
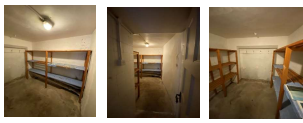










Ford Castle - PGL
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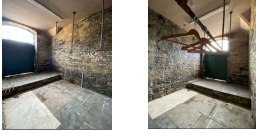



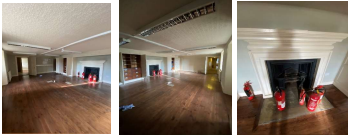


Room No. & Proposed Use	Item	Scope of Works	Images	Comments
LISTED BUILDING APPLICATION SCOPE OF WORKS - BASEMENT - MAIN CASTLE				
B43 Laundry Room	Walls	Northern, Eastern and part of southern walls to be plastered with damp resistant plaster in preparation for hygienic wall panelling. Plaster to match existing fabric. Existing timber wall panelling on southern wall to be retained and redecorated. Plaster to match existing fabric. - Please refer to appendix 4, for paint specification.		
	Floors	No works to floor. Stone remains exposed.		
	Ceilings	Existing plastered suspended ceiling to be painted - Please refer to appendix 4, for paint specification.		
	Windows	Paneling to be decorated. No works to windows		
	Internal Doors	No works.		
	Wash Handbasin	Existing basin in corner of room retained		
	Lighting	All light fittings to be replaced and upgraded with new LED type fittings. Light fitting type to be sympathetic in design to the character of the building.		
	Emergency Lighting	new light fittings required to replace existing		
	Electrical	Existing power to be relocated, only if necessary. Laundry room layout TBC.		
	Heating	Existing drying room radiator to be retained		
B42 Store	No works proposed in this area.			
B44 Corridor	No works proposed in this area.			
B45 Corridor	No works proposed in this area.			
B47 / B48 Corridor	Walls	Re-paint to match existing where necessary. Tiled and paneling to walls retained. - Please refer to appendix 4, for paint specification.		
	Floors	No works to floor. Stone remains exposed. Skirting missing from kitchen to area outside of external door. Timber skirting to match existing to be installed.		
	Ceilings	Existing grid suspended ceiling, tiles to be replaced where necessary to match existing - Please refer to appendix 4, for paint specification.		
	Windows	Internal window W019, replace cracked glass to match existing		
	Internal Doors	Door leading out from Kitchen currently hanging off hinge. New hinge to replace and to match existing. No works to door.		
	Lighting	All light fittings to be replaced and upgraded with new LED type fittings. Light fitting type to be sympathetic in design to the character of the building.		
	Emergency Lighting	new light fittings required to replace existing		
	Heating	tbc following condition survey		
Signage	New Tritium self-illuminated fire escape / exit signage to be installed over doorways in direction of escape.			No escape signage present. Illuminated escape signage required to identify means of escape in the event of power failure. This will bring the building up to today's standards and improve occupants safety. Image example of escape signage.
B23 East Stair Basement Level	Carpet runner to be laid on stair to prevent damage to existing floor boards.			
B39 Dining Room	Walls	Repair walls and skirting on a like for like basis where necessary and redecorate to match existing - Please refer to appendix 4, for paint specification.		
	Floors	No works proposed		
	Ceilings	No works proposed		
	Windows	No works proposed		
	Internal Doors	No works proposed		
	Lighting	All light fittings to be replaced and upgraded with new LED type fittings. Light fitting type to be sympathetic in design to the character of the building.		
	Emergency Lighting	new light fittings required to replace existing		

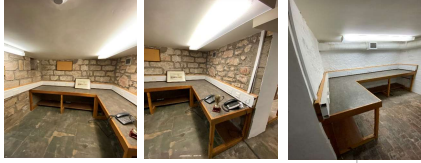


	Electrical	New power required at low level to Eastern and Southern elevation on walls. Route of power TBC. Existing sockets to be utilised where possible		Power required for serving equipment. See proposed kitchen plan for details.
	Heating	Radiators retained		
B38 Pantry	Walls	Repair / re-plaster walls on a like for like basis in preparation for new decoration. Plaster to match existing fabric. - Please refer to appendix 4, for paint specification.		
	Floors	Retain existing floor - no works		
	Cellings	Make good and redecorate - Please refer to appendix 4, for paint specification.		
	Internal Doors	Refurbish door and frame and redecorate to match existing		
	Fit-out	New free standing racking / shelving to be erected. Refer to kitchen plan		
	Lighting	All light fittings to be replaced and upgraded with new LED type fittings. Light fitting type to be sympathetic in design to the character of the building.		
	B26 Kitchen	Walls	150 x 150 white tiles to be removed. Hygenic wall panelling to be adhered back to wall with suitable adhesive. Feature tiling to top of tiled wall, retained. - Please refer to appendix 4, for paint specification.	
Floors		Existing vinyl floor covering removed down to existing tiles. Vinyl floor replaced with new PGL standard floor vinyl specification. New covered skirting to be installed. New floor gullies required in kitchen to connect into existing drain. Routes TBC, construction beneath currently unknown. See sketch for details		
Cellings		Re-paint to match existing - Please refer to appendix 4, for paint specification.		
Windows		Window frames to be re-furbished on a like for like basis and decorated to match existing		
Internal Doors		Retained		
Fit-out		All existing surfaces, cabinets, shelving and sinks etc to be removed.		
Lighting		All light fittings to be replaced and upgraded with new LED type fittings. Light fitting type to be sympathetic in design to the character of the building. Layout to suit proposed kitchen layout.		
Emergency Lighting		New emergency lighting required to replace existing		
Electrical		New power required to suit proposed kitchen layout		
Heating		Radiators to be retained (subject to condition survey)		
Electrical	to be agreed			
Mechanical	New extract required. Extract to utilise existing roof light in centre of kitchen. Extract size to be dictated by existing glass opening sizes.		Existing rooflight used to prevent works to existing roof. See details provided for further clarification. Extract must not project above parapet wall to principle elevation.	
B27 Kitchen	Walls	Redecoration as necessary to match existing		
	Floors	Existing vinyl floor covering removed down to existing tiles. Vinyl floor replaced with new PGL standard floor vinyl specification. Timber skirting retained - Please refer to appendix 4, for paint specification.		
	Cellings	No works proposed		
	Windows	No works proposed		
	Internal Doors	No works proposed		
	Fit-out	Remove existing unit below window and re-instate panelling to match existing window panelling and decorate		
	Lighting	All light fittings to be replaced and upgraded with new LED type fittings. Light fitting type to be sympathetic in design to the character of the building. Layout to suit proposed kitchen layout.		
Emergency Lighting	New emergency lighting required to replace existing			
Electrical	tbc following condition survey			

	Heating	no heating observed in this room			
828 Catering Managers Office	Walls	New damp proof plaster on walls to repair, in prep to receive new paint / decoration. Colour of walls TBC by PGL. Plaster to match existing fabric. - Please refer to appendix 4, for paint specification.			
	Floors	Existing vinyl floor covering removed down to existing tiles. Vinyl floor replaced with new PGL standard floor vinyl specification. Timber skirting retained. Where skirting is missing, provide new to match existing			
	Ceilings	No works proposed			
	Windows	No works proposed			
	Internal Doors	Refurbish door and redecorate to match existing			
	Fit-out	Remove existing shelving to perimeter of room including leg supports. Make good to walls where shelving is removed. Restore existing panelling around windows to match existing.		Removing shelving will allow this space to be used effectively and allows flexibility.	
	Lighting	All light fittings to be replaced and upgraded with new LED type fittings. Light fitting type to be sympathetic in design to the character of the building. Layout to suit proposed kitchen layout.			
	Emergency Lighting	New emergency lighting required to replace existing			
	Electrical	New sockets to be installed as required. Dado rail trunking to be installed			
	Heating	tbc following condition survey			
837 Cold Room	Walls	No works proposed			
	Floors	Existing vinyl floor covering removed down to existing tiles. Vinyl floor replaced with new PGL standard floor vinyl specification. Timber skirting retained. Where skirting is missing, provide new to match existing			
	Ceilings	No works proposed			
	Internal Doors	No works proposed			
	Fit-out	Room cleared (removal of existing shelves) in preparation for new cold room installation. Cold room built in-situ. Route for condenser pipework to be agreed			
	Lighting	All light fittings to be replaced and upgraded with new LED type fittings. Light fitting type to be sympathetic in design to the character of the building. Layout to suit proposed kitchen layout.			
	Emergency Lighting	New emergency lighting required to replace existing			
Electrical	tbc following condition survey				
Heating	Radiator retained but either disconnected or isolated				
829 Glasswash	Walls	150 x 150 white tiles to be removed. Hygenic wall panelling to be adhered back to wall with suitable adhesive. 'Feature' tiling to top of tiled wall, retained. - Please refer to appendix 4, for paint specification.			
	Floors	Existing vinyl floor covering removed down to existing tiles. Vinyl floor replaced with new PGL standard floor vinyl specification. New coved skirting to be installed. A new ramp is to be formed in concrete prior to laying floor, to remove stepped access from corridor (B30).			
	Ceilings	Re-paint to match existing - Please refer to appendix 4, for paint specification.			
	Windows	Retained. No works proposed.			
	Internal Doors	Retained. No works proposed.			
	Removals	All existing stainless steel surfaces, sinks etc to be removed			
	Lighting	All light fittings to be replaced and upgraded with new LED type fittings. Light fitting type to be sympathetic in design to the character of the building. Layout to suit proposed kitchen layout.			
	Emergency Lighting	New emergency lighting required to replace existing			
	Electrical	New power required to suit proposed glasswash layout			
	Mechanical	New mechanical extract fitting through existing roof light opening. See details of extract provided.		Existing rooflight used to prevent works to existing roof. See details provided for further clarification.	
Heating	Radiators retained (tbc following condition survey)				
836 Dry Store	Walls	Retain tiling.			
	Floors	Existing vinyl floor covering removed down to existing tiles. Vinyl floor replaced with new PGL standard floor vinyl specification. New coved skirting to be installed.			
	Ceilings	No works proposed			
	Fit-out	New free standing racking / shelving to be erected			
	Internal Doors	No works proposed			
	Lighting	All light fittings to be replaced and upgraded with new LED type fittings. Light fitting type to be sympathetic in design to the character of the building. Layout to suit proposed kitchen layout.			

	Emergency Lighting	New emergency lighting required to replace existing			
	Heating	non observed in room			
B30 Corridor	Walls	Re-paint to match existing. New damp resistant plaster required to damaged walls before receiving paint. Plaster to match existing Fabric. Please refer to appendix 4, for paint specification.			
	Floors	Existing vinyl floor covering removed down to existing tiles. Vinyl floor replaced with new PGL standard floor vinyl specification. Timber skirting retained. Where skirting is missing, provide new to match existing			
	Ceilings	Re-paint to match existing - Please refer to appendix 4, for paint specification.			
	Windows	No works proposed			
	Internal Doors	No works proposed			
	Lighting	All light fittings to be replaced and upgraded with new LED type fittings. Light fitting type to be sympathetic in design to the character of the building. Layout to suit proposed kitchen layout.			
	Emergency Lighting	New emergency lighting required to replace existing			
	Heating	tbc following condition survey			
B31 Coshh Store	Walls	Walls below existing sink to be made good and all walls to be repainted to match existing. - Please refer to appendix 4, for paint specification.			
	Floors	Existing vinyl floor covering removed down to existing tiles. Vinyl floor replaced with new PGL standard floor vinyl specification. Timber skirting retained. Where skirting is missing, provide new to match existing			
	Ceilings	Re-paint to match existing - Please refer to appendix 4, for paint specification.			
	Internal Doors	No works proposed			
	Fit-out	Remove existing shelving to perimeter of room, remove sink and existing taps to replace all with new, as per kitchen layout.		Redundant sink, pipework etc removed for better use of space. Sink can be stored safely on site.	
	Sanitaryware	Existing sink removed, labelled, documented and stored on site. Existing lead pipework to be removed. Extent of pipework in roof to be removed TBC.			
Lighting	All light fittings to be replaced and upgraded with new LED type fittings. Light fitting type to be sympathetic in design to the character of the building. Layout to suit proposed kitchen layout.				
Emergency Lighting	New emergency lighting required to replace existing				
B32 Existing Fridge / Freezer Room			No works proposed in this area.		
					
					
B33 Staff Changing	Walls	Re-paint to match existing. - Please refer to appendix 4, for paint specification.			
	Floors	Existing vinyl floor covering removed and floor to be made good. Vinyl floor replaced with new PGL standard floor vinyl specification. Timber skirting retained. Where skirting is missing, provide new to match existing			
	Ceilings	Re-paint to match existing - Please refer to appendix 4, for paint specification.			
	Internal Doors	No works proposed			
	Fit-out	Remove shelving, make good to walls. Retain stone supports to shelving.			
	Lighting	All light fittings to be replaced and upgraded with new LED type fittings. Light fitting type to be sympathetic in design to the character of the building. Layout to suit proposed kitchen layout.			
	Emergency Lighting	New emergency lighting required to replace existing			
Electrical	New sockets to be installed as required. Dado rail trunking to be installed				
	Walls	Please refer to Certificate of Lawful Development scope of works.			
	Floors	Please refer to Certificate of Lawful Development scope of works.			
	Ceilings	Please refer to Certificate of Lawful Development scope of works.			
	Internal Doors	Please refer to Certificate of Lawful Development scope of works.			

B35 Toilet	Sanitaryware	Please refer to Certificate of Lawful Development scope of works.			
	Lighting	All light fittings to be replaced and upgraded with new LED type fittings. Light fitting type to be sympathetic in design to the character of the building. Layout to suit proposed kitchen layout.			
	Emergency Lighting	New emergency lighting required to replace existing			
	Electrical	Please refer to Certificate of Lawful Development scope of works.			
B34 Freezer Room	Walls	No works proposed			
	Floors	No works proposed			
	Ceilings	Existing plastered ceiling retained and painted. Plaster to match existing fabric.			
	Internal Doors	Existing door retained but held open to allow for new freezer room door. Existing hooks mounted to wall to be removed to side of wall affected by the door being held open.			
	Fit-out	New freezer to be installed in-situ, freestanding with no fixings into floor.			
	Lighting	No works proposed. Lights provided within freezer			
B24 Dining Room	Electrical	Electrics fed down from existing plaster ceiling to unit. Route of cabling to run within ceiling voids.			
	Walls	Repair walls where necessary and redecorate to match existing. - Please refer to appendix 4, for paint specification.			
	Floors	Existing vinyl floor covering removed down to existing tiles. Vinyl floor replaced with new PGL standard floor vinyl specification. Timber skirting retained. Where skirting is missing, provide new to match existing			
	Ceilings	No works proposed			
	Windows	Repair panelling around window on a like for like basis and redecorate to match existing.			
	Internal Doors	Redecorate door to match existing			
	Lighting	Retain existing pendant lights			
	Fit-out	Retain existing cupboards housing mains power. New locks to be fitted to cupboard doors to secure doors and preventing access by children.		Doors required to be lockable to prevent unauthorised access.	
	Signage	Fire escape signage required			
	Emergency Lighting	New Tritium self-illuminated fire escape / exit signage to be installed over doorways in direction of escape.			No escape signage present. Illuminated escape signage required to identify means of escape in the event of power failure. This will bring the building up to today's standards and improve occupants safety. Image example of escape signage.
B23 Corridor to staircase	Electrical	New power required at low level to Western elevation on wall between windows.			
	Heating	Radiators retained and housings re-instated to match existing			
	Floor	Existing exposed timber floorboards to receive carpet finish			Carpet proposed to protect timber floor boards from damage from luggage
B14 Dining Room	Walls	Handrail to be installed on outside of staircase. Handrail to be formed out of sympathetic such as wood or metal. - Please refer to appendix 4, for paint specification.			Alternative handrail to be installed to discourage use of Art Deco handrail
	Signage	New fire escape signage to be installed			
	Walls	Repair walls where necessary and redecorate to match existing. - Please refer to appendix 4, for paint specification.			
	Floors	Existing vinyl floor covering removed down to existing tiles. Vinyl floor replaced with new PGL standard floor vinyl specification. Timber skirting retained. Where skirting is missing, provide new to match existing			
	Ceilings	No works proposed			
	Windows	Repair panelling around window and redecorate to match existing.			
	Internal Doors	Redecorate door to match existing			
	Lighting	All light fittings to be replaced and upgraded with new LED type fittings. Light fitting type to be sympathetic in design to the character of the building. Layout to suit proposed kitchen layout.			
	Fit-out	Retain existing cupboards & fireplace to North elevation. Fireplace left exposed			
	Catering Equipment	New free standing catering equipment to be installed per kitchen layout			
Signage	New Tritium self-illuminated fire escape / exit signage to be installed over doorways in direction of escape.			No escape signage present. Illuminated escape signage required to identify means of escape in the event of power failure. This will bring the building up to today's standards and improve occupants safety. Image example of escape signage.	
Emergency Lighting	New emergency lighting required to replace existing				

	Electrical	New power required at low level to Southern elevation on wall between windows.			
	Heating	Radiators retained and housings re-instated to match existing			
B12 Corridor	Lighting	Replacement emergency lights as required			
	Signage	New Tritium self-illuminated fire escape / exit signage to be installed over doorways in direction of escape.			No escape signage present. Illuminated escape signage required to identify means of escape in the event of power failure. This will bring the building up to todays standards and improve occupants safety. Image example of escape signage.
	Floors & Walls	No works proposed. Retain panelling			
B13 Office	No works proposed in this area.				
B09 Corridor			No works proposed in this area.		
B15 Corridor	No works proposed in this area.				
B20 Corridor	No works proposed in this area.				
B19 Staff Toilet	Walls	Please refer to Certificate of Lawful Development scope of works.			
	Floors	Please refer to Certificate of Lawful Development scope of works.			
	Ceilings	Please refer to Certificate of Lawful Development scope of works.			
	Windows	Please refer to Certificate of Lawful Development scope of works.			
	Internal Doors	Please refer to Certificate of Lawful Development scope of works.			
	Lighting	Please refer to Certificate of Lawful Development scope of works.			
	Fit-out	Existing Toilet retained			Toilet considered to have historic interest. This toilet will be dedicated to staff use, to prevent mis-use by children
B18 Toilet	Walls	Please refer to Certificate of Lawful Development scope of works.			
	Floors	Please refer to Certificate of Lawful Development scope of works.			
	Ceilings	Please refer to Certificate of Lawful Development scope of works.			
	Windows	Please refer to Certificate of Lawful Development scope of works.			
	Internal Doors	Please refer to Certificate of Lawful Development scope of works.			
	Lighting	Please refer to Certificate of Lawful Development scope of works.			
	Fit-out	Please refer to Certificate of Lawful Development scope of works.			
B17 Toilet	Walls	Please refer to Certificate of Lawful Development scope of works.			
	Floors	Please refer to Certificate of Lawful Development scope of works.			
	Ceilings	Please refer to Certificate of Lawful Development scope of works.			
	Windows	Please refer to Certificate of Lawful Development scope of works.			
	Internal Doors	Please refer to Certificate of Lawful Development scope of works.			
	Lighting	Please refer to Certificate of Lawful Development scope of works.			

	Fit-out	Please refer to Certificate of Lawful Development scope of works.			
B16 Toilet	Walls	Please refer to Certificate of Lawful Development scope of works.			
	Floors	Please refer to Certificate of Lawful Development scope of works.			
	Ceilings	Please refer to Certificate of Lawful Development scope of works.			
	Windows	Please refer to Certificate of Lawful Development scope of works.			
	Internal Doors	Please refer to Certificate of Lawful Development scope of works.			
	Lighting	Please refer to Certificate of Lawful Development scope of works.			
	Mechanical Extract	Please refer to Certificate of Lawful Development scope of works.			
	Fit-out	Please refer to Certificate of Lawful Development scope of works.			
B10 Cleaners Store	No works proposed in this area.				
B05 Corridor	Internal Doors	Door DB09 (fire door) not shutting correctly. Door to be reviewed.			
B07 Office	Power & Data	New power and data to be installed utilising existing white plastic trunking. Desks removed and replaced with PGL standard loose furniture.			
	Floors	No works proposed			
	Walls	No works proposed other than re-painting where necessary to match existing - Please refer to appendix 4, for paint specification.			
B08 Office	Power & Data	New power and data to be installed utilising existing white plastic trunking. Desks removed and replaced with PGL standard loose furniture.			
	Floors	No works proposed			
	Walls	No works proposed other than re-painting where necessary to match existing - Please refer to appendix 4, for paint specification.			
B11 Office	Power & Data	New white upvc dado rail to be installed at desktop level with new power and data. Dado to allow flexibility of socket positions with minimal impact to existing external fabric			
	Wash Handbasin	Existing sink retained.			
	Fireplace	Existing fireplace retained and left exposed			
	Floors	No works proposed			
Walls	No works proposed				
B01 Stair (GF level)	No works proposed in this area.				
B06 Store	No works proposed in this area.				
B02 Circulation	No works proposed in this area.				
B03 Store	No works proposed in this area.				
B04 Classroom	No works proposed in this area.				