the removal of the heated rail, sink and bath would be their careful removal and storage on the Castle estate. In the very unlikely event that any significant intervention to the external wall takes place which would display a visible horizon, it is anticipated that a best practice response would comprise monitoring by a buildings archaeologist with opportunity provided for the recording of any exposed historic masonry.

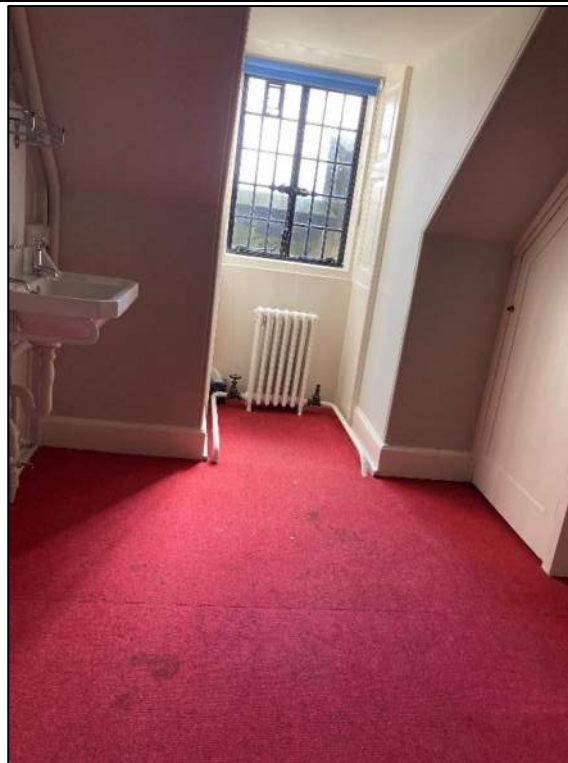


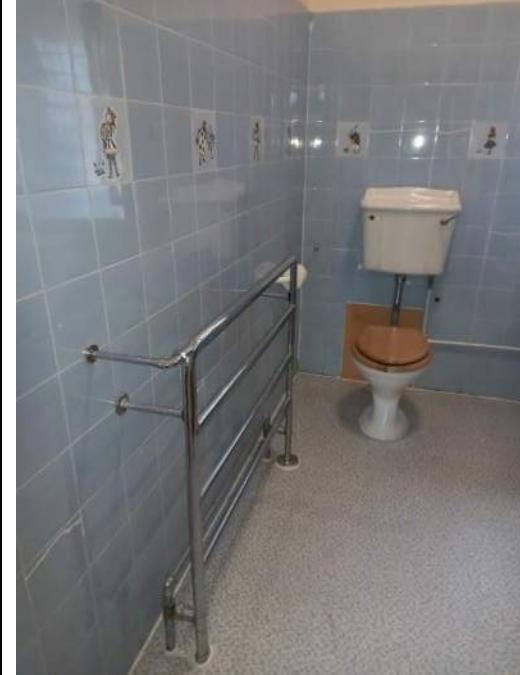



**S15 Conversion to bathroom and installation of extraction**

**'Significance' and (date) as per Conservation Plan Final Draft (2012/2013)**

Interior – 'moderate' (1862). External wall – considerable (1862). Eastern wall to S16 – 'moderate' (Joicey). Other walls 'moderate' (1862)

Proposals shown on submission drawing 2035\MC-101. Ventilation extraction is also proposed. **Limited harm** has been identified for the proposals for which LBC has been requested. In the very unlikely event that any significant intervention to the external wall takes place which would display a visible horizon, it is anticipated that a best practice response would comprise monitoring by a buildings archaeologist with opportunity provided for the recording of any exposed historic masonry.

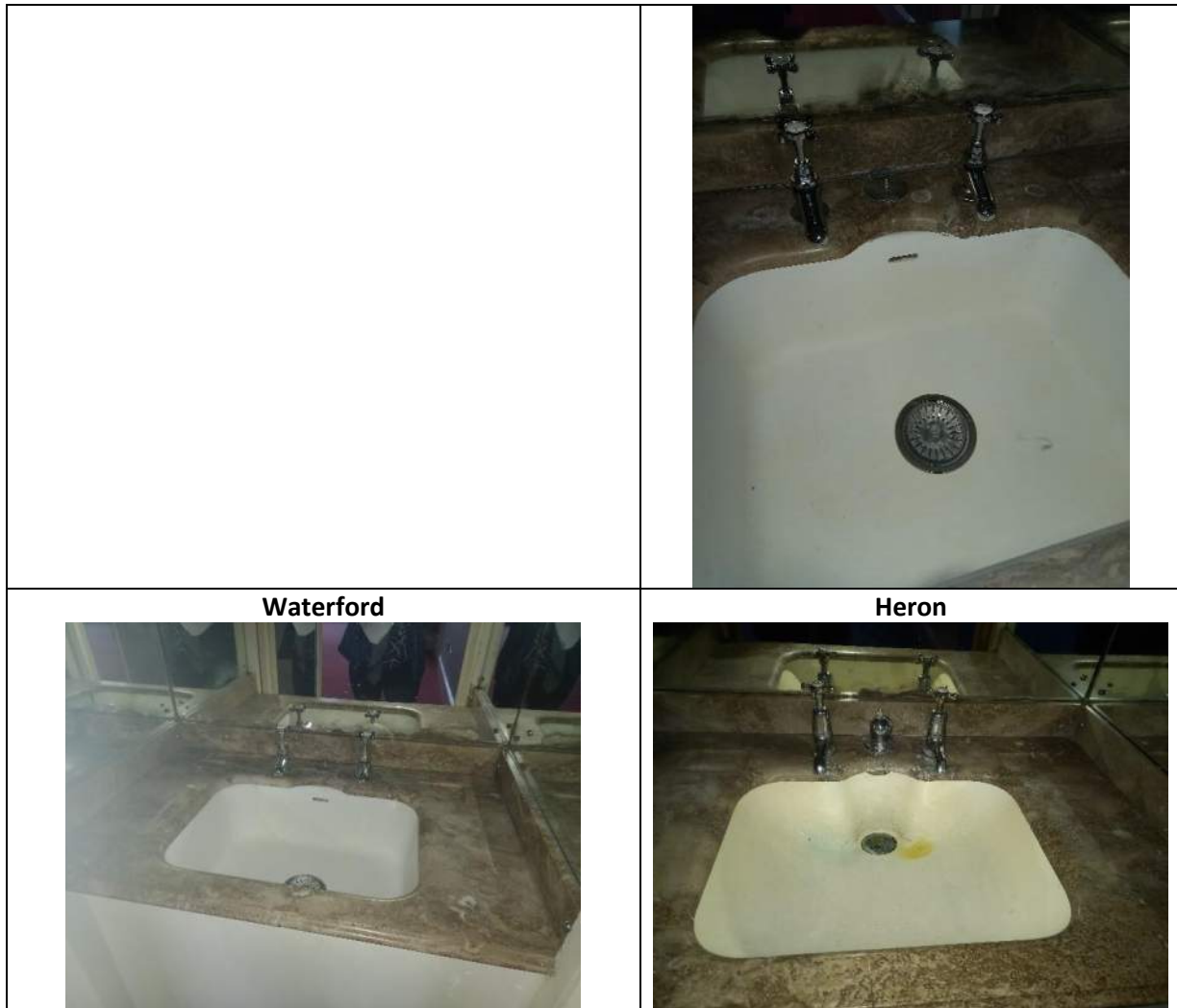


<b>S23</b>	
<b>'Significance' and (date) as per Conservation Plan Final Draft (2012/2013)</b>	Interior – 'moderate' (early twentieth century 'Joicey'). Interior and exterior walls – 'moderate' (early twentieth century 'Joicey'/not known)
<p>Proposals shown on submission drawing 2035\MC-100. Ventilation extraction is also proposed. <b>Limited harm</b> has been identified by the works for which consideration of LBC is requested. The mitigation for the removal of the heated rail, sink and bath would be their careful removal and storage on the Castle estate.</p>	
	
	

For reference the heated rails to be retained, the Victorian toilet to be retained and the 1930s marble surrounds and early sinks to be retained in situ in the principal bedrooms are shown below.

<b>G12</b>		
<b>F26</b>		
<b>S16</b>		

<b>B19</b>		
		
<p><b>1930 sink surrounds and early sinks</b></p> 	<p><b>Delaval</b></p>	



For reference the extant extractor fan to B18 – internal and exterior appearance





## APPENDIX 3

### S15 & S16 PLATES

**Location of S15 room and S16 door to be moved**



**Plate 1: S15 Wooler**



**Plate 2: General shot of servant's corridor**



**Plate 3 and 4: Doors to S15 and S16. The intervening section of wall is to be partially removed to allow for the westwards movement of the S16 door**



**Plates 6 and 6: Details of skirting**

## APPENDIX 4

### Ford Castle Finishes Schedule

Room No.	Description	Floors	GENERAL				JOINERY						METALWORK	Notes
			Walls	Ceilings	Cornice/Ribs	Skirting	Architraves	Window	Doors	Panelling	Shelving	Fireplace	Balusters	
<b>FIRST FLOOR</b>														
F01	STAIR	REF. INTERIOR SCHEDULE	"OFF-WHITE" M60/110 or Earthen Claypaint "MITTENS" to areas of damp plaster	PANELLING AS INTERIOR SCHEDULE	NA	PANELLING AS INTERIOR SCHEDULE	PANELLING AS INTERIOR SCHEDULE	BLACK GLOSS M60/132	NATURAL YELLOW PINE / OAK M60/164	PANELLING AS INTERIOR SCHEDULE	NA	NA		
F02	LANDING	RETAIN EXISTING CARPET	"OFF-WHITE" M60/110	"OFF-WHITE" M60/110	"SLIPPER SATIN" M60/110	NATURAL YELLOW PINE / OAK M60/164	NATURAL YELLOW PINE / OAK M60/164		NATURAL YELLOW PINE / OAK M60/164					
F03	BEDROOM JAMES	RETAIN EXISTING CARPET	"LIGHT GRAY" M60/110	"SLIPPER SATIN" M60/110	"SLIPPER SATIN" M60/110	"SLIPPER SATIN" M60/150	"SLIPPER SATIN" M60/150	BLACK GLOSS M60/132	"SLIPPER SATIN" M60/150					
F04	WC	RETAIN EXISTING	"SLIPPER SATIN" M60/110	"SLIPPER SATIN" M60/110	"SLIPPER SATIN" M60/110	"WORSTED" M60/150	"WORSTED" M60/150	BLACK GLOSS M60/132	"WORSTED" M60/150	"WORSTED" M60/150				
F05	SHOWER ROOM	RETAIN EXISTING	"SHADED WHITE" M60/110	"SLIPPER SATIN" M60/110	"SLIPPER SATIN" M60/110	"SLIPPER SATIN" M60/150	"SLIPPER SATIN" M60/150	BLACK GLOSS M60/132	"SLIPPER SATIN" M60/150					
F06	BEDROOM TILL and CORRIDOR BETWEEN F05 & F06	RETAIN EXISTING CARPET	"OLD-WHITE" M60/110	"OFF-WHITE" M60/110	"SLIPPER SATIN" M60/110	NATURAL YELLOW PINE / OAK M60/164	NATURAL YELLOW PINE / OAK M60/164	BLACK GLOSS M60/132	NATURAL YELLOW PINE / OAK M60/164					
F07	CORRIDOR	RETAIN EXISTING CARPET	"OFF-WHITE" M60/110	"OFF-WHITE" M60/110	"SLIPPER SATIN" M60/110	"SLIPPER SATIN" M60/110	"SLIPPER SATIN" M60/110		NATURAL YELLOW PINE / OAK M60/164					
F08	CORRIDOR	TBC	"OFF-WHITE" M60/110	"OFF-WHITE" M60/110	"SLIPPER SATIN" M60/110	NATURAL YELLOW PINE / OAK M60/164	NATURAL YELLOW PINE / OAK M60/164		NATURAL YELLOW PINE / OAK M60/164					
F09	BEDROOM HERON	RETAIN EXISTING CARPET	"OLD WHITE" M60/110	"OFF-WHITE" M60/110	"SLIPPER SATIN" M60/110	NATURAL YELLOW PINE / OAK M60/164	NATURAL YELLOW PINE / OAK M60/164	BLACK GLOSS M60/132	NATURAL YELLOW PINE / OAK M60/164				REF INTERIOR SCHEDULE	
F10	CUPBOARD	RETAIN EXISTING CARPET	"OLD WHITE" M60/110	"OFF-WHITE" M60/110	"SLIPPER SATIN" M60/110	NATURAL YELLOW PINE / OAK M60/164	NATURAL YELLOW PINE / OAK M60/164	BLACK GLOSS M60/132	NATURAL YELLOW PINE / OAK M60/164					
F11	VANITY CUPBOARD	RETAIN EXISTING CARPET	"OLD WHITE" M60/110	"OFF-WHITE" M60/110	"SLIPPER SATIN" M60/110	NATURAL YELLOW PINE / OAK M60/164	NATURAL YELLOW PINE / OAK M60/164	BLACK GLOSS M60/132	NATURAL YELLOW PINE / OAK M60/164					
F12	CORRIDOR	TBC	"OFF-WHITE" M60/110	"OFF-WHITE" M60/110	"SLIPPER SATIN" M60/110	NATURAL YELLOW PINE / OAK M60/164	NATURAL YELLOW PINE / OAK M60/164		NATURAL YELLOW PINE / OAK M60/164					
F13	SHOWER ROOM	RETAIN EXISTING	"SLIPPER SATIN" M60/110	"SLIPPER SATIN" M60/110	"SLIPPER SATIN" M60/110	"SLIPPER SATIN" M60/150	"SLIPPER SATIN" M60/150		"SLIPPER SATIN" M60/150					
F14	SHOWER ROOM	RETAIN EXISTING	"SHADED WHITE" M60/110	"SLIPPER SATIN" M60/110	"SLIPPER SATIN" M60/110	"SLIPPER SATIN" M60/150	"SLIPPER SATIN" M60/150		"SLIPPER SATIN" M60/150					
F15	BEDROOM TWEED	RETAIN EXISTING CARPET	"OLD-WHITE" M60/110	"OFF-WHITE" M60/110	"SLIPPER SATIN" M60/110	"SLIPPER SATIN" M60/150	"SLIPPER SATIN" M60/150	BLACK GLOSS M60/132	NATURAL YELLOW PINE / OAK M60/164					
F16	LOBBY	TBC	"OFF-WHITE" M60/110	"OFF-WHITE" M60/110	"SLIPPER SATIN" M60/110	NATURAL YELLOW PINE / OAK M60/164	NATURAL YELLOW PINE / OAK M60/164		NATURAL YELLOW PINE / OAK M60/164					
F17	BEDROOM BLAKE	RETAIN EXISTING CARPET	"LIGHT GRAY" M60/110	"OFF-WHITE" M60/110	"SLIPPER SATIN" M60/110	"SLIPPER SATIN" M60/150	"SLIPPER SATIN" M60/150		NATURAL YELLOW PINE / OAK M60/164				REF INTERIOR SCHEDULE	
F18	SHOWER ROOM	RETAIN EXISTING	"SHADED WHITE" M60/110	"SLIPPER SATIN" M60/110	"SLIPPER SATIN" M60/110	"SLIPPER SATIN" M60/150	"SLIPPER SATIN" M60/150	BLACK GLOSS M60/132	"SLIPPER SATIN" M60/150					
F19	CORRIDOR	TBC	"OFF-WHITE" M60/110	"OFF-WHITE" M60/110	"SLIPPER SATIN" M60/110	NATURAL YELLOW PINE / OAK M60/164	NATURAL YELLOW PINE / OAK M60/164	BLACK GLOSS M60/132	NATURAL YELLOW PINE / OAK M60/164	NATURAL YELLOW PINE / OAK M60/164				
F20	SHOWER ROOM	RETAIN EXISTING	"OFF-WHITE" M60/110	"OFF-WHITE" M60/110	"SLIPPER SATIN" M60/110	"SLIPPER SATIN" M60/110	"SLIPPER SATIN" M60/110	BLACK GLOSS M60/132	NATURAL YELLOW PINE / OAK M60/164					
F21	BEDROOM WATERFORD	RETAIN EXISTING CARPET	"LIGHT GRAY" M60/110	"OFF-WHITE" M60/110	"SLIPPER SATIN" M60/110	"SLIPPER SATIN" M60/110	"SLIPPER SATIN" M60/110	BLACK GLOSS M60/132	NATURAL YELLOW PINE / OAK M60/164				REF INTERIOR SCHEDULE	
F22	CORRIDOR	TBC	"OFF-WHITE" M60/110	"OFF-WHITE" M60/110	"SLIPPER SATIN" M60/110	NATURAL YELLOW PINE / OAK M60/164	NATURAL YELLOW PINE / OAK M60/164	BLACK GLOSS M60/132	NATURAL YELLOW PINE / OAK M60/164	NATURAL YELLOW PINE / OAK M60/164				
F23	LINEN CUPBOARD	RETAIN EXISTING	"OFF-WHITE" M60/110	"OFF-WHITE" M60/110	"SLIPPER SATIN" M60/110	"SLIPPER SATIN" M60/110	"SLIPPER SATIN" M60/110		NATURAL YELLOW PINE / OAK M60/164					
F24	SHOWER ROOM	RETAIN EXISTING	"SLIPPER SATIN" M60/110	"SLIPPER SATIN" M60/110	"SLIPPER SATIN" M60/110	"SLIPPER SATIN" M60/150	"SLIPPER SATIN" M60/150	BLACK GLOSS M60/132	NATURAL YELLOW PINE / OAK M60/164					
F25	BEDROOM CARR	RETAIN EXISTING CARPET	"OLD-WHITE" M60/110	"OFF-WHITE" M60/110	"SLIPPER SATIN" M60/110	NATURAL YELLOW PINE / OAK M60/164	NATURAL YELLOW PINE / OAK M60/164	BLACK GLOSS M60/132	NATURAL YELLOW PINE / OAK M60/164					
F26	SHOWER ROOM	RETAIN EXISTING	"SHADED WHITE" M60/110	"SLIPPER SATIN" M60/110	"SLIPPER SATIN" M60/110	"SLIPPER SATIN" M60/150	"SLIPPER SATIN" M60/150	BLACK GLOSS M60/132	NATURAL YELLOW PINE / OAK M60/164					
F27	LIFT	NA	NA	NA	NA	NA	NA	NA	NA					

Room No.	Description	Floors	GENERAL				JOINERY							METALWORK	Notes
			Walls	Ceilings	Cornice/Ribs	Skirting	Architraves	Window	Doors	Paneling	Shelving	Fireplace	Balusters		
G01	PORTICO	REF. INTERIOR SCHEDULE	"OFF-WHITE" M60/110	"OFF-WHITE" M60/110	"SLIPPER SATIN" M60/110	NATURAL OAK TIMBER M60/164	NATURAL OAK TIMBER M60/164	"BLACK GLOSS" M60/132	NATURAL OAK TIMBER M60/164	NATURAL OAK TIMBER M60/164	NATURAL OAK TIMBER M60/164	NA			
G02	LONG GALLERY	REF. INTERIOR SCHEDULE	PANELLING AS INTERIOR SCHEDULE "OFF-WHITE" M60/110 ABOVE PANELLING	"OFF-WHITE" M60/110	NATURAL TIMBER M60/164	NATURAL OAK TIMBER M60/164	NATURAL OAK TIMBER M60/164	"BLACK GLOSS" M60/132	NATURAL OAK TIMBER M60/164	PANELLING AS INTERIOR SCHEDULE	NATURAL OAK TIMBER M60/164	REF. INTERIOR SCHEDULE			
G03	WEST HALL	REF. INTERIOR SCHEDULE	PANELLING AS INTERIOR SCHEDULE	"OFF-WHITE" M60/110	TOUCH-UP GRANNING TO MATCH EXISTING	PANELLING AS INTERIOR SCHEDULE	PANELLING AS INTERIOR SCHEDULE	"BLACK GLOSS" M60/132	NATURAL YELLOW PINE M60/164	PANELLING AS INTERIOR SCHEDULE	NA	M60/163			
G04	STAIR HALL	REF. INTERIOR SCHEDULE	"OFF-WHITE" M60/110	"OFF-WHITE" M60/110	NA	PANELLING AS INTERIOR SCHEDULE	PANELLING AS INTERIOR SCHEDULE	NA	NATURAL YELLOW PINE M60/164	PANELLING AS INTERIOR SCHEDULE	NA	NA			
G05	BAR/GAMES/ SNOOKER ROOM	REF. INTERIOR SCHEDULE "Medium Oak"	"DEAD SALMON" M60/110	"OFF-WHITE" M60/110	"SLIPPER SATIN" M60/110	NATURAL OAK TIMBER M60/161	NATURAL OAK TIMBER M60/161	"BLACK GLOSS" M60/132	NATURAL OAK TIMBER M60/164 except DG69-see notes	NATURAL OAK TIMBER M60/161	NA		Doors DG69 to cupboard, to be painted in as wall colour. Plus facings removed so doors are flush with wall.		
G06	STORE	"Medium Oak"	"OLD-WHITE" M60/110	"OFF-WHITE" M60/110	"SLIPPER SATIN" M60/110	NATURAL OAK TIMBER M60/161	NATURAL OAK TIMBER M60/161	"BLACK GLOSS" M60/132	NATURAL OAK TIMBER M60/164	NATURAL OAK TIMBER M60/161	NA	NA			
G07	CORRIDOR	NA	PANELLING AS INTERIOR SCHEDULE	NA	NA	PANELLING AS INTERIOR SCHEDULE	PANELLING AS INTERIOR SCHEDULE	NA	NATURAL YELLOW PINE M60/164	PANELLING AS INTERIOR SCHEDULE	NA	NA			
G08	JAMES STUDY	NA	PANELLING AS INTERIOR SCHEDULE	"OFF-WHITE" M60/110 in between beams	NA	NA	NA	"BLACK GLOSS" M60/132	NATURAL OAK TIMBER M60/164	NA	NA	NA			
G09	NORTH/TV LOUNGE	REF. INTERIOR SCHEDULE "Medium Oak"	"DEAD SALMON" M60/110	"OFF-WHITE" M60/110	"SLIPPER SATIN" M60/110	NATURAL OAK TIMBER M60/161	NATURAL OAK TIMBER M60/161	"BLACK GLOSS" M60/132	NATURAL OAK/PINE TIMBER M60/164	NATURAL OAK TIMBER M60/161	NA	REF. INTERIOR SCHEDULE			
G10	RESIDENTS KITCHEN	REF. INTERIOR SCHEDULE	"OLD-WHITE" M60/110	"OFF-WHITE" M60/110	"SLIPPER SATIN" M60/110	"SLIPPER SATIN" M60/150	"SLIPPER SATIN" M60/150	"BLACK GLOSS" M60/132	NATURAL YELLOW PINE M60/164	"SLIPPER SATIN" M60/150	NA	NA			
G11	CORRIDOR	REF. INTERIOR SCHEDULE	"OFF-WHITE" M60/110	"OFF-WHITE" M60/110	"SLIPPER SATIN" M60/110	NATURAL OAK/PINE TIMBER M60/161	NATURAL OAK/PINE TIMBER M60/161	NA	NATURAL YELLOW PINE M60/164	PANELLING AS INTERIOR SCHEDULE	NA	NA			
G12	LADIES WC	REF. INTERIOR SCHEDULE	"OFF-WHITE" M60/110	"OFF-WHITE" M60/110	"SLIPPER SATIN" M60/110	NATURAL OAK/PINE TIMBER M60/161	NATURAL OAK/PINE TIMBER M60/161	NA	NATURAL YELLOW PINE M60/164	PANELLING AS INTERIOR SCHEDULE	NA	NA			
G13	STAIR HALL	REF. INTERIOR SCHEDULE	"ARCHIVE" M60/110	"SLIPPER SATIN" M60/110	"SLIPPER SATIN" M60/110	"LONDON STONE" M60/150	"LONDON STONE" M60/150	"BLACK GLOSS" M60/132	"LONDON STONE" M60/150	"LONDON STONE" M60/150	"LONDON STONE" M60/150	NA	"DOWNPIPE" M60/132	If handrail painted - "LONDON STONE"	
G14	LANDING		"SHADED WHITE" M60/110	"SLIPPER SATIN" M60/110	"SLIPPER SATIN" M60/110	"SLIPPER SATIN" M60/150	"SLIPPER SATIN" M60/150	"SLIPPER SATIN" M60/150	"SLIPPER SATIN" M60/150	"SLIPPER SATIN" M60/150					
G15	LOBBY		"SHADED WHITE" M60/110	"SLIPPER SATIN" M60/110	"SLIPPER SATIN" M60/110	"SLIPPER SATIN" M60/150	"SLIPPER SATIN" M60/150	"SLIPPER SATIN" M60/150	"SLIPPER SATIN" M60/150	"SLIPPER SATIN" M60/150					
G16	LOWICK	RETAIN EXISTING CARPET	"SHADED WHITE" M60/110	"SLIPPER SATIN" M60/110	"SLIPPER SATIN" M60/110	"SLIPPER SATIN" M60/150	"SLIPPER SATIN" M60/150	BLACK GLOSS M60/132	"SLIPPER SATIN" M60/150	"SLIPPER SATIN" M60/150	"SLIPPER SATIN" M60/150	"SLIPPER SATIN" M60/150	REF INTERIOR SCHEDULE		
G17	KYLOE & SHWR ROOMS	RETAIN EXISTING	"SHADED WHITE" M60/110	"SLIPPER SATIN" M60/110	"SLIPPER SATIN" M60/110	"SLIPPER SATIN" M60/150	"SLIPPER SATIN" M60/150	BLACK GLOSS M60/132	"SLIPPER SATIN" M60/150	"SLIPPER SATIN" M60/150	"SLIPPER SATIN" M60/150	"SLIPPER SATIN" M60/150	REF INTERIOR SCHEDULE		
G18	WC	RETAIN EXISTING	"SHADED WHITE" M60/110	"SLIPPER SATIN" M60/110	"SLIPPER SATIN" M60/110	"SLIPPER SATIN" M60/150	"SLIPPER SATIN" M60/150	BLACK GLOSS M60/132	"SLIPPER SATIN" M60/150	"SLIPPER SATIN" M60/150	"SLIPPER SATIN" M60/150	"SLIPPER SATIN" M60/150	REF INTERIOR SCHEDULE		
G19	CORRIDOR	REF. INTERIOR SCHEDULE	PANELLING AS INTERIOR SCHEDULE	"OFF-WHITE" M60/110	"SLIPPER SATIN" M60/110	PANELLING AS INTERIOR SCHEDULE	PANELLING AS INTERIOR SCHEDULE	NA	NATURAL YELLOW PINE M60/164	PANELLING AS INTERIOR SCHEDULE	NA	NA			
G19a	DRIDOR NORTH SECTIO	REF. INTERIOR SCHEDULE	"OFF-WHITE" M60/110	"OFF-WHITE" M60/110	"SLIPPER SATIN" M60/110	NATURAL OAK/PINE TIMBER M60/161	NATURAL OAK/PINE TIMBER M60/161	NA	NATURAL YELLOW PINE M60/164	PANELLING AS INTERIOR SCHEDULE	NA	NA			
G20	STORE	REF. INTERIOR SCHEDULE	"OFF-WHITE" M60/110	"OFF-WHITE" M60/110	NA	"SLIPPER SATIN" M60/110	"SLIPPER SATIN" M60/110	NA	NATURAL YELLOW PINE M60/164	NA	NA	NA			
G21	LIFT	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA			
G22	OCTAGON/COFFEE RM	REF. INTERIOR SCHEDULE	PANELLING AS INTERIOR SCHEDULE	"OFF-WHITE" M60/110	"SLIPPER SATIN" M60/110	PANELLING AS INTERIOR SCHEDULE	PANELLING AS INTERIOR SCHEDULE	NA	NATURAL YELLOW PINE M60/164	PANELLING AS INTERIOR SCHEDULE	NA	NA			
G23	EAST LOUNGE	REF. INTERIOR SCHEDULE	PANELLING AS INTERIOR SCHEDULE	"OFF-WHITE" M60/111	"SLIPPER SATIN" M60/111	PANELLING AS INTERIOR SCHEDULE	PANELLING AS INTERIOR SCHEDULE	NA	NATURAL YELLOW PINE M60/165	PANELLING AS INTERIOR SCHEDULE	NA	NA			
G24	LIBRARY	REF. INTERIOR SCHEDULE	PANELLING AS INTERIOR SCHEDULE	"OFF-WHITE" M60/112	"SLIPPER SATIN" M60/112	PANELLING AS INTERIOR SCHEDULE	PANELLING AS INTERIOR SCHEDULE	NA	NATURAL YELLOW PINE M60/166	PANELLING AS INTERIOR SCHEDULE	NA	NA			
G25	SPIRAL STAIR	REF. INTERIOR SCHEDULE	"OFF-WHITE" M60/110	"OFF-WHITE" M60/110	"SLIPPER SATIN" M60/110	AS FLOOR	NATURAL YELLOW PINE / OAK M60/164	BLACK GLOSS M60/132	NATURAL YELLOW PINE / OAK M60/164						

Unless stated otherwise all colours are to be colour matched to Farrow & Ball colour references.

Room No.	Description	Floors	GENERAL				JOINERY						METALWORK	Notes
			Walls	Ceilings	Cornice/Ribs	Skirting	Architraves	Window	Doors	Panelling	Shelving	Fireplace	Balusters	
F23	BEDROOM DELAVAL	RETAIN EXISTING CARPET	"LIGHT GRAY" M60/110	"OFF-WHITE" M60/110	"SLIPPER SATIN" M60/110	"SLIPPER SATIN" M60/110	"SLIPPER SATIN" M60/110	BLACK GLOSS M60/132	NATURAL YELLOW PINE / OAK M60/164				REF INTERIOR SCHEDULE	
F23	CORRIDOR	TBC	"OLD WHITE" M60/110 OR 111	"OFF-WHITE" M60/110	"SLIPPER SATIN" M60/110	"SLIPPER SATIN" M60/110	"SLIPPER SATIN" M60/110	BLACK GLOSS M60/132	NATURAL YELLOW PINE / OAK M60/164					
F30	SPIRAL STAIR	REF. INTERIOR SCHEDULE	"OLD WHITE" M60/110	"OFF-WHITE" M60/110	"SLIPPER SATIN" M60/110	AS FLOOR	NATURAL YELLOW PINE / OAK M60/164	BLACK GLOSS M60/132	NATURAL YELLOW PINE / OAK M60/164					
F31	CORRIDOR	TBC	"OLD WHITE" M60/110	"OFF-WHITE" M60/110	"SLIPPER SATIN" M60/110	"SLIPPER SATIN" M60/110	"SLIPPER SATIN" M60/110	BLACK GLOSS M60/132	NATURAL YELLOW PINE / OAK M60/164					
F32	LANDING	TBC	"SHADED WHITE" M60/110	"SLIPPER SATIN" M60/110	"SLIPPER SATIN" M60/110	"SLIPPER SATIN" M60/110	"SLIPPER SATIN" M60/110	BLACK GLOSS M60/132	"SLIPPER SATIN" M60/150					
F33	BATHROOM	REF. INTERIOR SCHEDULE	"SHADED WHITE" M60/110	"SLIPPER SATIN" M60/110	"SLIPPER SATIN" M60/110	"SLIPPER SATIN" M60/150	"SLIPPER SATIN" M60/150	BLACK GLOSS M60/132	"SLIPPER SATIN" M60/150					
F34	BEDROOM BERGER	RETAIN EXISTING CARPET	"SHADED WHITE" M60/110	"SLIPPER SATIN" M60/110	"SLIPPER SATIN" M60/110	"SLIPPER SATIN" M60/150	"SLIPPER SATIN" M60/150	BLACK GLOSS M60/132	"SLIPPER SATIN" M60/150	"SLIPPER SATIN" M60/150	"SLIPPER SATIN" M60/150	"SLIPPER SATIN" M60/150	REF INTERIOR SCHEDULE	
F35	BEDROOM ODINEL	RETAIN EXISTING CARPET	"SHADED WHITE" M60/110	"SLIPPER SATIN" M60/110	"SLIPPER SATIN" M60/110	"SLIPPER SATIN" M60/150	"SLIPPER SATIN" M60/150	BLACK GLOSS M60/132	"SLIPPER SATIN" M60/150	"SLIPPER SATIN" M60/150	"SLIPPER SATIN" M60/150	"SLIPPER SATIN" M60/150	REF INTERIOR SCHEDULE	
F36	SHOWER ROOM	RETAIN EXISTING	"SLIPPER SATIN" M60/110	"SLIPPER SATIN" M60/110	"SLIPPER SATIN" M60/110	"SLIPPER SATIN" M60/150	NATURAL YELLOW PINE / OAK M60/164		NATURAL YELLOW PINE / OAK M60/164					
F37	BATHROOM	REF. INTERIOR SCHEDULE	"SLIPPER SATIN" M60/110	"SLIPPER SATIN" M60/110	"SLIPPER SATIN" M60/110	"SLIPPER SATIN" M60/150	NATURAL YELLOW PINE / OAK M60/164	BLACK GLOSS M60/132	NATURAL YELLOW PINE / OAK M60/164					
F38	BEDROOM JOICEY	RETAIN EXISTING CARPET	"OLD-WHITE" M60/110 OR 111	"OFF-WHITE" M60/110	"SLIPPER SATIN" M60/110	NATURAL YELLOW PINE / OAK M60/164	NATURAL YELLOW PINE / OAK M60/164	BLACK GLOSS M60/132	NATURAL YELLOW PINE / OAK M60/164	NATURAL YELLOW PINE / OAK M60/164	NATURAL YELLOW PINE / OAK M60/164	NATURAL YELLOW PINE / OAK M60/164	REF INTERIOR SCHEDULE	
F39	SHOWER ROOM	RETAIN EXISTING	"SLIPPER SATIN" M60/110	"SLIPPER SATIN" M60/110	"SLIPPER SATIN" M60/110	"SLIPPER SATIN" M60/150	NATURAL YELLOW PINE / OAK M60/164		NATURAL YELLOW PINE / OAK M60/164					
F40	BEDROOM CHEVIOT	RETAIN EXISTING CARPET	"OLD-WHITE" M60/110 OR 111	"OFF-WHITE" M60/110	"SLIPPER SATIN" M60/110	NATURAL YELLOW PINE / OAK M60/164	NATURAL YELLOW PINE / OAK M60/164	BLACK GLOSS M60/132	NATURAL YELLOW PINE / OAK M60/164	NATURAL YELLOW PINE / OAK M60/164	NATURAL YELLOW PINE / OAK M60/164	NATURAL YELLOW PINE / OAK M60/164	REF INTERIOR SCHEDULE	
F41	BATHROOM	RETAIN EXISTING	"SLIPPER SATIN" M60/110	"SLIPPER SATIN" M60/110	"SLIPPER SATIN" M60/110	"SLIPPER SATIN" M60/150	NATURAL YELLOW PINE / OAK M60/164	BLACK GLOSS M60/132	NATURAL YELLOW PINE / OAK M60/164					

Room No.	Description	GENERAL					JOINERY						METALWORK	Notes
		Floors	Walls	Ceilings	Cornice/Ribs	Skirting	Architraves	Window	Doors	Panelling	Shelving	Fireplace	Balusters	
<b>BASEMENT</b>														
B01	STAIR	REF. INTERIOR SCHEDULE	"OFF-WHITE" M60/110 OR 111	"OFF-WHITE" M60/110	NA	PANELLING AS INTERIOR SCHEDULE	PANELLING AS INTERIOR SCHEDULE	NA	NATURAL YELLOW PINE / OAK M60/154	PANELLING AS INTERIOR SCHEDULE	NA	NA		
B02	LOBBY	REF. INTERIOR SCHEDULE	"ARCHIVE" M60/110	"OFF-WHITE" M60/110	NA	"LONDON STONE" M60/150	"LONDON STONE" M60/150	"BLACK GLOSS" M60/132	"LONDON STONE" M60/150	NA	NA	NA		
B03	SAFE	REF. INTERIOR SCHEDULE	"OFF-WHITE" M60/110	"OFF-WHITE" M60/110	NA	"LONDON STONE" M60/150	"LONDON STONE" M60/150	NA	"LONDON STONE" M60/150	NA	NA	NA		
B04	BIOLOGY LAB/CLASSROOM	REF. INTERIOR SCHEDULE	"OLD WHITE" M60/110	NA	NA	"SLIPPER SATIN" M60/150	"SLIPPER SATIN" M60/150	"BLACK GLOSS" M60/132	"LONDON STONE" M60/150	"SLIPPER SATIN" M60/150	NA	NA		
B05	CORRIDOR	New screeds as A1-08.05 and SK-03.	"ARCHIVE" M60/110	NA	NA	EXISTING STONE REPAIRED & PAINTED "LONDON STONE" M60/150	"LONDON STONE" M60/150	NA	"LONDON STONE" M60/150	"LONDON STONE" M60/150	NA	NA		Flooring - Spec Code 3405 'Granada' Vivace Marmoleum
B06	STORE/SAFE	REF. INTERIOR SCHEDULE	"ARCHIVE" M60/110	"OFF-WHITE" M60/110	NA	"LONDON STONE" M60/150	"LONDON STONE" M60/150	NA	"LONDON STONE" M60/150	"LONDON STONE" M60/150	NA	NA		Flooring - Spec Code 3405 'Granada' Vivace Marmoleum
B07	OFFICE/BUNKER	REF. INTERIOR SCHEDULE	NA	"OFF-WHITE" M60/110	NA	"LONDON STONE" M60/150	"LONDON STONE" M60/150	NA	"LONDON STONE" M60/150	NA	NA	NA		
B08	OFFICE/BUNKER	REF. INTERIOR SCHEDULE	NA	"OFF-WHITE" M60/110	NA	"LONDON STONE" M60/150	NA	NA	NA	NA	NA	NA		
B09	CORRIDOR	New screeds as A1-08.05 and SK-03.	"ARCHIVE" M60/110	NA	NA	EXISTING STONE REPAIRED & PAINTED "LONDON STONE" M60/150	"LONDON STONE" M60/150	"BLACK GLOSS" M60/132	"LONDON STONE" M60/150	"LONDON STONE" M60/150	NA	NA		Flooring - Spec Code 3405 'Granada' Vivace Marmoleum
B10	STORE	REF. INTERIOR SCHEDULE	"ARCHIVE" M60/110	"SLIPPER SATIN" M60/110	"SLIPPER SATIN" M60/110	"LONDON STONE" M60/150	"LONDON STONE" M60/150	"BLACK GLOSS" M60/132	"LONDON STONE" M60/150	"LONDON STONE" M60/150	"LONDON STONE" M60/150	"LONDON STONE" M60/150	"LONDON STONE" M60/150	
B11	STAFF ROOM	SALVAGED NEW PINE - Sanded, stained and sealed.	"OLD WHITE" M60/110	"SLIPPER SATIN" M60/110	"SLIPPER SATIN" M60/110	"SLIPPER SATIN" M60/150	"SLIPPER SATIN" M60/150	"BLACK GLOSS" M60/132	"SLIPPER SATIN" M60/150	"SLIPPER SATIN" M60/150	NA	"SLIPPER SATIN" M60/150		
B12	CORRIDOR	New screeds as A1-08.05 and SK-03.	"ARCHIVE" M60/110	NA	NA	EXISTING STONE REPAIRED & PAINTED "LONDON STONE" M60/150	"LONDON STONE" M60/150	NA	"LONDON STONE" M60/150	NA	NA	NA		Flooring - Spec Code 3405 'Granada' Vivace Marmoleum
B13	FIRST AID ROOM	SALVAGED NEW PINE - Sanded, stained and sealed.	"OLD WHITE" M60/110	"SLIPPER SATIN" M60/110	"SLIPPER SATIN" M60/110	"SLIPPER SATIN" M60/150	"SLIPPER SATIN" M60/150	"BLACK GLOSS" M60/132	"SLIPPER SATIN" M60/150	"SLIPPER SATIN" M60/150	NA	NA		
B14	RECEPTION/OFFICE	SALVAGED NEW PINE - Sanded, stained and sealed.	"OLD WHITE" M60/110	"SLIPPER SATIN" M60/110	"SLIPPER SATIN" M60/110	"SLIPPER SATIN" M60/150	"SLIPPER SATIN" M60/150	"BLACK GLOSS" M60/132	"SLIPPER SATIN" M60/150	"SLIPPER SATIN" M60/150	NA	"SLIPPER SATIN" M60/150		
B15	CORRIDOR	RETAIN EXISTING STONE FLAGS AND CONCRETE. New oak threshold at door DB18 & DB65.	"ARCHIVE" M60/110	NA	NA	EXISTING STONE REPAIRED & PAINTED "LONDON STONE" M60/150	"LONDON STONE" M60/150	NA	"LONDON STONE" M60/150	"LONDON STONE" M60/150	NA	NA	NA	REPAIRS TO RETAINED STONE FLAGS AND CONCRETE - steam clean off remaining adhesive and residue. Allow for some localised repairs to stone flags with replacement sections of salvaged stone. Point all joints with lime mortar as C41/241 & B21.
B16	STAFF WC	FORBO SURESTEP ORIGINAL - colour TBC (once sample book arrives)	"ARCHIVE" M60/111	NA	NA	AS FLOOR	"LONDON STONE" M60/151	"BLACK GLOSS" M60/132	"LONDON STONE" M60/151	"LONDON STONE" M60/152	NA	NA	NA	
B17	LADIES WC	FORBO SURESTEP ORIGINAL - colour TBC (once sample book arrives)	"ARCHIVE" M60/112	NA	NA	AS FLOOR	"LONDON STONE" M60/152	NA	"LONDON STONE" M60/152	NA	NA	NA	NA	
B18	GENTS WC	FORBO SURESTEP ORIGINAL - colour TBC (once sample book arrives)	"ARCHIVE" M60/113	"SLIPPER SATIN" M60/110	"SLIPPER SATIN" M60/111	AS FLOOR	"LONDON STONE" M60/153	"BLACK GLOSS" M60/132	"LONDON STONE" M60/153	"LONDON STONE" M60/154	NA	NA	NA	Lay new self-levelling screed over existing quarry tiles, to take new Forbo Surestep flooring.
B19	GENTS WC	FORBO SURESTEP ORIGINAL - colour TBC (once sample book arrives)	"ARCHIVE" M60/114	"SLIPPER SATIN" M60/110	"SLIPPER SATIN" M60/110	EXISTING STONE REPAIRED & PAINTED "LONDON STONE" M60/150	"LONDON STONE" M60/150	"BLACK GLOSS" M60/132	"LONDON STONE" M60/150	"LONDON STONE" M60/151	NA	NA	NA	



Room No.	Description	GENERAL						JOINERY					METALWORK	Notes
		Floors	Walls	Ceilings	Cornice/Ribs	Skirting	Architraves	Window	Doors	Panelling	Shelving	Fireplace	Balusters	
B20	CORRIDOR	RETAIN EXISTING STONE FLAGS AND CONCRETE.	"ARCHIVE" M60/110	NA	NA	EXISTING STONE REPAIRED & PAINTED "LONDON STONE" M60/150	"LONDON STONE" M60/150	NA	"LONDON STONE" M60/150	"LONDON STONE" M60/150	"LONDON STONE" M60/150	NA	NA	Repairs to stone flags/concrete - As B15.
B21	CUPBOARD	REF. INTERIOR SCHEDULE New floor flooring - Spec Code 3465 'Granada' Vivace Marmoleum	"ARCHIVE" M60/110	"SLIPPER SATIN" M60/110	NA	"LONDON STONE" M60/150	"LONDON STONE" M60/150	NA	"LONDON STONE" M60/150	NA	"LONDON STONE" M60/150	NA	NA	
B22	LIFT	NA	NA	NA	NA	NA	"LONDON STONE" M60/151	NA	"LONDON STONE" M60/151	NA	NA	NA	NA	
B23	CORRIDOR	TBC FOLLOWING ASBESTOS WORKS	"ARCHIVE" M60/110	"SLIPPER SATIN" M60/110	"SLIPPER SATIN" M60/110	EXISTING STONE REPAIRED & PAINTED "LONDON STONE" M60/150	"LONDON STONE" M60/150		"LONDON STONE" M60/150	"LONDON STONE" M60/150	"LONDON STONE" M60/150	NA	"DOWNPIPE" M60/132	If handrail painted - "LONDON STONE"
B24	DINING ROOM 2	RETAIN EXISTING	"ARCHIVE" M60/110	"SLIPPER SATIN" M60/110	"SLIPPER SATIN" M60/110	"LONDON STONE" M60/150	"LONDON STONE" M60/150	"BLACK GLOSS" M60/132	"LONDON STONE" M60/150	"LONDON STONE" M60/150	"LONDON STONE" M60/150	"LONDON STONE" M60/150		
B25	CUPBOARD	TBC FOLLOWING ASBESTOS WORKS	NA	NA	NA	NA	"LONDON STONE" M60/150	NA	"LONDON STONE" M60/150	NA	NA	NA	NA	
B26	KITCHEN	REF. INTERIOR SCHEDULE	"SLIPPER SATIN" M60/110	"SLIPPER SATIN" M60/110	"SLIPPER SATIN" M60/110	"SLIPPER SATIN" M60/150	"SLIPPER SATIN" M60/150	"SLIPPER SATIN" M60/150	"SLIPPER SATIN" M60/150	"SLIPPER SATIN" M60/150	"SLIPPER SATIN" M60/150			
B27	LOBBY	REF. INTERIOR SCHEDULE	"SLIPPER SATIN" M60/110	"SLIPPER SATIN" M60/110	"SLIPPER SATIN" M60/110	"SLIPPER SATIN" M60/150	"SLIPPER SATIN" M60/150	"SLIPPER SATIN" M60/150	"SLIPPER SATIN" M60/150	"SLIPPER SATIN" M60/150	"SLIPPER SATIN" M60/150			
B28	DRY STORE	REF. INTERIOR SCHEDULE	"SLIPPER SATIN" M60/110	"SLIPPER SATIN" M60/110	"SLIPPER SATIN" M60/110	"SLIPPER SATIN" M60/150	"SLIPPER SATIN" M60/150	"SLIPPER SATIN" M60/150	"SLIPPER SATIN" M60/150	"SLIPPER SATIN" M60/150	"SLIPPER SATIN" M60/150			
B29	SCULLERY	REF. INTERIOR SCHEDULE	"SLIPPER SATIN" M60/110	"SLIPPER SATIN" M60/110	"SLIPPER SATIN" M60/110	"SLIPPER SATIN" M60/150	"SLIPPER SATIN" M60/150	"SLIPPER SATIN" M60/150	"SLIPPER SATIN" M60/150	"SLIPPER SATIN" M60/150	DB48-"LONDON STONE" DB49-"SLIPPER SATIN" M60/150			
B30	CORRIDOR	REF. INTERIOR SCHEDULE	"ARCHIVE" M60/110	"SLIPPER SATIN" M60/110	"SLIPPER SATIN" M60/110	"LONDON STONE" M60/150	"LONDON STONE" M60/150	"LONDON STONE" M60/150	"LONDON STONE" M60/150	"LONDON STONE" M60/150	"LONDON STONE" M60/150	"LONDON STONE" M60/150		
B31	STORE	REF. INTERIOR SCHEDULE	"SLIPPER SATIN" M60/110	"SLIPPER SATIN" M60/110	"SLIPPER SATIN" M60/110	"SLIPPER SATIN" M60/150	"SLIPPER SATIN" M60/150	"SLIPPER SATIN" M60/150	"SLIPPER SATIN" M60/150	"SLIPPER SATIN" M60/150	"SLIPPER SATIN" M60/150			
B32	DRY STORE	REF. INTERIOR SCHEDULE	"ARCHIVE" M60/110	"SLIPPER SATIN" M60/110	"SLIPPER SATIN" M60/110	"LONDON STONE" M60/150	"LONDON STONE" M60/150	"LONDON STONE" M60/150	"LONDON STONE" M60/150	"LONDON STONE" M60/150	"LONDON STONE" M60/150	"LONDON STONE" M60/150		
B33	FREEZER ROOM	REF. INTERIOR SCHEDULE	"ARCHIVE" M60/110	"SLIPPER SATIN" M60/110	"SLIPPER SATIN" M60/110	"LONDON STONE" M60/150	"LONDON STONE" M60/150	"LONDON STONE" M60/150	"LONDON STONE" M60/150	"LONDON STONE" M60/150	"LONDON STONE" M60/150	"LONDON STONE" M60/150		
B34	OUTDOOR STORE/LINEN	REF. INTERIOR SCHEDULE	NA	"OFF-WHITE" M60/110	NA	NA	NA	NA	GREEN TO MATCH ESTATE COLOUR	NA	NA			
B35	WC	REF. INTERIOR SCHEDULE	"ARCHIVE" M60/110	"SLIPPER SATIN" M60/110	"SLIPPER SATIN" M60/110	"LONDON STONE" M60/150	"LONDON STONE" M60/150	"LONDON STONE" M60/150	"LONDON STONE" M60/150	"LONDON STONE" M60/150	"LONDON STONE" M60/150			
B36	CUPBOARD	REF. INTERIOR SCHEDULE	"SLIPPER SATIN" M60/110	"SLIPPER SATIN" M60/110	"SLIPPER SATIN" M60/110	"SLIPPER SATIN" M60/150	"SLIPPER SATIN" M60/150	"SLIPPER SATIN" M60/150	"SLIPPER SATIN" M60/150	"SLIPPER SATIN" M60/150	"SLIPPER SATIN" M60/150			
B37	STORE	REF. INTERIOR SCHEDULE	"SLIPPER SATIN" M60/110	"SLIPPER SATIN" M60/110	"SLIPPER SATIN" M60/110	"SLIPPER SATIN" M60/150	"SLIPPER SATIN" M60/150	"SLIPPER SATIN" M60/150	"SLIPPER SATIN" M60/150	"SLIPPER SATIN" M60/150	"SLIPPER SATIN" M60/150			
B38	STORE	REF. INTERIOR SCHEDULE	"ARCHIVE" M60/110	"SLIPPER SATIN" M60/110	"SLIPPER SATIN" M60/110	"LONDON STONE" M60/150	"LONDON STONE" M60/150	NA	"LONDON STONE" M60/150	"LONDON STONE" M60/150	"LONDON STONE" M60/150	"LONDON STONE" M60/150		
B39	DINING ROOM 1	REF. INTERIOR SCHEDULE	"ARCHIVE" M60/110	"SLIPPER SATIN" M60/110	"SLIPPER SATIN" M60/110	"LONDON STONE" M60/150	"LONDON STONE" M60/150	"BLACK GLOSS" M60/132	"LONDON STONE" M60/150	"LONDON STONE" M60/150	"LONDON STONE" M60/150	"LONDON STONE" M60/150		
B40	OLD BOILER ROOM	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA			
B41	FUEL STORE	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA			
B42	BOOT ROOM	REF. INTERIOR SCHEDULE	"ARCHIVE" M60/110	"SLIPPER SATIN" M60/110	"SLIPPER SATIN" M60/110	"LONDON STONE" M60/150	"LONDON STONE" M60/150	"LONDON STONE" M60/150	"LONDON STONE" M60/150	"LONDON STONE" M60/150	"LONDON STONE" M60/150	"LONDON STONE" M60/150	"LONDON STONE" M60/150	
B43	RYING/LAUNDRY ROOM	REF. INTERIOR SCHEDULE	REF. INTERIOR SCHEDULE	"SLIPPER SATIN" M60/110	"SLIPPER SATIN" M60/110	"LONDON STONE" M60/150	"LONDON STONE" M60/150	"LONDON STONE" M60/150	"LONDON STONE" M60/150	"LONDON STONE" M60/150	"LONDON STONE" M60/150	"LONDON STONE" M60/150	"LONDON STONE" M60/150	
B44	EXTERNAL COVERED CORRIDOR	REF. INTERIOR SCHEDULE	REF. INTERIOR SCHEDULE	"SLIPPER SATIN" M60/110	"SLIPPER SATIN" M60/110	NA	NA	NA	GREEN TO MATCH ESTATE COLOUR	NA	NA			
B45	LOBBY	TBC FOLLOWING ASBESTOS WORKS	"ARCHIVE" M60/110	"SLIPPER SATIN" M60/110	"SLIPPER SATIN" M60/110	"LONDON STONE" M60/150	"LONDON STONE" M60/150	"LONDON STONE" M60/150	"LONDON STONE" M60/150	"LONDON STONE" M60/150	"LONDON STONE" M60/150	"LONDON STONE" M60/150		
B46	COMMS	TBC FOLLOWING ASBESTOS WORKS	"ARCHIVE" M60/110	"SLIPPER SATIN" M60/110	"SLIPPER SATIN" M60/110	"LONDON STONE" M60/150	"LONDON STONE" M60/150	"LONDON STONE" M60/150	"LONDON STONE" M60/150	"LONDON STONE" M60/150	"LONDON STONE" M60/150	"LONDON STONE" M60/150		
B47	CORRIDOR	TBC FOLLOWING ASBESTOS WORKS	"ARCHIVE" M60/111	"SLIPPER SATIN" M60/110	"SLIPPER SATIN" M60/110	"LONDON STONE" M60/150	"LONDON STONE" M60/150	"LONDON STONE" M60/150	"LONDON STONE" M60/150	"LONDON STONE" M60/150	"LONDON STONE" M60/150	"LONDON STONE" M60/150		

Room No.	Description	GENERAL					JOINERY						METALWORK	Notes
		Floors	Walls	Ceilings	Cornice/Ribs	Skirting	Architraves	Window	Doors	Panelling	Shelving	Fireplace	Balusters	
B43	LOBBY (KITCHEN)	TBC FOLLOWING ASBESTOS WORKS	"ARCHIVE" M60/112	"SLIPPER SATIN" M60/110	"SLIPPER SATIN" M60/110	"LONDON STONE" M60/150	"LONDON STONE" M60/150	"LONDON STONE" M60/150	"LONDON STONE" M60/150	"LONDON STONE" M60/150	"LONDON STONE" M60/150			
B49	SPIRAL STAIR	REF. INTERIOR SCHEDULE	"OFF-WHITE" M60/110	"OFF-WHITE" M60/110	"SLIPPER SATIN" M60/110	AS FLOOR	NATURAL YELLOW PINE / OAK M60/164	BLACK GLOSS M60/132	NATURAL YELLOW PINE / OAK M60/164					

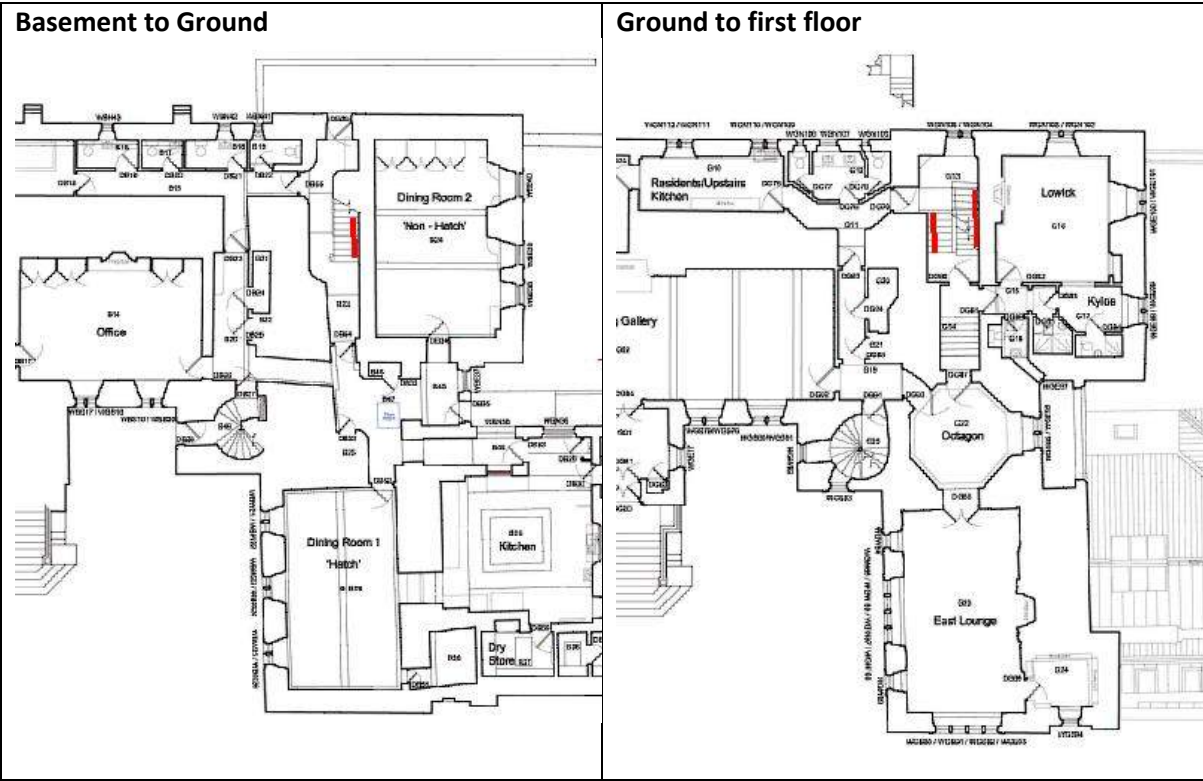
Unless stated otherwise all colours are to be colour matched to Farrow & Ball colour references.

## APPENDIX 5

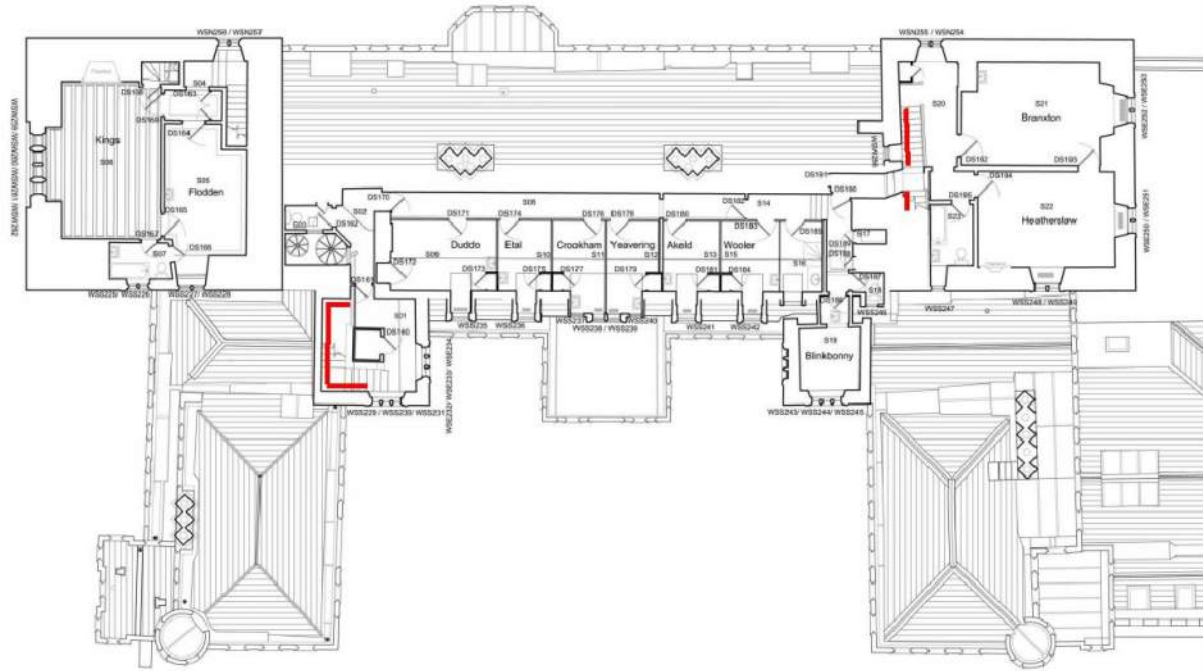
### Handrail Plates

(1) Ford Castle (NHLE 1371004) – Location of handrail interventions

Stair 3 ascending from the basement floor to the ground floor



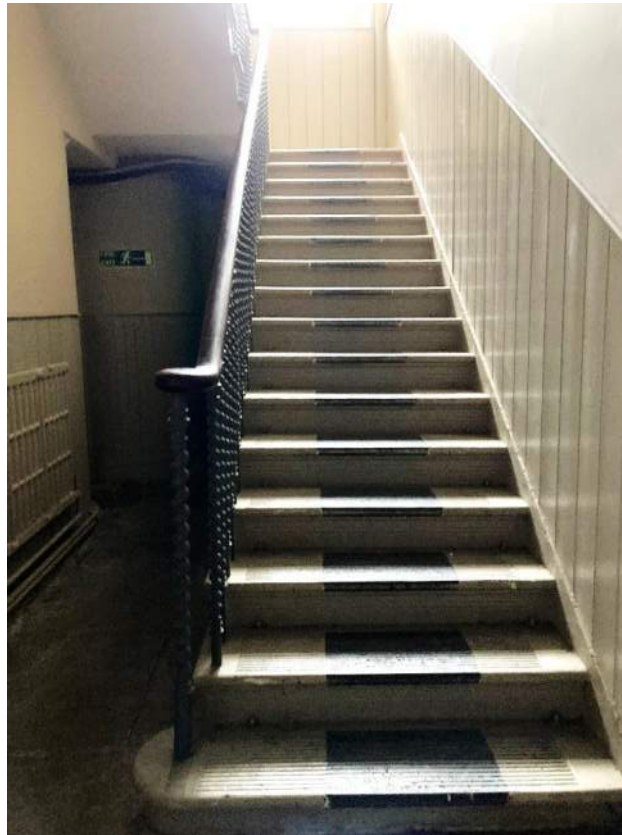
West Stair and Stair S20



**(1) Ford Castle (1371004) Stair 3**

**'Significance' and (date) as per Conservation Plan Final Draft (2012/2013)**

Stairwell 'moderate' (1862). Walls 'moderate' (west wall 1862, east wall not known)



**(1) Ford Castle (1371004) West Stair**

**'Significance' and (date) as per Conservation Plan Final Draft (2012/2013)**

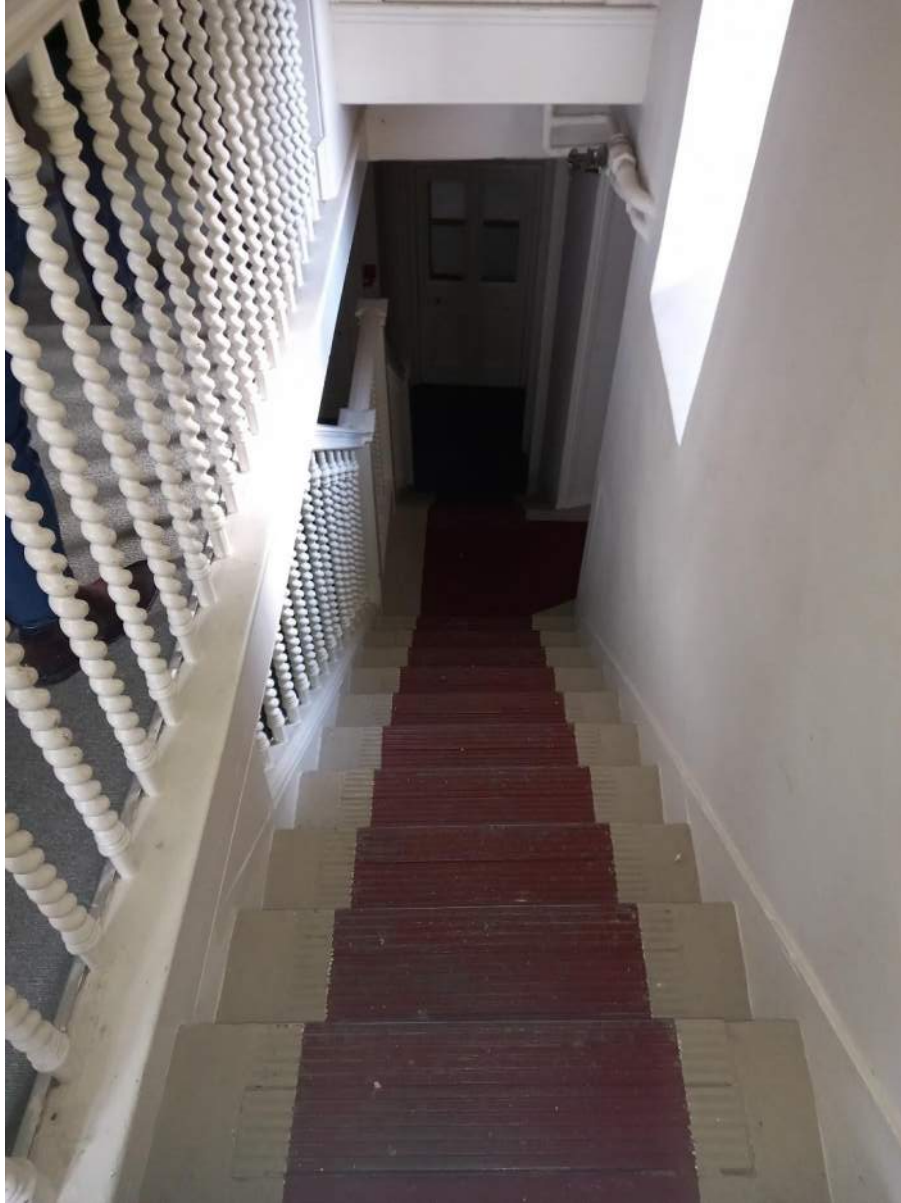
Stairwell -'considerable' (refurbed early twentieth century 'Joicey'). Walls (Tudor)- 'moderate' except 'considerable' to window elevation



**(1) Ford Castle (1371004) Stair S20**

**'Significance' and (date) as per Conservation Plan Final Draft (2012/2013)**

Stairwell 'moderate' (1862). External wall uncertain from the Conservation Plan, potentially includes medieval fabric.

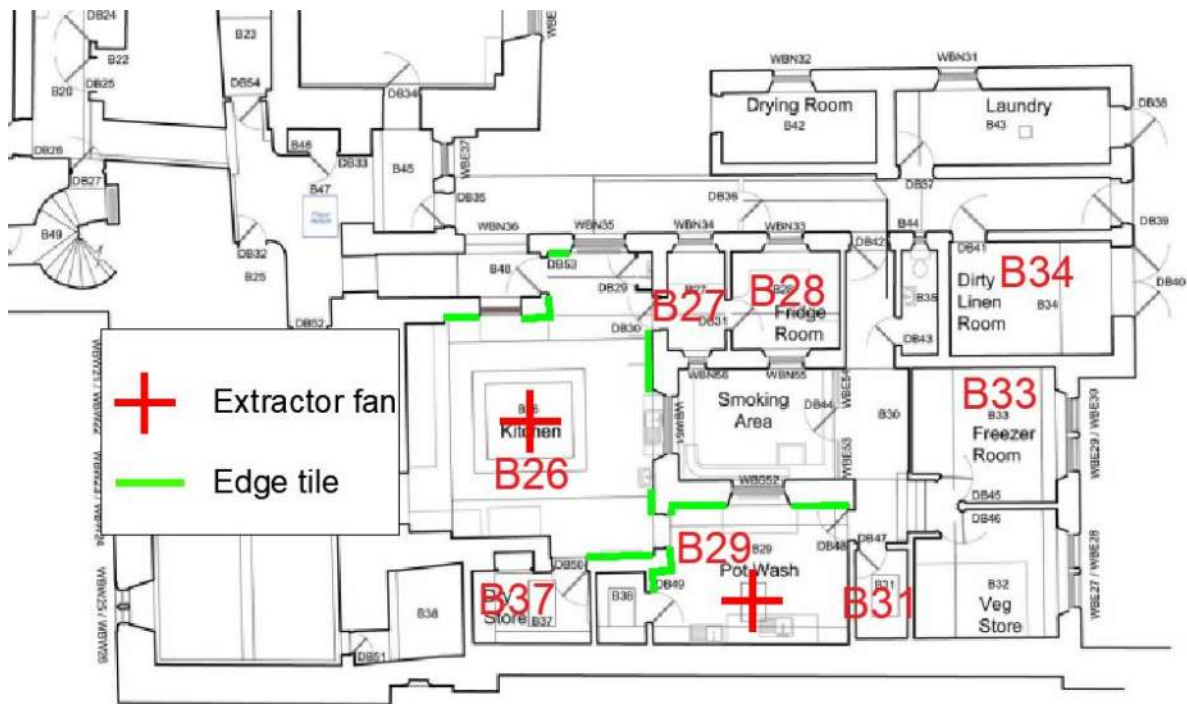


## APPENDIX 6

### Kitchen Plates



**(2) Ford Castle North Forecourt Wall and Gateway with Laundry and Service Wing (NHLE 1042186) – Location of Main Kitchen Space (B26)**



Plates 1 and 2: General shots of B26

**Plates 3-4: General shots of B26**



**Plate 5: Floor of B26 to be subject to gully works Plate 6: Edge tile**



Plates 7-10: General shots of B29

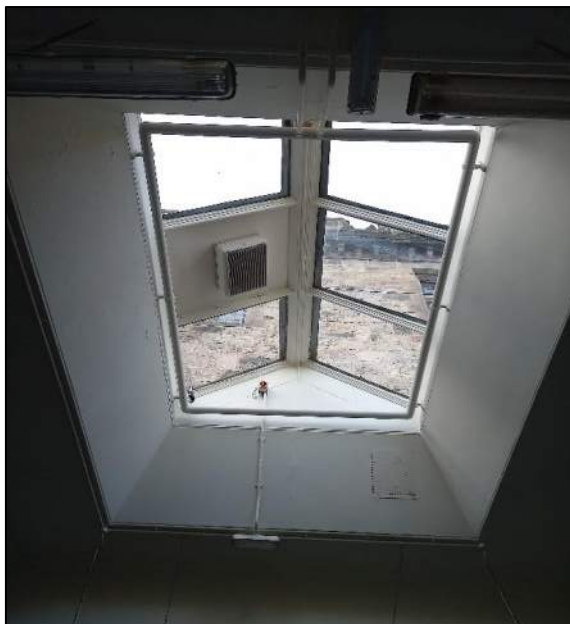
Plate 11: number not used



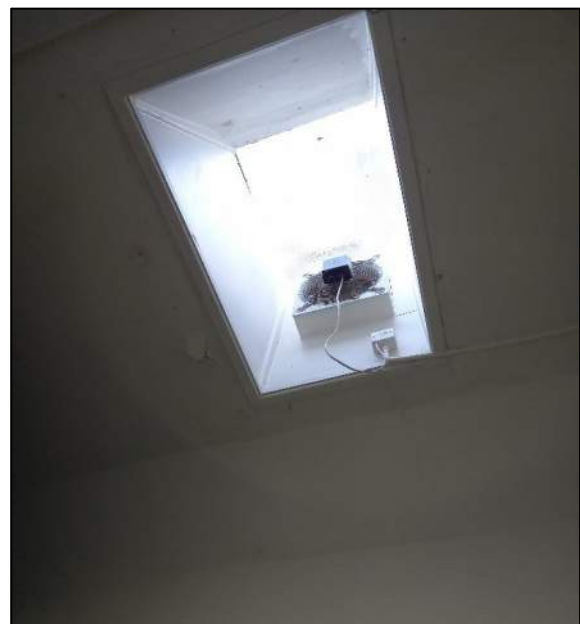
**Plate 12: Service yard to east of B26 showing sink drainage under sash window (proposed for removal)**



**Plate 13: Service yard showing concrete finish and the extant grease trap to bottom LHS of frame**



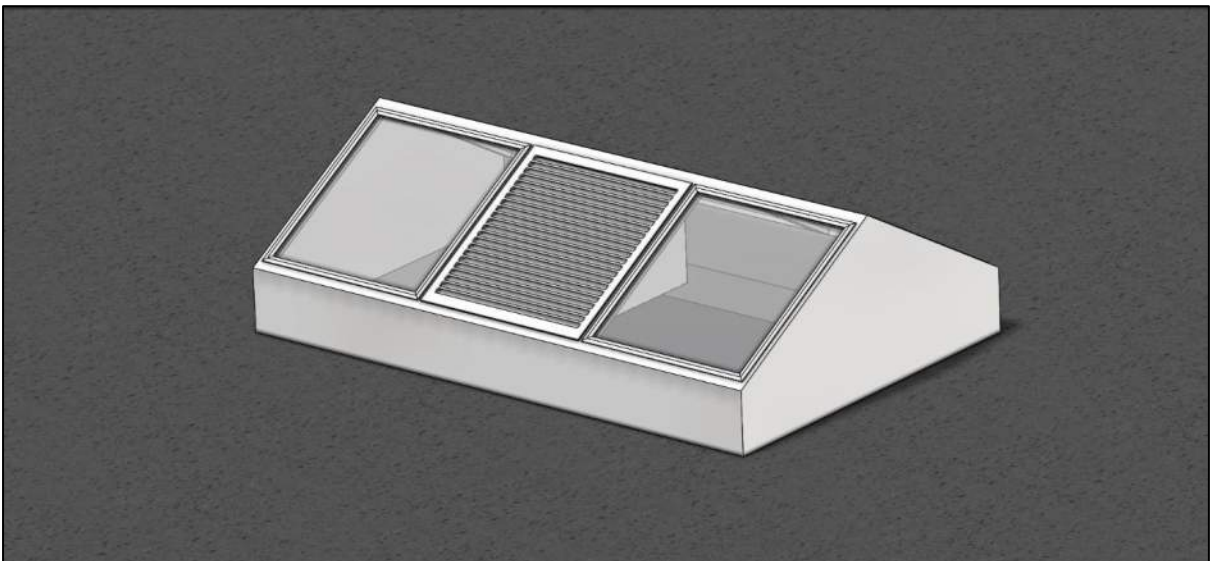
**Plate 14: B26: Existing roof light and extractor fan**



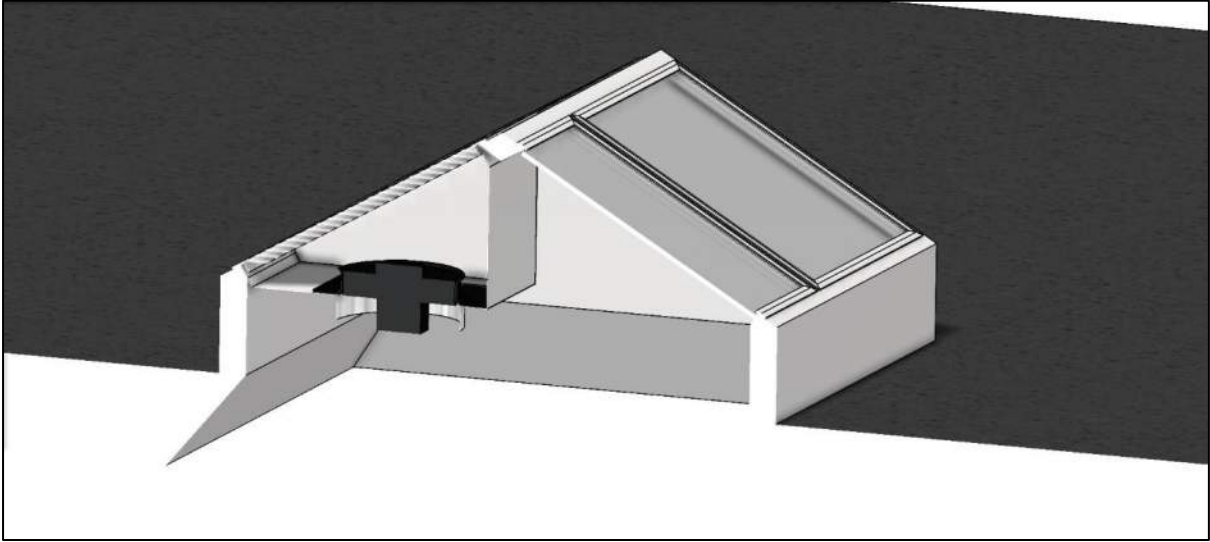
**Plate 15: B29: Existing roof light and extractor fan**



**Plate 16: Extant external appearance of skylights in B26 and B29. B26 to front of frame and B29 to upper left-hand corner of the frame**



**Plate 17: Illustrative exterior appearance**



**Plate 18: Illustrative housing to interior**



**Plate 19 and 20: B28 shelving to be removed**



Plate 21: Shelving and sink in B31



Plate 22: Shelving in B33



Plate 23: Shelving B37



Plate 24: Shelving B27



**Plate 25: Step into B29 from corridor to east**



**Plate 26: Proposed area for freestanding freezers, power required.**





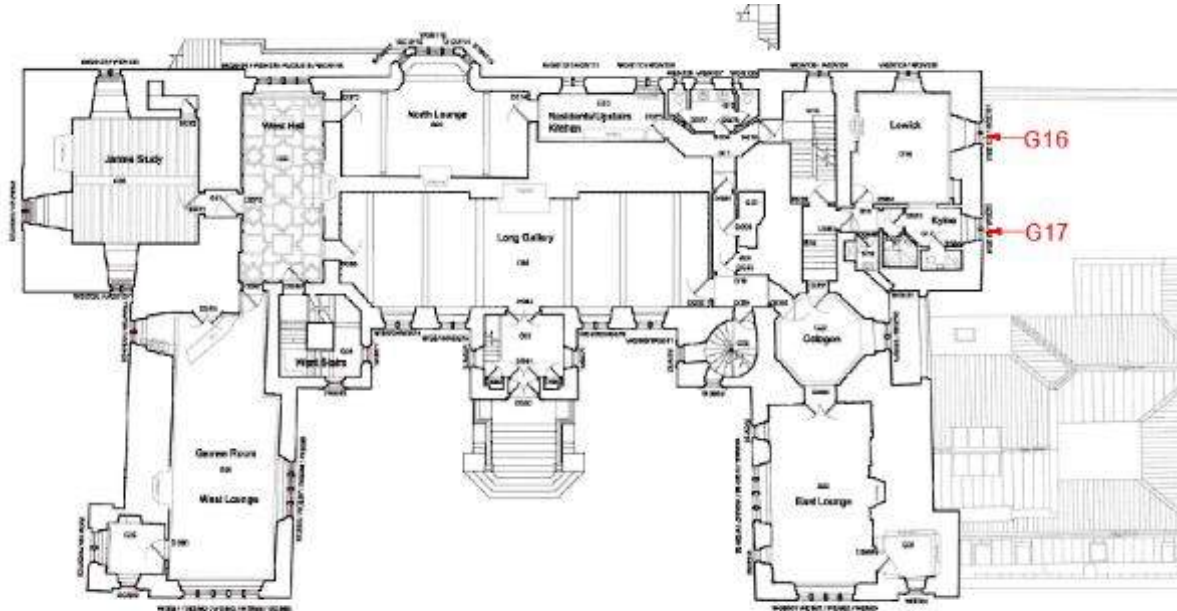
**Plate 27: Refrigerators in B32 – to be preserved**

## APPENDIX 7

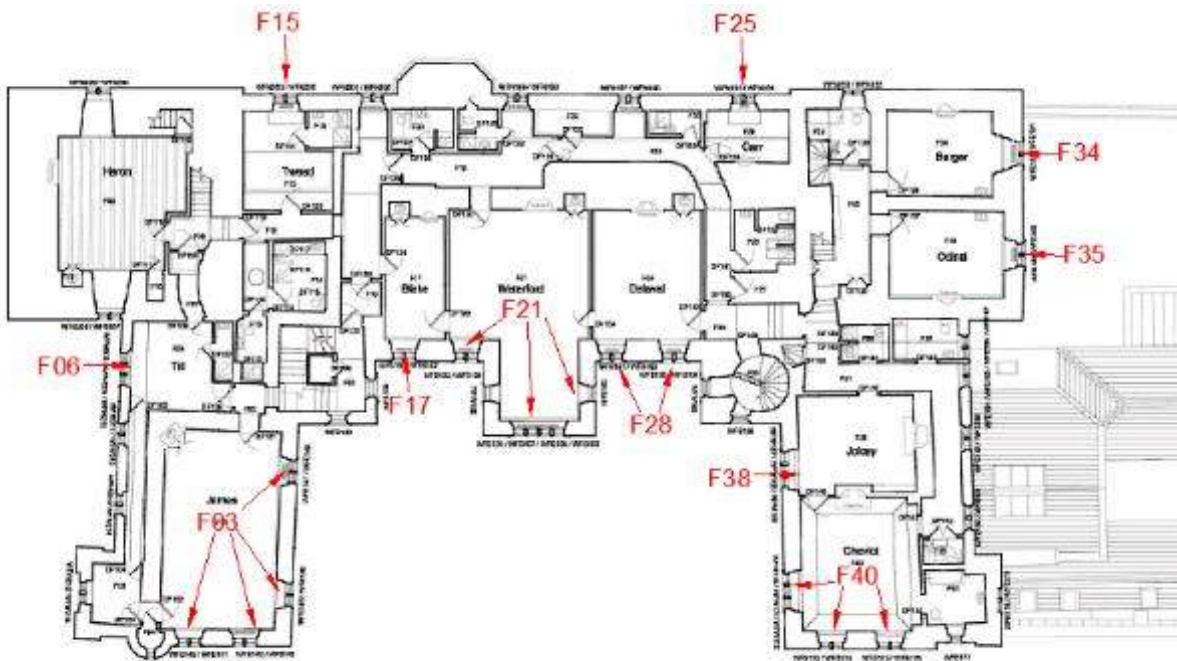
### Curtain Plates

**Curtain Fixtures Gazetteer (1) Ford Castle (1371004) and (3) East Gateway, East Forecourt Wall and Handyman's Cottage (1154087)**

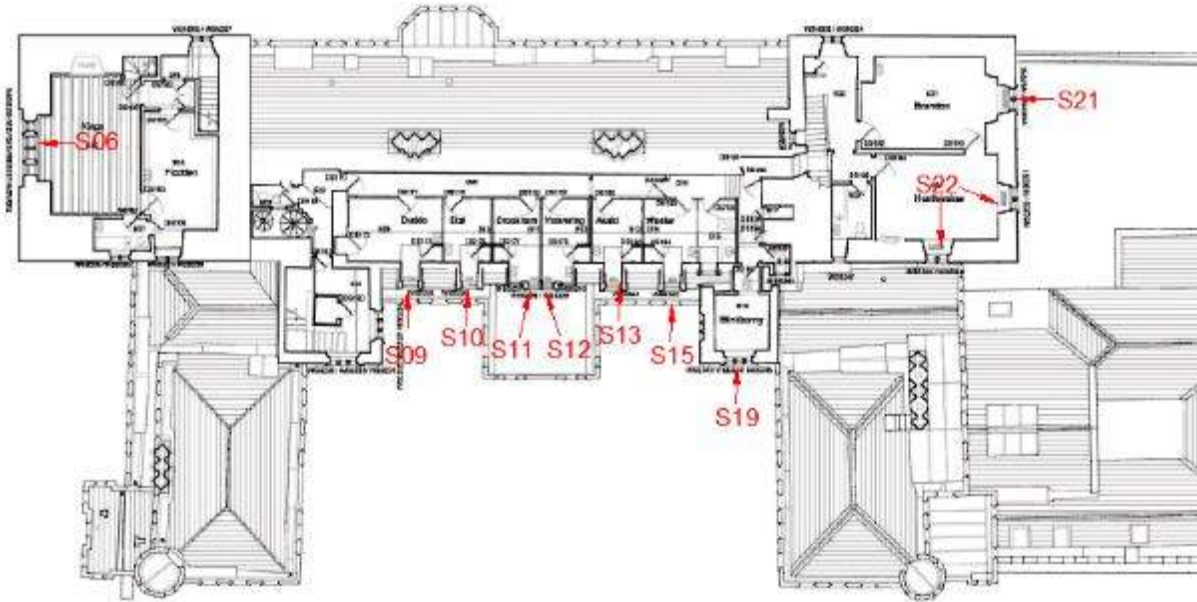
**(1) Ford Castle (1371004) Ground Floor Curtain Fixtures Proposed for Renewal**



**(1) Ford Castle (1371004) First Floor Curtain Fixtures Proposed for Renewal**

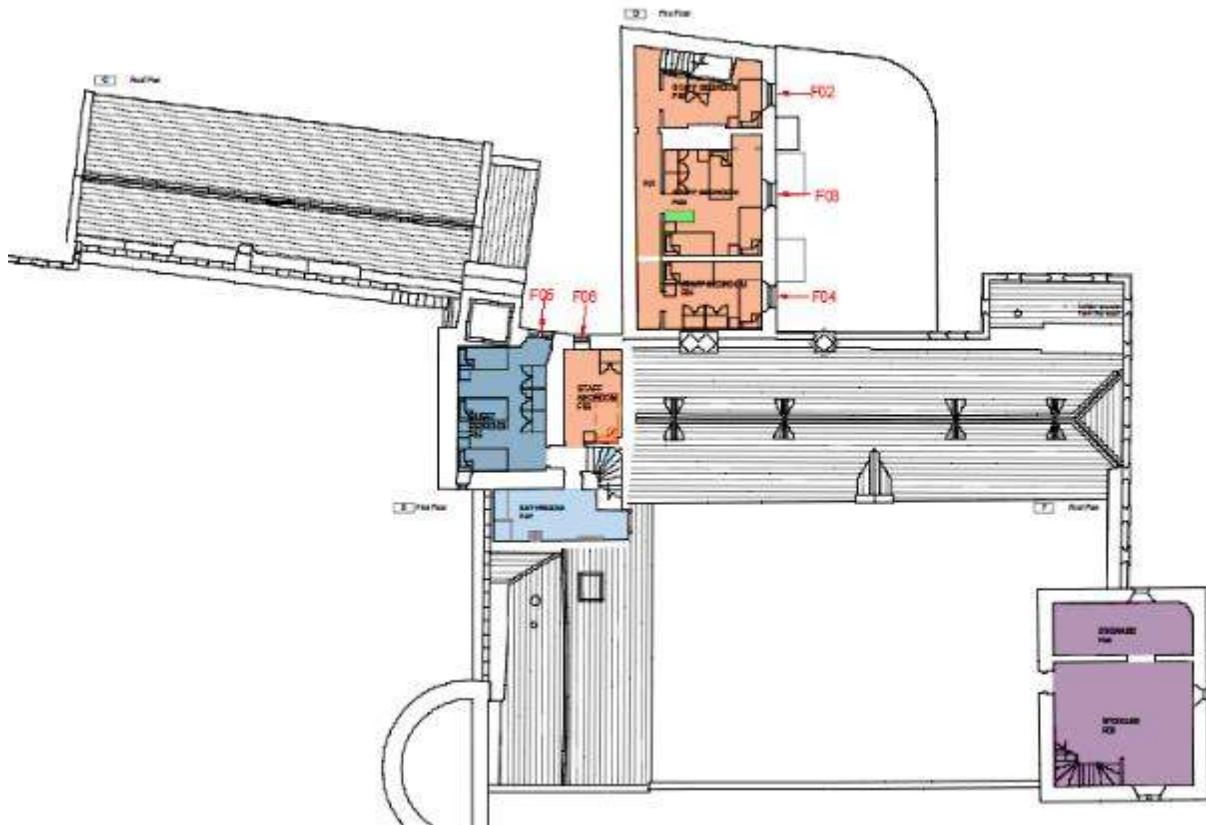


**(1) Ford Castle (1371004) Second Floor Curtain Fixtures Proposed for Renewal**



**(3) East Gateway, East Forecourt Wall and Handyman's Cottage (1154087) Ground Floor Curtain Fixtures Proposed for Renewal**





**(1) Ford Castle (1371004) Lowick G16**

<b>'Significance' and (date) as per Conservation Plan Final Draft (2012/2013)</b>	<b>Masonry around window '1862' (considerable)</b>
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One window. There are currently no curtain fixtures. Fixings are proposed in accordance with those in the Blake and Waterford rooms. This would comprise the fixing of a bracket (painted white to match window) to the external of the timbered reveal to hold a wooden board (painted white to match window) for the addition of curtain fixtures (black metal matt). This would prevent any damage to the masonry around the window and assist in presenting a uniform approach across the building.



<b>(1) Ford Castle (1371004) G17 Kyloe</b>	
<b>'Significance' and (date) as per Conservation Plan Final Draft (2012/2013)</b>	<b>Masonry around window '1862' (considerable)</b>

One window. No extant fittings. Fixings are proposed in accordance with those in the Blake and Waterford rooms. This would comprise the fixing of a bracket (painted white to match window) to the external of the timbered reveal to hold a wooden board (painted white to match window) for the addition of curtain fixtures (black metal matt). This would prevent any damage to the masonry around the window and assist in presenting a uniform approach across the building.





**(1) Ford Castle (1371004) F09 Heron**

<b>'Significance' and (date) as per Conservation Plan Final Draft (2012/2013)*</b> <b>*reclassified using elevation phasing</b>	<b>Masonry around window eighteenth century gothic (considerable)</b>
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Two windows present with the same curtain fixtures. Poles currently held on metal brackets fixed to wooden board addition above window opening. Wooden addition to be retained and used for fixing of new curtains on retained pole or new matt black metal pole. No new fixtures to masonry proposed.



<b>(1) Ford Castle (1371004) F03 James</b>	
<b>'Significance' and (date) as per Conservation Plan Final Draft (2012/2013)</b>	<b>Masonry around window '1862' (considerable)</b>
Four windows present with the same curtain fixtures. A metal bracket fixed to the architrave around the window holds a wooden frame housing the curtain fixtures to the surround of all four windows. Any new fittings will utilise the extant addition. No new fixtures to the timbered reveal or the architrave or the masonry. Matt black metal pole proposed.	



<b>(1) Ford Castle (1371004) F06 Till</b>	
<b>'Significance' and (date) as per Conservation Plan Final Draft (2012/2013)</b>	<b>Masonry around window '1862' (considerable)</b>
One window. Plastic rail attached to ceiling. Plastic railing will be removed and replaced with a matt black metal pole fixed to the wall.	



<b>(1) Ford Castle (1371004) F15 Tweed</b>	
<b>'Significance' and (date) as per Conservation Plan Final Draft (2012/2013)</b>	<b>Masonry around window '1862' (considerable)</b>
Metal pole attached to architrave of window. Extant fixing to the architrave to be left in situ and re-used to prevent any additional impact to the window. Pole retained or replaced with new matt black pole.	



<b>(1) Ford Castle (1371004) F17: Blake</b>	
<b>'Significance' and (date) as per Conservation Plan Final Draft (2012/2013)</b>	<b>Masonry around window '1862' (considerable)</b>
One window present with same curtain fixtures as F21 (Waterford). A metal bracket has been fixed to the architrave around the window. This supports a wooden board which sits between the top of the window frame and the corning. No photograph – see F21. Any new fixtures will be fixed to this addition. No new fixtures to timbered reveal, the window architrave or the masonry.	

<b>(1) Ford Castle (1371004) F21: Waterford</b>	
<b>'Significance' and (date) as per Conservation Plan Final Draft (2012/2013)</b>	<b>Masonry around window '1862'/'Joicey' (considerable)</b>
Four windows present, the largest being the 'Joicey' phase. A metal bracket has been fixed to the architrave around the window. This supports a wooden board which sits between the top of the window frame and the cornicing. This board provides the platform for curtain fixings. Any new fittings (matt black metal pole) will be fixed to this addition. No new fixtures to timbered reveal, the window architrave or the masonry.	



<b>(1) Ford Castle (1371004) F25 Carr</b>	
<b>'Significance' and (date) as per Conservation Plan Final Draft (2012/2013)</b>	<b>Masonry around window '1862' (considerable)</b>
See extant intervention at F15 which new fixings here should replicate.	



**(1) Ford Castle (1371004) F28 Delaval**


**'Significance' and (date) as per Conservation Plan Final Draft (2012/2013)**

**Masonry around window '1862' (considerable)**

Two windows present with the same curtain fixtures. A metal bracket fixed to the architrave around the window holds a wooden frame housing the curtain fixtures to the surround of both windows. Any new fixtures (matt black metal) will utilise this addition. No new fixtures to timbered reveal, window architrave or masonry.





<b>(1) Ford Castle (1371004) F38 Joicey</b>	
<b>'Significance' and (date) as per Conservation Plan Final Draft (2012/2013)</b>	<b>Masonry around window 'Joicey' (considerable)</b>
One window present. Poles currently held on metal brackets fixed to wooden board addition above window opening. Wooden addition to be retained and used for fixing of new curtains. No new fixtures to masonry proposed. Pole retained or replaced with new matt black metal pole.	
	


**(1) Ford Castle (1371004) F40 Cheviot**

<b>'Significance' and (date) as per Conservation Plan Final Draft (2012/2013)</b>	<b>Masonry around window '1862' (considerable)</b>
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Three windows present with same curtain fixtures. Same as Heron. Poles currently held on metal brackets fixed to wooden board addition above window opening. Wooden addition to be retained and used for fixing of new curtains. No new fixtures to the masonry. Pole retained or replaced with new matt black metal pole.



<b>(1) Ford Castle (1371004) F34 Berger</b>	
<b>'Significance' and (date) as per Conservation Plan Final Draft (2012/2013)</b>	<b>Masonry around window '1862' (considerable)</b>
Plastic fittings beneath the picture rail should be removed and replaced with metal brackets between the beading of the timber reveal and the picture rail. Fittings to be matt black metal.	
	

<b>(1) Ford Castle (1371004) F35 Odinel</b>	
<b>'Significance' and (date) as per Conservation Plan Final Draft (2012/2013)</b>	<b>Masonry around window '1862' (considerable)</b>
<p>One window. There are currently no curtain fixtures. Fixings are proposed in accordance with those in the Blake and Waterford rooms. This would comprise the fixing of a bracket (painted white to match window) to the external of the timbered reveal to hold a wooden board (painted white to match window) for the addition of curtain fixtures (black metal matt). This would prevent any damage to the masonry around the window and assist in presenting a uniform approach across the building.</p>	
	



<b>(1) Ford Castle (1371004) S06 Kings</b>	
<b>'Significance' and (date) as per Conservation Plan Final Draft (2012/2013)*</b> <b>*adapted using elevation phasing</b>	<b>Masonry around window 'eighteenth century' (considerable)</b>
One window present. Eighteenth century Gothic. A metal bracket fixed to the wall holds a wooden board to which curtain is fixed. New fixtures would utilise this extant board. There would be no new fixtures to the masonry. Curtain pole will be metal (matt black).	





<b>(1) Ford Castle (1371004) S09 Duddo</b>	
<b>'Significance' and (date) as per Conservation Plan Final Draft (2012/2013)</b>	<b>Masonry around window '1862' (considerable)</b>
Blind fitting attached to ceiling above timbered reveal. Same fitting to be utilised or new fitting (white or black finish) to be hung from the ceiling also, to prevent impact to the wooden reveal/window frame.	



<b>(1) Ford Castle (1371004) S10 Etal</b>	
<b>'Significance' and (date) as per Conservation Plan Final Draft (2012/2013)</b>	<b>Masonry around window '1862' (considerable)</b>
Plastic rail fitted to window reveal. Plastic rail to be removed with new fittings attached from ceiling. White or black finish	
	



<b>(1) Ford Castle (1371004) S11 Crookham</b>	
<b>'Significance' and (date) as per Conservation Plan Final Draft (2012/2013)</b>	<b>Masonry around window 'Joicey' (considerable)</b>
Blind fitting attached to ceiling extending from the window frame. Same fitting to be utilised or new fitting to be hung from the ceiling also. White or black finish	
	

<b>(1) Ford Castle (1371004) S12 Yeavinger</b>	
Blind fitting attached to ceiling extending from the window frame. Same fitting to be utilised or new fitting to be hung from the ceiling also. White or black finish	
<b>'Significance' and (date) as per Conservation Plan Final Draft (2012/2013)</b>	<b>Masonry around window 'Joicey' (considerable)</b>
	

<b>(1) Ford Castle (1371004) S13 Akeld</b>	
<b>'Significance' and (date) as per Conservation Plan Final Draft (2012/2013)</b>	<b>Masonry around window '1862' (considerable)</b>
Blind fitting attached to ceiling above timbered reveal. Same fitting to be utilised or new fitting to be hung from the ceiling also, to prevent impact to the wooden reveal or the general frame of the window. White or black finish	



<b>(1) Ford Castle (1371004) S15 Wooler</b>	
<b>'Significance' and (date) as per Conservation Plan Final Draft (2012/2013)</b>	<b>Masonry around window '1862' (considerable)</b>
Blind fitting attached to ceiling above timbered reveal. Same fitting to be utilised or new fitting to be hung from the ceiling also, to prevent impact to the wooden reveal or the general frame of the window. White or black finish	





**(1) Ford Castle (1371004) S19 Blinkbonny**

<b>'Significance' and (date) as per Conservation Plan Final Draft (2012/2013)</b>	<b>Masonry around window '1862' (considerable)</b>
---	--

The two windows present have two extant interventions. These include a blind fitting attached within the top of a timbered reveal and a plastic rail fitted onto the decorative architrave of the window. It is anticipated that the proposals will either utilise the extant blind fitting (with a black or white finish) or fixings are proposed in accordance with those in the Blake and Waterford rooms. This would comprise the fixing of a bracket (painted white to match window) to the external of the timbered reveal to hold a wooden board (painted white to match window) for the addition of curtain fixtures (black metal matt). This would prevent any damage to the masonry around the window and assist in presenting a uniform approach across the building.



<b>(1) Ford Castle (1371004) S22 Heatherslaw</b>	
<b>'Significance' and (date) as per Conservation Plan Final Draft (2012/2013)</b>	<b>Masonry around window '1862' (considerable)</b>
<p>Two windows are present with the same fixtures. These comprise plastic rails fitted into the top of the window frame inside the timbered reveal. These would be removed and new fixings added in accordance with those in the Blake and Waterford rooms. This would comprise the fixing of a painted bracket (to match timber) to the architrave of the timbered reveal to hold a painted wooden board (to match reveal) for the addition of curtain fixtures – black metal matt. This would remove any infringement that the current arrangement has on the appreciation of the window within its timbered reveal and prevent any damage to the masonry around the window.</p>	
	

**(1) Ford Castle (1371004) S21 Branxton**

**'Significance' and (date) as per Conservation  
Plan Final Draft (2012/2013)**

**Masonry around window '1862' (considerable)**

One window present with the same fixtures as S22 Heatherslaw. These comprise plastic rails fitted into the top of the window frame inside the timbered reveal. These would be removed and new fixings added in accordance with those in the Blake and Waterford rooms. This would comprise the fixing of a painted bracket (to match timber) to the architrave of the timbered reveal to hold a painted wooden board (to match reveal) for the addition of curtain fixtures – black metal matt. This would remove any infringement that the current arrangement has on the appreciation of the window within its timbered reveal and prevent any damage to the masonry around the window.



**(3) East Gateway, East Forecourt Wall And Handyman's Cottage (1154087) G09**

Significance of the timber inserts is neutral. The significance of the masonry would be considerable/moderate on the basis of Victorian date (stable opening). The significance of the fabric around the casement window is considerable/moderate on the basis of a Victorian date and gothic character (in accordance with Victorian dated windows in the Castle). On courtyard elevation a metal pole is attached to modern timber insertions. New fixtures to utilise timber insertion and avoid physical impact to masonry. On southern elevation a wooden baton has been fixed to the masonry above the window. This will be utilised for any new fixtures. There would be no further impact to the masonry





**(3) East Gateway, East Forecourt Wall And Handyman's Cottage (1154087) G12**

Significance of the timber inserts is neutral. The significance of the masonry would be considerable on the basis of Victorian date (stable opening). Metal runner attached to modern timber insertions. New fixtures to utilise timber insertion and avoid physical impact to masonry.



**(3) East Gateway, East Forecourt Wall And Handyman's Cottage (1154087) G17**

Significance of the timber inserts is neutral. The significance of the masonry would be considerable on the basis of Victorian date (stable opening). Metal runner attached to modern timber insertions. New fixtures to utilise timber insertion and avoid physical impact to masonry



**(3) East Gateway, East Forecourt Wall And Handyman's Cottage (1154087) F05 (Handyman's Cottage)**

The window and the fabric around it are anticipated to be of moderate significance. Victorian sashes. Metal curtain pole attached by metal bracket to window surround. New fixtures to utilise this bracket. No new fixtures to window or masonry.



**(3) East Gateway, East Forecourt Wall And Handyman's Cottage (1154087) F06 Handyman's Cottage**

The window and the fabric around it are anticipated to be of moderate significance. Victorian. No fixtures present. New fittings will comprise metal brackets into the masonry avoiding the timberwork around the window.



**(3) East Gateway, East Forecourt Wall And Handyman's Cottage (1154087) Curtilage block lower ground: x**

The window and the fabric around it are anticipated to be of moderate significance. Victorian sliding sash (six over six). No fixtures currently present. New metal or wooden fixtures proposed to fix to masonry outside of window reveal, avoiding window frame.



**(3) East Gateway, East Forecourt Wall And Handyman's Cottage (1154087) Curtilage block bedrooms– upper floor F02 F03, F04**

The window and the fabric around it are anticipated to be of moderate significance. Victorian sliding sashes (six over six). Any extant fittings (plastic) will be removed. New fittings will comprise metal or wooden poles and brackets fitting to walls.



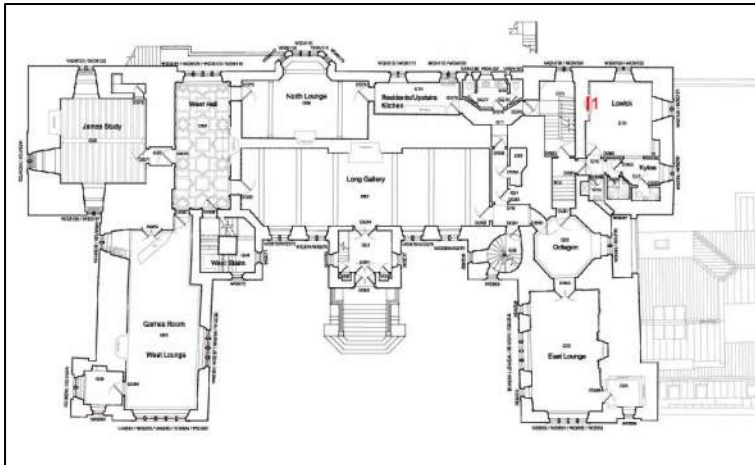
## APPENDIX 8

### Fireplace Plates

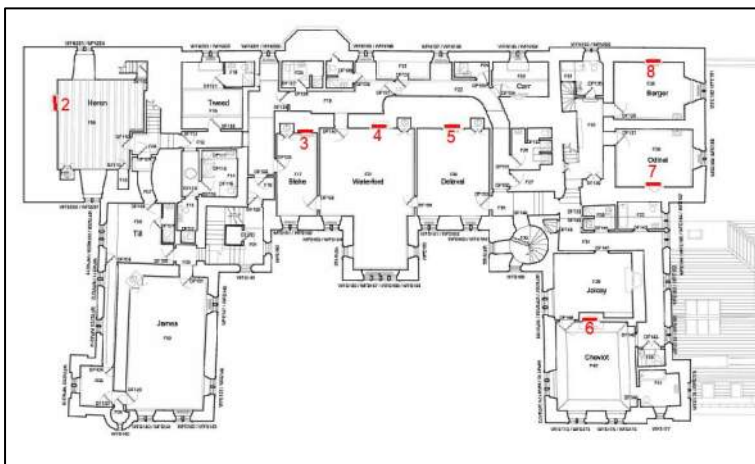
### Fireplaces Gazetteer

This list includes fireplaces within Ford Castle (NHLE 1371004) which are located within proposed children’s bedrooms and where it is proposed that fireplaces are boxed in or otherwise protected with a reversible solution. This would conserve the significance of each fireplace through protection from accidental damage over the period of which PGL Travel Ltd intend to lease Ford Castle.

#### Ground Floor Locations

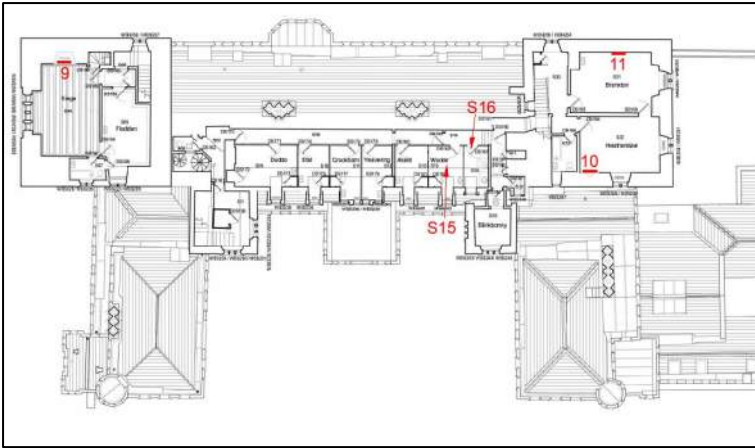


#### First Floor Locations



#### Second Floor Locations





**1: Room G16 (Lowick). Nineteenth century associated with Lady Waterford**



**2: Room F09 (Heron). Sixteenth/seventeenth century**



**3: Room F17 (Blake). Likely nineteenth century**



**4: Room F21 (Waterford). Sixteenth/seventeenth century**



**5: Room F28 (Deleval) - Nineteenth century associated with Lady Waterford**



**6: Room F40 (Cheviot). Sixteenth/seventeenth century**



**7: Room F35 (Ordinel). Nineteenth century associated with Lady Waterford**



**8: Room F34 (Berger). Nineteenth century associated with Lady Waterford**



**9: Room SO6 (Kings). Sixteenth/seventeenth century**



**10: Room S22 (Heatherslaw). Nineteenth century**



**11: Room S21 (Branxton). Nineteenth century**



**N.B: Room F03 (James): Fireplace already blocked**



## APPENDIX 9

### Existing Bedroom Door Signage



### Various Bedroom Signage Currently Affixed to Doors



## EUROPEAN OFFICES

### United Kingdom

#### AYLESBURY

T: +44 (0)1844 337380

#### BELFAST

belfast@slrconsulting.com

#### BRADFORD-ON-AVON

T: +44 (0)1225 309400

#### BRISTOL

T: +44 (0)117 906 4280

#### CARDIFF

T: +44 (0)29 2049 1010

#### CHELMSFORD

T: +44 (0)1245 392170

#### EDINBURGH

T: +44 (0)131 335 6830

#### EXETER

T: + 44 (0)1392 490152

#### GLASGOW

T: +44 (0)141 353 5037

#### GUILDFORD

T: +44 (0)1483 889800

#### LONDON

T: +44 (0)203 805 6418

#### MAIDSTONE

T: +44 (0)1622 609242

#### MANCHESTER (Media City)

T: +44 (0)161 872 7564

#### NEWCASTLE UPON TYNE

T: +44 (0)191 261 1966

#### NOTTINGHAM

T: +44 (0)115 964 7280

#### SHEFFIELD

T: +44 (0)114 245 5153

#### SHREWSBURY

T: +44 (0)1743 23 9250

#### STIRLING

T: +44 (0)1786 239900

#### WORCESTER

T: +44 (0)1905 751310

### France

#### GRENOBLE

T: +33 (0)6 23 37 14 14

### Ireland

#### DUBLIN

T: + 353 (0)1 296 4667