Ford Castle - PGL Project Number: 2035

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Room No. & Proposed Use	Item	Scope of Works	Images	Comments	
		LISTED BUILDING APPLICATION SCO	OPE OF WORKS - BASEMENT - MAIN CASTLE		
B43	walls	Northern, Eastern and part of southern walls to be plastered with damp resistant plaster in preparation for hygenic wall panelling. Plaster to match existing fabric. Existing timber wall panelling on southern wall to be retained and redecorated. Plaster to match existing fabirc Please refer to appendix 4, for paint specification.			
Laundry Room	Floors	No works to floor. Stone remains exposed.			
Launury Room	Ceilings	Existing plastered suspended ceiling to be painted - Please refer to appendix 4, for paint			
		specification.			
	Windows Internal Doors	Paneling to be decorated. No works to windows No works.			
	Wash Handbasin	Existing basin in corner of room retained			
		All light fittings to be replaced and upgraded with new LED type fittings. Light fitting type			
	Lighting	to be sympathetic in design to the character of the building.			
	Emergency Lighting	new light fittings required to replace existing			
	Electrical	Existing power to be relocated, only if necessary. Laundry room layout TBC.			
	Heating	Existing drying room radiator to be retained			
B42 Store			No works proposed in this area.		
B44 Corridor			No works proposed in this area.		
B45 Corridor			No works proposed in this area.		
	walls	Re-paint to match existing where necessary. Tiled and paneling to walls retained Please refer to appendix 4, for paint specification.			
	Floors	No works to floor. Stone remains exposed. Skirting missing from kitchen to area outside of external door. Timber skirting to match existing to be installed.			
B47 / B48 Corridor	Cellings	Existing grid suspended ceiling, tiles to be replaced where neccesary to match existing - Please refer to appendix 4, for paint specification.			
	Windows	Internal window W019, replace cracked glass to match existing			
	Internal Doors	Door leading out from Kitchen currently hanging off hinge. New hinge to replace and to match existing. No works to door.			
	Lighting	All light fittings to be replaced and upgraded with new LED type fittings. Light fitting type to be sympathetic in design to the character of the building.			
	Emergency Lighting Heating	new light fittings required to replace existing tbc following condition survey			
	Signage	to: Honowing constituent survey New Tritium self-illuminated fire escape / exit signage to be installed over doorways in direction of escape.		No escape signage present, illuminated escape signage required to identify means of escape in the event of power failure. This will bring the building up to todays standards and improve occupants safety. Image example of escape signage.	
B23 East Stair Basement Level	Carpet runner to be laid on stair to prevent damage to existing floor boards.				
	Walls	Repair walls and skirting on a like for like basis where necessary and redecorate to match existing - Please refer to appendix 4, for paint specification.			
	Floors	No works proposed			
	Ceilings	No works proposed			
	Windows	No works proposed			
	Internal Doors	No works proposed			
B39 Dining Room	Lighting	All light fittings to be replaced and upgraded with new LED type fittings. Light fitting type to be sympathetic in design to the character of the building.			
	Emergency Lighting	new light fittings required to replace existing			

	Electrical	New power required at low level to Eastern and Southern elevation on walls. Route of power TBC. Existing sockets to be utilised where possible Radiators retained		Power required for serving equipment. See proposed kitchen plan for details.	
	The state of the s	Table of Technica			
	Walls	Repair / re-plaster walls on a like for like basis in preperation for new decoration. Plaster to match existing fabric Please refer to appendix 4, for paint specification.			
B38	Floors	Retain existing floor - no works			
Pantry	Ceilings	Make good and redecorate - Please refer to appendix 4, for paint specification.			
	Internal Doors				
	internal boots	Refurbish door and frame and redecorate to match existing			
	Fit-out	New free standing racking / shelving to be errected. Refer to kitchen plan			
	Lighting	All light fittings to be replaced and upgraded with new LED type fittings. Light fitting type to be sympathetic in design to the character of the building.			
	Walls	150 x 150 white tiles to be removed. Hygenic wall panelling to be adhered back to wall with suitable adhesive. Teature' tiling to top of tiled wall, retained Please refer to appendix 4, for paint specification.		Hygenic panels provide a better surface for cleaning and therefore improves hygiene. This is a PGL standard	
	Floors	Existing vinyl floor covering removed down to existing tiles. Vinyl floor replaced with new PGL standard floor vinyl specification. New coved skirting to be installed. New floor guildier sequired in kitchen to connect into existing drain. Routes TBC, construction beneath currently unknown. See sketch for details			
	Ceilings	Re-paint to match existing - Please refer to appendix 4, for paint specification.			
	Windows	Window frames to be re-furbished on a like for like basis and decorated to match existing			
	Internal Doors	Retained			
B26	Fit-out	All existing surfaces, cabinets, shelving and sinks etc to be removed.	00-		
Kitchen	Lighting	All light fittings to be replaced and upgraded with new LED type fittings. Light fitting type to be sympathetic in design to the character of the building. Layout to suit proposed kitchen layout.			
	Emergency Lighting	New emergency lighting required to replace existing			
	Electrical	New power required to suit proposed kitchen layout			
	Heating	Radiators to be retained (subject to condition survey)			
	Electrical	to be agreed			
	Mechanical	New extract required. Extract to utilise existing roof light in centre of kitchen. Extract size to be dictated by existing glass opening sizes.		Existing rooflight used to prevent works to existing roof. See details provided for futher clarification. Extract must not project above parpet wall to principle elevation.	
	Walls	Redecoration as necessary to match existing			
	Floors	Existing vinyl floor covering removed down to existing tiles. Vinyl floor replaced with new PGL standard floor vinyl specification. Timber skirting retained - Please refer to appendix 4, for paint specification.			
	Ceilings	No works proposed			
	Windows	No works proposed			
B27 Kitchen	Internal Doors	No works proposed Remove existing unit below window and re-instate paneling to match existing window paneling and decorate			
	Lighting	All light fittings to be replaced and upgraded with new LED type fittings. Light fitting type to be sympathetic in design to the character of the building. Layout to suit proposed kitchen layout.			
	Emergency Lighting	New emergency lighting required to replace existing			
	Electrical	tbc following condition survey			
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	Heating	no heating observed in this room New damp proof plaster on walls to repair, in prep to receive new paint / decoration. Colour of walls TBC by PGL Plaster to match existing fabric Please refer to appendix 4, for paint specification.		
	Floors	Existing vinyl floor covering removed down to existing tiles. Vinyl floor replaced with new PGL standard floor vinyl specification. Timber skirting retained. Where skirting is missing, provide new to match existing		
	Ceilings	No works proposed		
	Windows	No works proposed		
	Internal Doors	Refurbish door and redecorate to match existing		
B28 Catering Managers Office	Fit-out	Remove existing shelving to perimeter of room including leg supports. Make good to walls where shelving is removed. Restore existing paneling around windows to match existing.	Removing shelving will allow this space to be used effectively and allows flexibility.	
	Lighting	All light fittings to be replaced and upgraded with new LED type fittings. Light fitting type to be sympathetic in design to the character of the building. Layout to suit proposed kitchen layout.		
	Emergency Lighting	New emergency lighting required to replace existing		
	Electrical	New sockets to be installed as required. Dado rail trunking to be installed		
	Heating	tbc following condition survey		
	Walls	No works proposed		
	Floors	Existing vinyl floor covering removed down to existing tiles. Vinyl floor replaced with new PGL standard floor vinyl specification. Timber skirting retained. Where skirting is missing, provide new to match existing		
	Ceilings	No works proposed		
	Internal Doors	No works proposed		
837 Cold Room	Fit-out	Room cleared (removal of existing shelves) in preperation for new cold room installation. Cold room built in-situ. Route for condenser pipework to be agreed		
	Lighting	All light fittings to be replaced and upgraded with new LED type fittings. Light fitting type to be sympathetic in design to the character of the building. Layout to suit proposed kitchen layout.		
	Emergency Lighting	New emergency lighting required to replace existing		
	Electrical	tbc following condition survey		
	Heating	Radiator retained but either disconnected or isolated		
	-	150 x 150 white tiles to be removed. Hygenic wall panelling to be adhered back to wall		
	Walls	with suitable adhesive. Feature' tiling to top of tiled wall, retained Please refer to appendix 4, for paint specification.		
	Floors	Existing vinyl floor covering removed down to existing tiles. Vinyl floor replaced with new PGS standard floor vinyl specification. New coved skirling to be installed. A new ramp is to be formed in concrete prior to laying floor, to remove stepped access from corridor (830).		
	Ceilings	Re-paint to match existing - Please refer to appendix 4, for paint specification.		
	Windows Internal Doors	Retained. No works proposed. Retained. No works proposed.		
B29 Glasswash	Removals	All existing stainless steel surfaces, sinks etc to be removed		
		All light fittings to be replaced and upgraded with new LED type fittings. Light fitting type		
	Lighting	to be sympathetic in design to the character of the building. Layout to suit proposed kitchen layout.		
	Emergency Lighting	New emergency lighting required to replace existing		
	Electrical	New power required to suit proposed glasswash layout		
	Mechanical	New mechanical extract fitting through existing roof light opening. See details of extract provided.	Existing rooflight used to prevent works to existing roof. See details provided for futher clarification.	
	Heating	Radiators retained (tbc following conditon survey)		
	Walls	Retain tiling.		
C F		Existing vinyl floor covering removed down to existing tiles. Vinyl floor replaced with new PGL standard floor vinyl specification. New coved skirting to be installed.		
	Ceilings	No works proposed		
	Fit-out Internal Doors	New free standing racking / shelving to be errected No works proposed		
		All light fittings to be replaced and upgraded with new LED type fittings. Light fitting type		
	Lighting	to be sympathetic in design to the character of the building. Layout to suit proposed kitchen layout.		

	Emergency Lighting	New emergency lighting required to replace existing			
	Heating	non observed in room			
	Walis	Re-paint to match existing. New damp resistant plaster required to damaged walls before receiving paint. Plaster to match existing Fabric. Please refer to appendix 4, for paint specification.			
B30 Corridor	Floors	Existing vinyf floor covering removed down to existing tiles. Vinyf floor replaced with new PGG standard floor vinyf specification. Timber skirting retained. Where skirting is missing, provide new to match existing			
	Ceilings	Re-paint to match existing - Please refer to appendix 4, for paint specification.			
	Windows	No works proposed			
	Internal Doors	No works proposed			
	Lighting	All light fittings to be replaced and upgraded with new LED type fittings. Light fitting type to be sympathetic in design to the character of the building. Layout to suit proposed kitchen layout.			
	Emergency Lighting	New emergency lighting required to replace existing			
	Heating	tbc following condition survey			
	Walls	Walls below existing sink to be made good and all walls to be repainted to match existing Please refer to appendix 4, for paint specification.			
	Floors	Existing vinyl floor covering removed down to existing tiles. Vinyl floor replaced with new PGL standard floor vinyl specification. Timber skirting retained. Where skirting is missing, provide new to match existing			
	Ceilings	Re-paint to match existing - Please refer to appendix 4, for paint specification.			
	Internal Doors	No works proposed			
B31 Coshh Store	Fit-out	Remove existing shelving to perimeter of room, remove sink and existing taps to replace all with new, as per kitchen layout.		Redundant sink, pipework etc removed for better use of space. Sink can be stored safely on site.	
	Sanitaryware	Existing sink removed, labelled, documented and stored on site. Existing lead pipework to be removed. Extent of pipework in roof to be removed TBC.			
	Lighting	All light fittings to be replaced and upgraded with new LED type fittings. Light fitting type to be sympathetic in design to the character of the building. Layout to suit proposed kitchen layout.			
	Emergency Lighting	New emergency lighting required to replace existing			
B32 Existing Fridge / Freezer Room			No works proposed in this area.	POBERT BOLY IN PROPERTY OF THE POPULATION OF THE	
	Walls	Re-paint to match existing Please refer to appendix 4, for paint specification. Existing vinyl floor covering removed and floor to be made good. Vinyl floor replaced			
	Floors	with new PGL standard floor vinyl specification. Timber skirting retained. Where skirting is missing, provide new to match existing			
	Ceilings	Re-paint to match existing - Please refer to appendix 4, for paint specification.			

Number of the paper to match existing. - Please refer to appendix 4, for paint specification.

Roos

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Cellings

Repaint to match existing. - Please refer to appendix 4, for paint specification.

Internal Doors

No works proposed

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**Remove shelving, make good to walls. Retain stone supports to shelving.

Lighting

**Remove shelving, make good to walls. Retain stone supports to shelving.

Lighting

**Lighting to be replaced and upgraded with new LEO type fittings. Light fitting type to be sympatratic in design to the character of the building. Liyout to suit proposed attaches layout a fitting to be replaced and upgraded with new LEO type fittings. Light fitting type to be sympatratic in design to the character of the building. Liyout to suit proposed attaches layout a fitting to be replaced and upgraded with new LEO type fittings. Light fitting type to be sympatratic in design to the character of the building. Liyout to suit proposed attaches layout a fitting type to be sympatratic in design to the character of the building. Liyout to suit proposed attaches layout a fitting type to be character of the building. Liyout to suit proposed attaches layout a fitting type to suit proposed attaches layout a fitting type to regard to replace attaining to be installed.

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B35					
Toilet					
Tolice	Sanitaryware	Please refer to Certificate of Lawful Development scope of works.			
		All light fittings to be replaced and upgraded with new LED type fittings. Light fitting type			
	Lighting	to be sympathetic in design to the character of the building. Layout to suit proposed kitchen layout.			
	Emergency Lighting	New emergency lighting required to replace existing			
	Electrical	Please refer to Certificate of Lawful Development scope of works.			
	Walls	No works proposed			
	Floors	No works proposed			
	Ceilings	Existing plastered ceiling retained and painted. Plaster to match existing fabric.			
B34					
Freezer Room					
	Internal Doors	Existing door retained but held open to allow for new freezer room door. Existing hooks mounted to wall to be removed to side of wall affected by the door being held open.			
	Fit-out	New freezer to be installed in-situ, freestanding with no fixings into floor.			
	Lighting				
	-0-4-16	No works proposed. Lights provided within freezer			
	Electrical	Electrics fed down from existing plaster ceiling to unit. Route of cabling to run within ceiling voids.			
	Walls	Repair walls where necessary and redecorate to match existing Please refer to			
	Walls	appendix 4, for paint specification.			
	Floors	Existing vinyl floor covering removed down to existing tiles. Vinyl floor replaced with new PGL standard floor vinyl specification. Timber skirting retained. Where skirting is missing,			
		provide new to match existing			
	Ceilings	No works proposed			
	Windows	Repair panelling around window on a like for like basis and redecorate to match existing.			
	Internal Doors	Redecorate door to match existing			
	Lighting	Retain existing pendant lights			
B24					
Dining Room					
	Fit-out	Retain existing cupboards housing mains power. New locks to be fitted to cupboard		Doors required to be lockable to prevent unauthorised access.	
		doors to secure doors and preventing access by children.			
	Signage	Elea accordo cianosta considerad			
	Signage	Fire escape signage required			
		New Tritium colf Illuminated fire		No escape signage present. Illuminated escape signage required	
	Emergency Lighting	New Tritium self-illuminated fire escape / exit signage to be installed over doorways in direction of escape.		to identify means of escape in the event of power failure. This will bring the building up to todays standards and improve	
				occupants safety. Image example of escape signage.	
	Electrical	New power required at low level to Western elevation on wall between windows.			
	Heating	Radiators ratained and housings to instanted to match order-			
1	Heating	Radiators retained and housings re-instated to match existing		Carnet proposed to protect timber floor hands from de-	
	Floor	Existing exposed timber floorboards to receive carpet finish		Carpet proposed to protect timber floor boards from damage from luggage	
B23	Walls	Handrall to be installed on outside of staircase. Handrall to be formed out of sympathetic		Alternative handrail to be installed to discourge use of Art Deco	
Corridor to staircase		such as wood or metal Please refer to appendix 4, for paint specification.		handrail	
	Signage	New fire escape signage to be installed			
	Walls	Repair walls where necessary and redecorate to match existing Please refer to appendix 4, for paint specification.			
		Existing vinyl floor covering removed down to existing tiles. Vinyl floor replaced with new			
	Floors	PGL standard floor vinyl specification. Timber skirting retained. Where skirting is missing, provide new to match existing			
	Collings	-			
	Ceilings	No works proposed			
	Windows	Repair panelling around window and redecorate to match existing.			
	Internal Doors	Redecorate door to match existing			
	Lighting	All light fittings to be replaced and upgraded with new LED type fittings. Light fitting type to be sympathetic in design to the character of the building. Layout to suit proposed			
		kitchen layout.			
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	F10	L.,			
	Fit-out	Retain existing cupboards & fireplace to North elevation. Fireplace left exposed			
B14					
			THE STATE OF THE S		
Dining Room	Cataring Equipment	New free standing catering equi-	_		
	Catering Equipment	New free standing catering equipment to be installed per kitchen layout			
		New Tables of Blanchest & Co.		No escape signage present. Illuminated escape signage required	
	Signage	New Tritium self-illuminated fire escape / exit signage to be installed over doorways in direction of escape.		to identify means of escape in the event of power failure. This will bring the building up to todays standards and improve	
				occupants safety. Image example of escape signage.	
	Emergency Lighting	New emergency lighting required to replace existing			

	Electrical	New power required at low level to Southern elevation on wall between windows.			
	Heating	Radiators retained and housings re-instated to match existing			
	Lighting	Replacement emergency lights as required			
B12 Corridor	Signage	New Tritium self-illuminated fire escape / exit signage to be installed over doorways in direction of escape.		No escape signage present. Illuminated escape signage required to identify means of escape in the event of power failure. This will bring the building up to todays standards and improve occupants safety. Image example of escape signage.	
	Floors & Walls	No works proposed. Retain paneling			
B13			No works account to this account		
Office			No works proposed in this area.		
809 Carridor			No works proposed in this area.		
B15			No works proposed in this area.		
Corridor					
B20 Corridor			No works proposed in this area.		
	Walls	Please refer to Certificate of Lawful Development scope of works.		Π	
	Floors	Please refer to Certificate of Lawful Development scope of works.			
	Calllana				
	Ceilings	Please refer to Certificate of Lawful Development scope of works.			
	Windows	Please refer to Certificate of Lawful Development scope of works.			
B19	Internal Doors	Please refer to Certificate of Lawful Development scope of works.			
Staff Toilet	Lighting	Please refer to Certificate of Lawful Development scope of works.			
	Fit-out	Existing Tollet retained		Toilet considered to have historic interest. This toilet will be dedicated to staff use, to prevent mis-use by children	
	Walls	Please refer to Certificate of Lawful Development scope of works.			
	Floors	Please refer to Certificate of Lawful Development scope of works.			
	Cellings Windows	Please refer to Certificate of Lawful Development scope of works. Please refer to Certificate of Lawful Development scope of works.			
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B18 Tollet	Internal Doors	Please refer to Certificate of Lawful Development scope of works.			
	U-bal-				
	Lighting	Please refer to Certificate of Lawful Development scope of works.			
	Fit-out	Please refer to Certificate of Lawful Development scope of works.			
	Walls	Please refer to Certificate of Lawful Development scope of works.			
	Floors	Please refer to Certificate of Lawful Development scope of works. Please refer to Certificate of Lawful Development scope of works.			
	Ceilings	Please refer to Certificate of Lawful Development scope of works.			
H	Windows	Please refer to Certificate of Lawful Development scope of works.			
B17	Internal Doors	Please refer to Certificate of Lawful Development scope of works.			
Toilet	Lighting	Please refer to Certificate of Lawful Development scope of works.			
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And Control of Control		Fit-out	Please refer to Certificate of Lawful Development scope of works.			
Annual to a control co		Walls	Please refer to Certificate of Lawful Development scope of works.			
Manufact of control of		Floors	Please refer to Certificate of Lawful Development scope of works.			
The state of the s		Ceilings	Please refer to Certificate of Lawful Development scope of works.			
1979 White the first control of the control of the description of the control of		Windows	Please refer to Certificate of Lawful Development scope of works.			
### Test		Internal Doors	Please refer to Certificate of Lawful Development scope of works.			
The contract contract of the c		Lighting	Please refer to Certificate of Lawful Development scope of works.			
See State of See See See See See See See See See Se		Mechanical Extract	Please refer to Certificate of Lawful Development scope of works.			
Control State Control Stat		Fit-out	Please refer to Certificate of Lawful Development scope of works.			
The State of State The State				No works proposed in this area.		
Control						
PODE 10 to several personnel and registered with PRGL straight follows furnished: PODE 10 to several personnel and the		Internal Doors	Door DB09 (fire door) not shutting correctly. Door to be reviewed.			
No.11 No.12 No		Power & Data	New power and data to be installed utilising existing white plastic trunking. Desks removed and replaced with PGL standard loose furniture.			
More A Clock New York of Clock		Floors	No works proposed			
Power & Duta New York of Duta New York proposed in this area. Power & Duta New York proposed in this area. No works proposed in this area.		Walls	No works proposed other than re-painting where necessary to match existing - Please refer to appendix 4. for paint specification.			
Company Comp		Power & Data	New power and data to be installed utilising existing white plastic trunking. Desks			
Wide Into such a proposed richer has ne printing water necessary to match eaching - Please Power & Data Power & Data Power & Data Res white updated (Se paint expendent) For white updated (Se paint expendent) Wash handbasin Causting oak examed. Exacting pask examed. Forgistee Causting fingular examed and left exposed No works proposed in this area.	B08	Power & Data				
Power & Data Power & Data New white progened in the same of the power and state. Date	Office	Floors				
Wash Handbasin Bill Office Fireplace Custing fireplace retained and left exposed Fistors Walts No works proposed in this area. No works proposed in this area. No works proposed in this area.		Walls	No works proposed other than re-painting where necessary to match existing - Please refer to appendix 4, for paint specification.			
B11 Office Fireglace Existing fireplace retained and left eugosed Ficors No works proposed B01 Stark (of Fierd) B06 Store B02 Circulation B03 Soore No works proposed in this area. No works proposed in this area. No works proposed in this area.		Power & Data	New white upvc dado rail to be installed at decktop level with new power and data. Dado			
Finance Custing fireplace retained and left exposed Filous No works proposed Walls No works proposed No works proposed in this area.	B11	Wash Handbasin	Existing sink retained.			
Walls No works proposed						
B01 Stair (GF level) B06 Store No works proposed in this area.						
Stair (GF level) B06 No works proposed in this area. No works proposed in this area. Circulation No works proposed in this area. No works proposed in this area. No works proposed in this area.	D01		j		1	
Store 802 Circulation No works proposed in this area.				No works proposed in this area.		
No works proposed in this area. 803 Store 804 No works proposed in this area.				No works proposed in this area.		
Store No works proposed in this area. BO4 No works proposed in this area.				No works proposed in this area.		
No works proposed in this area.				No works proposed in this area.		
				No works proposed in this area.		