

TURVILLE HEATH HOUSE

HENLEY-ON-THAMES

RYE

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FULL PLANNING APPLICATION & LISTED BUILDING CONSENT

CART LODGE

DECEMBER 2021

TURVILLE HEATH HOUSE

HENLEY-ON-THAMES

OXFORDSHIRE

RG9 6JY



CONTENT

Full Planning Application & Listed Building Consent - December 2021

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Above: Photograph of existing front facade and front garden of Turville Heath House

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1. EXECUTIVE SUMMARY

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Above:
Photograph looking north across the area adjacent to Turville Heath House, illustrating the existing greenhouse and its relationship to the main house (to the left).

EXECUTIVE SUMMARY & INTRODUCTION

This document sets out design proposals for Planning and Listed Building Consent in the form of a Full Planning Permission and Listed Building Consent application for the construction of a new outbuilding within the demise of Turville Heath House, in the form of a two bay cart lodge. These works are proposed to support the use of the property as a single dwelling by the new owners. This document interrogates the design of the proposed alterations and the methodology for their construction that has been proposed to achieve the most appropriate external appearance.

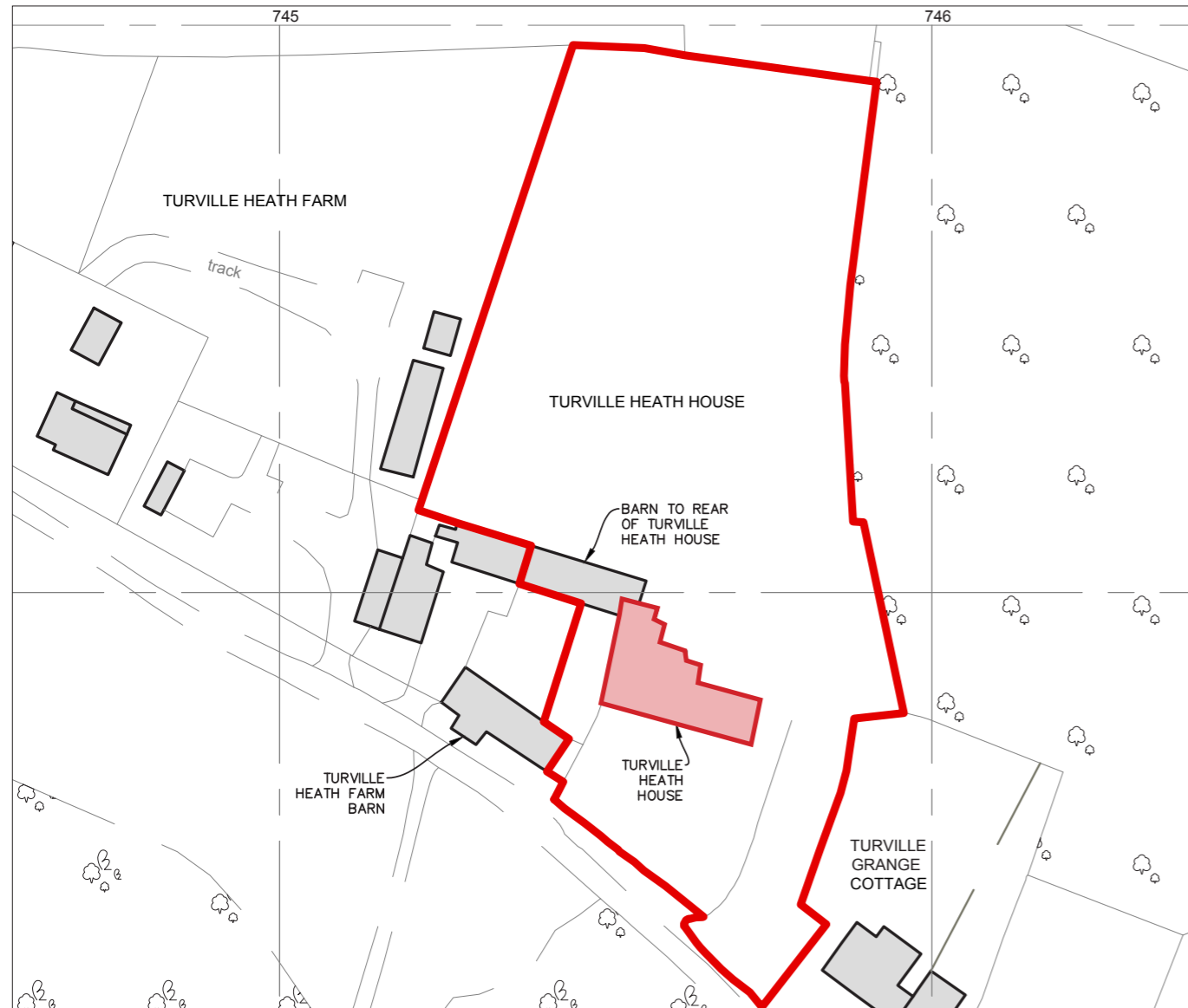
Turville Heath House is a Grade II Listed Building that sits within the Turville Heath Conservation Area. In line with this we have consulted the Conservation Area Character Survey for Turville Heath in our preparation of this document.

This statement provides explanation and justification to the design approach taken and why in our view consent can be granted for the proposed alterations. These proposals seek to remove a modern proprietary greenhouse from the area to the south-west of Turville Heath House and construct a timber framed cart lodge in its place.

Previous consent had been granted for a large timber clad outbuilding in this location in 2019 and it is on this basis that we feel that the construction of the cart lodge would not be contentious given that its scale and materiality is comparable with the previously consented structure.

2. THE SITE

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Above:
Site Plan - Turville Heath House

SITE AND SURROUNDING CONTEXT - ARCHITECTURAL CHARACTER

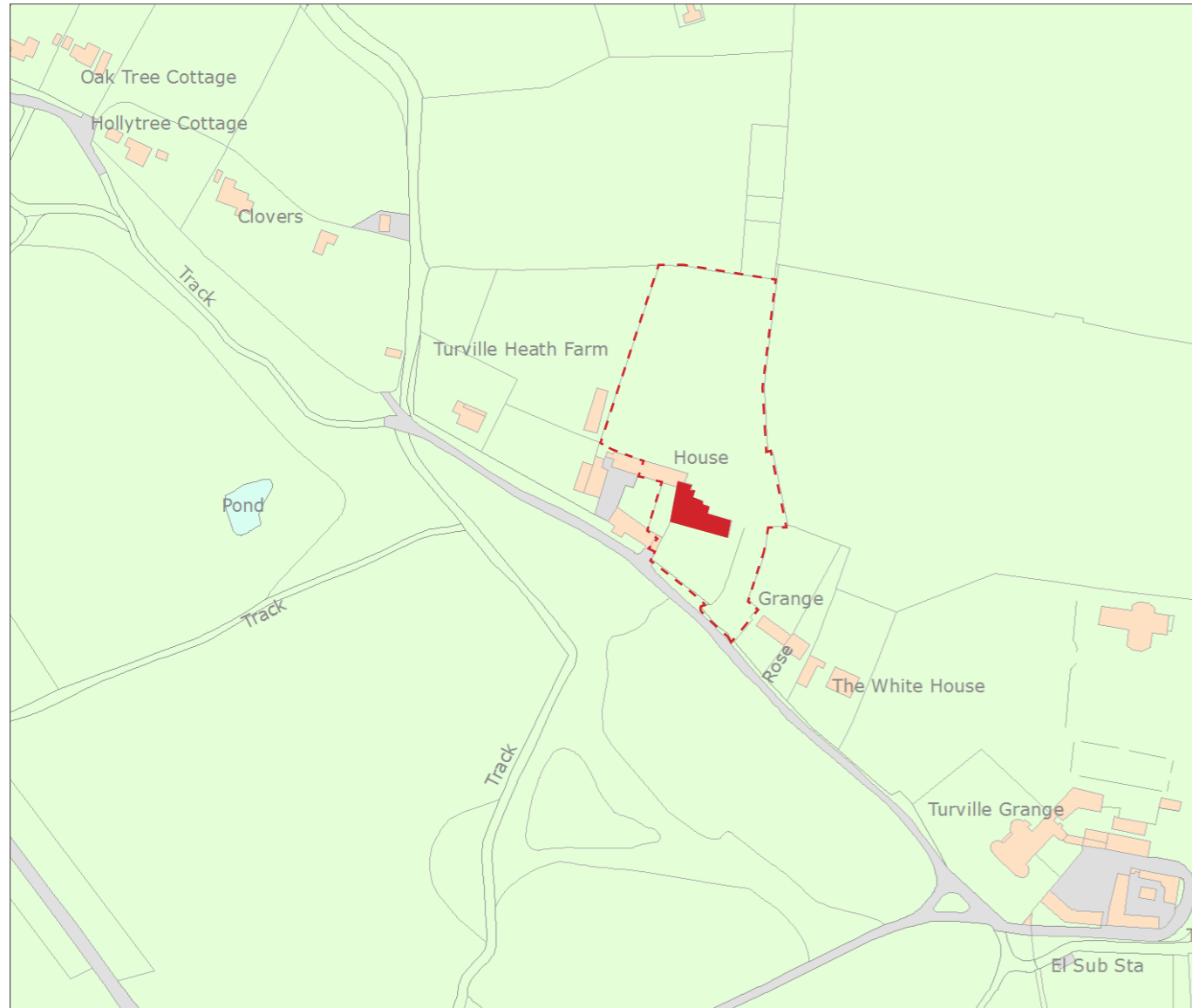
Turville Heath House is set within the village of Turville Heath in the Wycombe District of Buckinghamshire. The property lies within the Turville Heath Conservation Area, specifically the northern boundary of the Conservation Area runs along the fence line of the rear garden behind Turville Heath House.

The property was originally constructed in the 17th Century and has been altered and extended in the 18th, 19th and 20th century. The most prominent of these alterations was the re-fronting of the house in the early 19th Century. The materiality of the property comprises colour-washed brick and render external elevations with a natural slate roof. The property is arranged across two storeys and is characterised by the three bay windows on the ground floor front elevation of the property.

This rendered front elevation has a distinct classical style and proportions. This classicism continues in some of the other elevation features such as the corniced hood projecting from the front elevation which with its associated Doric columns set it apart from the simpler flint and brick estate cottages elsewhere in the conservation area.

2. THE SITE

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Above: Extract from Historic England Listing

KEY ■ Turville Heath House as Listed under ref: 1310392

- - - Turville Heath House Property Demise

SITE AND SURROUNDING CONTEXT - LISTING

We note that Turville Heath House is Grade II Listed under reference: 1310392. The original 17th Century building has been extended with a rear wing in the 18th Century, re-fronted in the early-mid 19th Century, and had further extensions added the right (eastern wing of the property) in the 19th-20th Centuries.

The principle house is constructed of rendered brick, and colour-washed brick with a slate roof. The rear wing is constructed from flint and brick. Vehicular access to the property is via the neighbouring Turville Heath Farm Barn to the side of the property, pedestrian access is through a white gate from Turville Heath (arranged on axis with the front door), and there is also a five-bar gate permitting additional vehicular access to the southern corner of the site.

3. THE PROPOSALS

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Above:
Photograph of the front garden at Turville Heath (looking south) out to the existing five bar gate.

PROPOSED ALTERATIONS

The proposed works comprise the removal of the existing modern greenhouse which sits to the west of the main house in order to replace it with a two bay cart lodge. The new cart lodge structure will be timber framed and clad in waney edge timber boards to match the appearance of the surrounding agricultural 'barn' structures.

3. THE PROPOSALS

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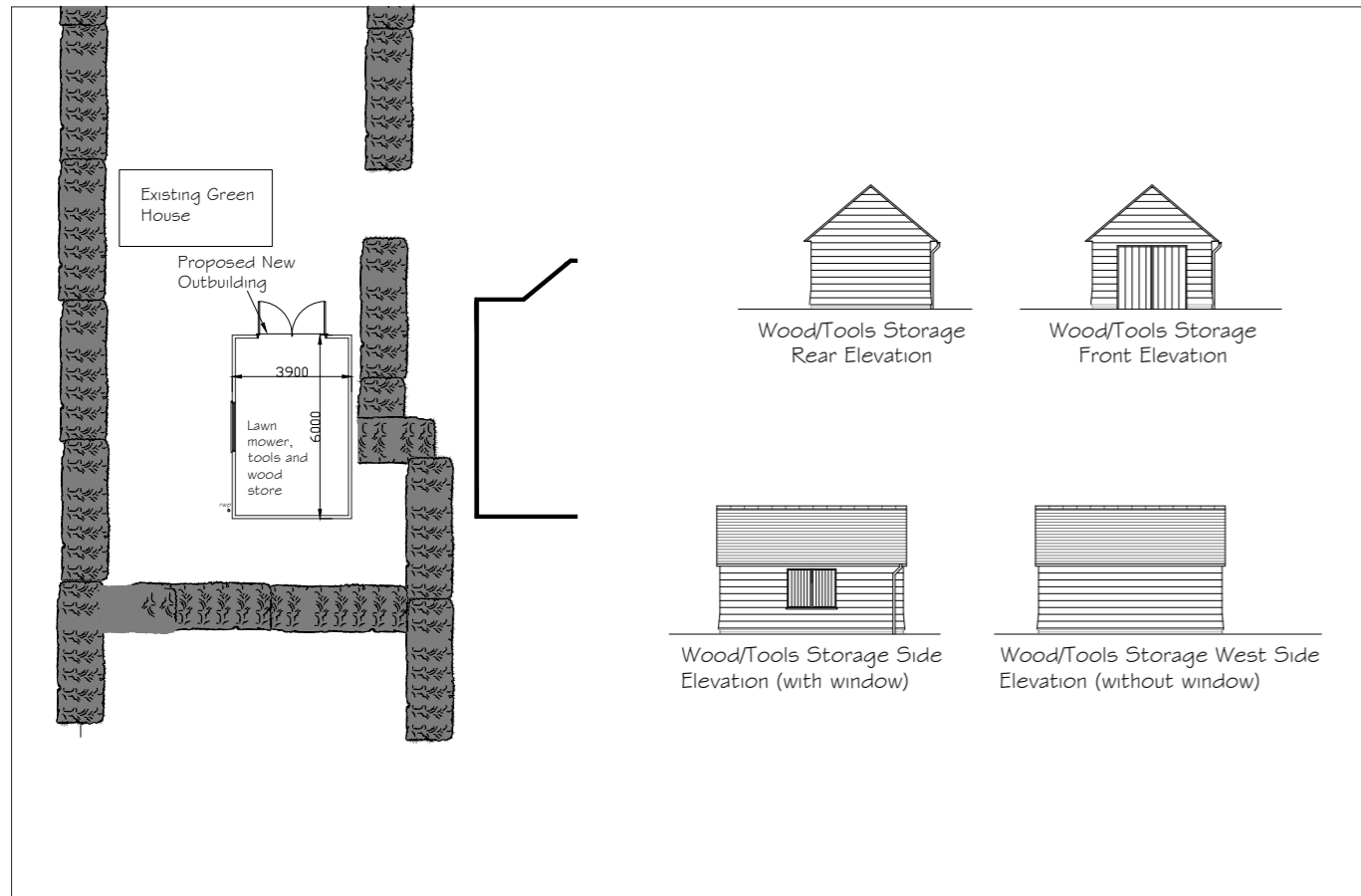
Above:
Photograph of the existing greenhouse at Turville Heath House and its relationship to the main house (visible on the left hand side of the image).



Above:
Photograph of the passage 'through the hedge' between the existing greenhouse and the main house.

4. HERITAGE STATEMENT

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Above: Details extracted from the consented structure adjacent to Turville Heath House in 2019.

HERITAGE STATEMENT

Turville Heath House is a Grade II listed building, as such it is identified as having special architectural or historic interest.

The proposed works are limited in their extent and nature and will result in no harm to the significance of Turville Heath House. As the proposed works relate to a new structure adjacent to the main house they do not adversely effect any areas of listed fabric. However they do fall within the demise Turville Heath House and in turn the design and materiality must be considered as being sympathetic to the existing building and surrounding context.

For this purpose reclaimed timber has been selected as the material of the structure and external cladding of the new cart lodge as this is present at the adjacent Turville Heath Farm Barn. Whilst new timber was proposed for a previous outbuilding that gained consent in 2019 reclaimed timber, particularly for the visible structural elements, will more seamlessly integrate with the surrounding context. The horizontal waney edge 'boarded' appearance of the existing outbuildings surrounding Turville Heath House will also be replicated in the design of the new cart lodge. Clay tiles are proposed for the low pitch roof to also match those present on the surrounding barns and match the materials consented for the shed structure.

The limited proposals will afford the occupants of the building an additional external outbuilding in line with that approved in 2019. The proposed alterations will have minimal negative impact on the significance of Turville Heath House whilst allowing the building to continue in full beneficial use.

5. ACCESS, REFUSE, RECYCLING AND SERVICING

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ACCESS STATEMENT

Accessibility has been carefully considered whilst developing the proposed alterations to Turville Heath House. However the constraints of the existing fabric have not been unduly altered to form a fully accessible design, as this is not practicable. Certainly the existing situation has not been made any worse by the proposed alterations.

Existing vehicular access is permitted via a 5 bar gate to the area of the site on which the new timber framed cart lodge is proposed, this existing access will remain unaltered.

REFUSE RE-CYCLING AND SERVICING

As the proposals will not increase the amount of waste produced by the property no increase in waste storage provision has been considered as part of the proposals.

6. APPLICATION DRAWINGS

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APPLICATION DRAWINGS

The following drawings have been appended to this report to provide further detail of the existing site and proposed design.

EXISTING / CONSENTED

GA-001	Site Location Plan	1:500 @ A1 / 1:1000 @ A3	P03
SK-500	Previously Consented Tool Shed	1:50 @ A1 / 1:10 @ A3	P01

PROPOSED

SK-501	Proposed Cart Lodge	1:50 @ A1 / 1:10 @ A3	P01
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THIS DRAWING IS BASED ON DIMENSIONAL SURVEY INFORMATION PROVIDED BY OTHERS. THE CLIENT CANNOT ACCEPT RESPONSIBILITY FOR THE ACCURACY OF THIS SURVEY INFORMATION.

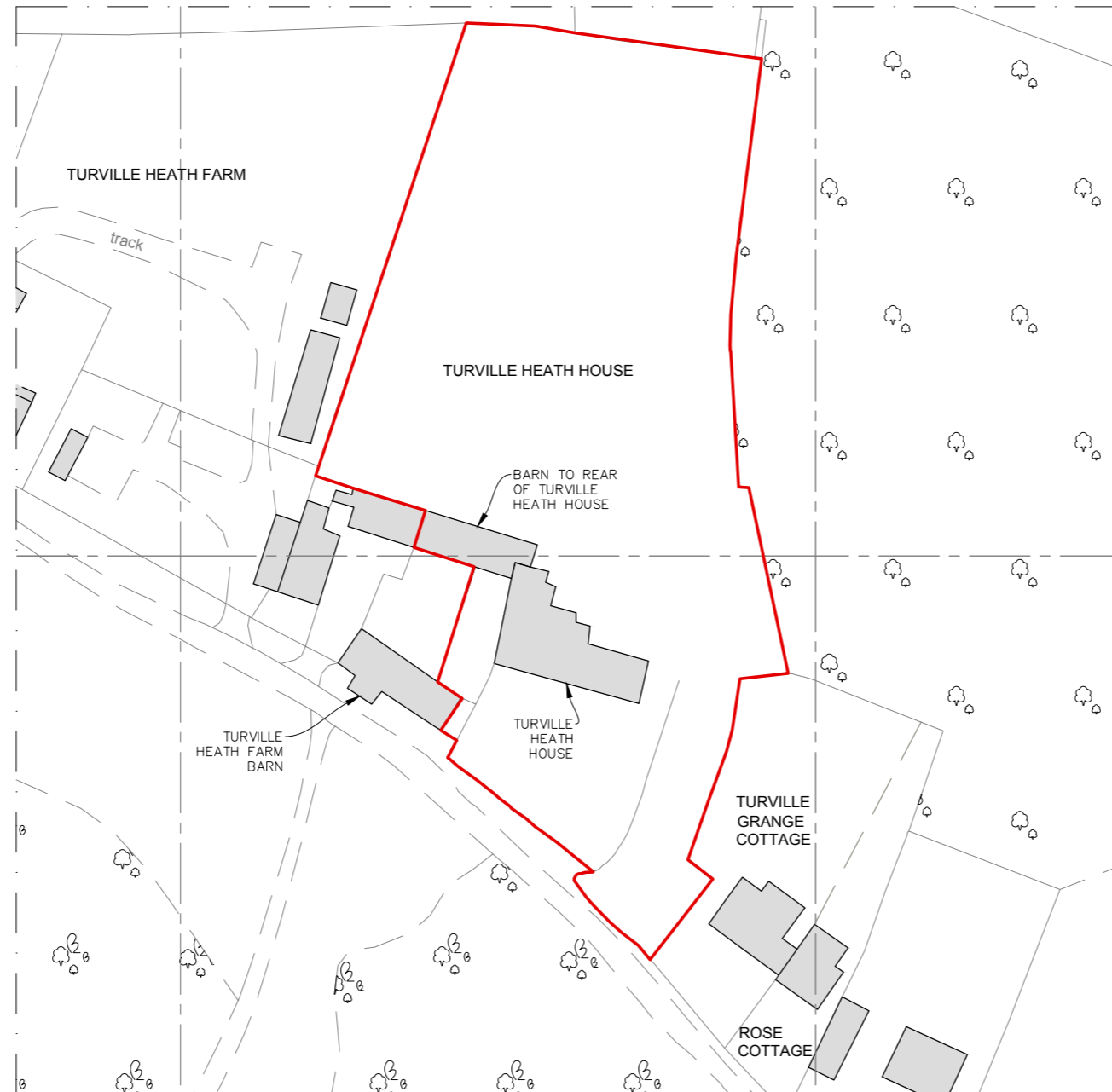
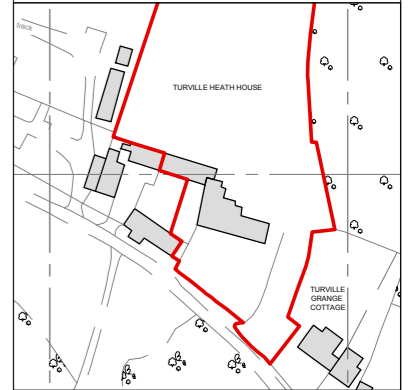
THIS DRAWING SHOULD BE READ IN CONJUNCTION WITH ALL RELEVANT DRAWINGS, SPECIFICATIONS AND SCHEDULES.

REPORT ANY DISCREPANCIES, CONFLICTS, ERRORS OR OMISSIONS TO AND SEEK DIRECTIONS BEFORE PROCEEDING.

CONFIRM ALL DIMENSIONS AND LEVELS ON SITE PRIOR TO COMMENCING WORK.

DRAWING ILLUSTRATES DESIGN INTENT ONLY. CONTRACTOR TO PRODUCE SHOP DRAWINGS FOR DESIGNER APPROVAL IF REQUIRED. CONSTRUCTION ISSUE DRAWINGS MUST BE CONTRACTOR'S OWN.

SITE PLAN - 1:1250 @ A1 / 1:2500 @A3



01
GA-001
SITE PLAN - 1:500 @ A1



REV: P03	RED LINE UPDATED	04.02.2021
REV: P02	ISSUED FOR PLANNING	13.11.2020
REV: P01	ISSUED FOR INFORMATION	12.11.2020

TURVILLE HEATH HOUSE
HENLEY-ON-THAMES
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EXISTING
SITE PLAN

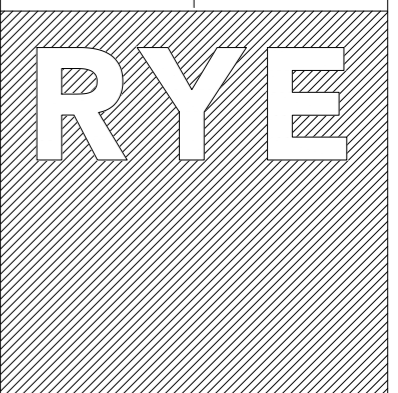
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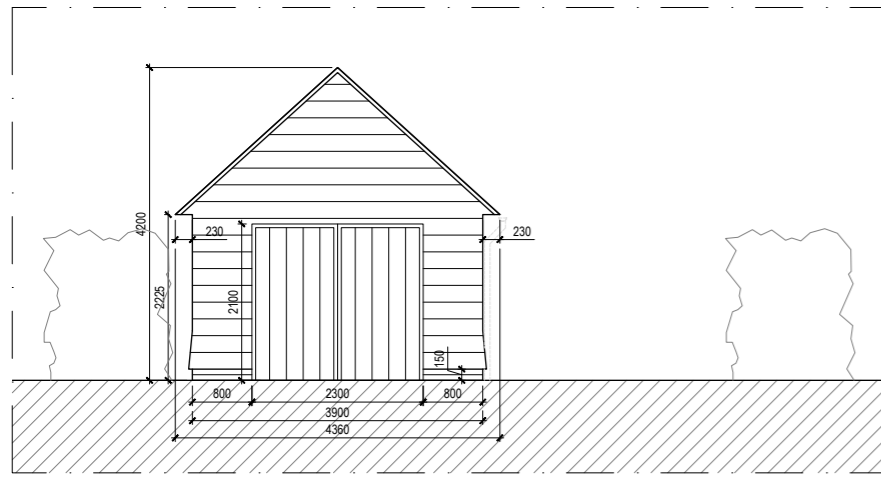
FOR: MR. TOM HOLLANDER

AT: TURVILLE HEATH HOUSE, RG9 6LD

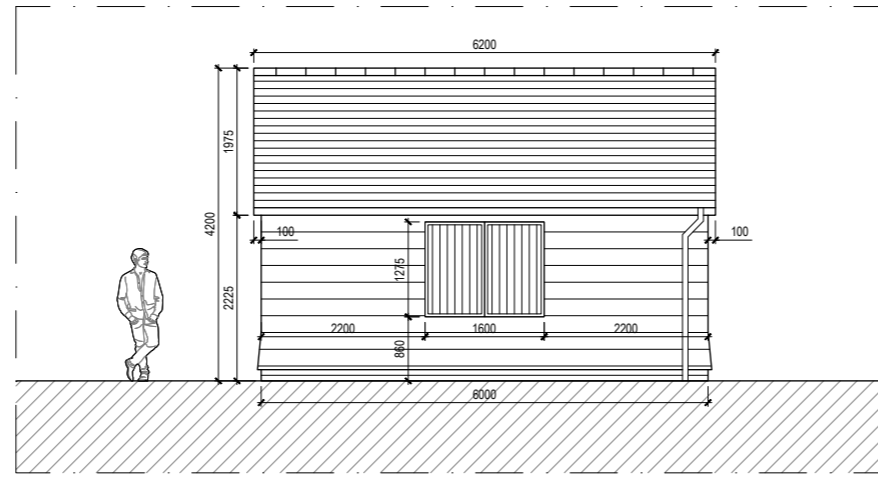
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SCALE: 1:500 @ A1 **JOB:** RYE-0145

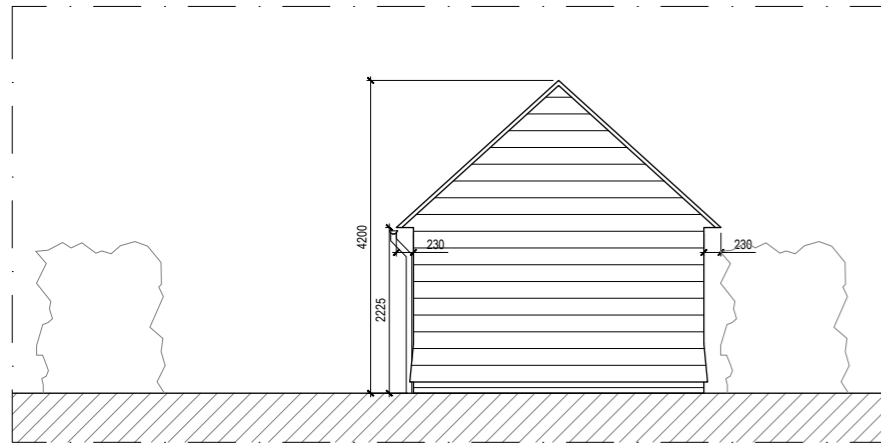




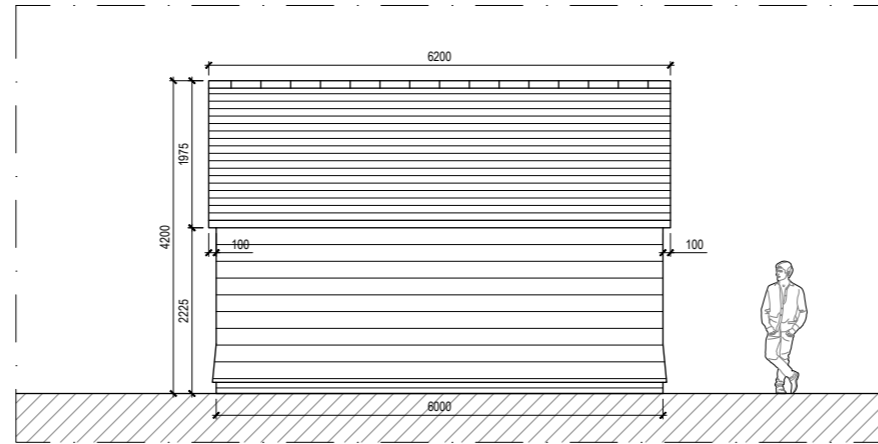
A
SK-500
CONSENTED - OUTBUILDING - ELEVATION



C
SK-500
CONSENTED - OUTBUILDING - ELEVATION



B
SK-500
CONSENTED - OUTBUILDING - ELEVATION



D
SK-500
CONSENTED - OUTBUILDING - ELEVATION



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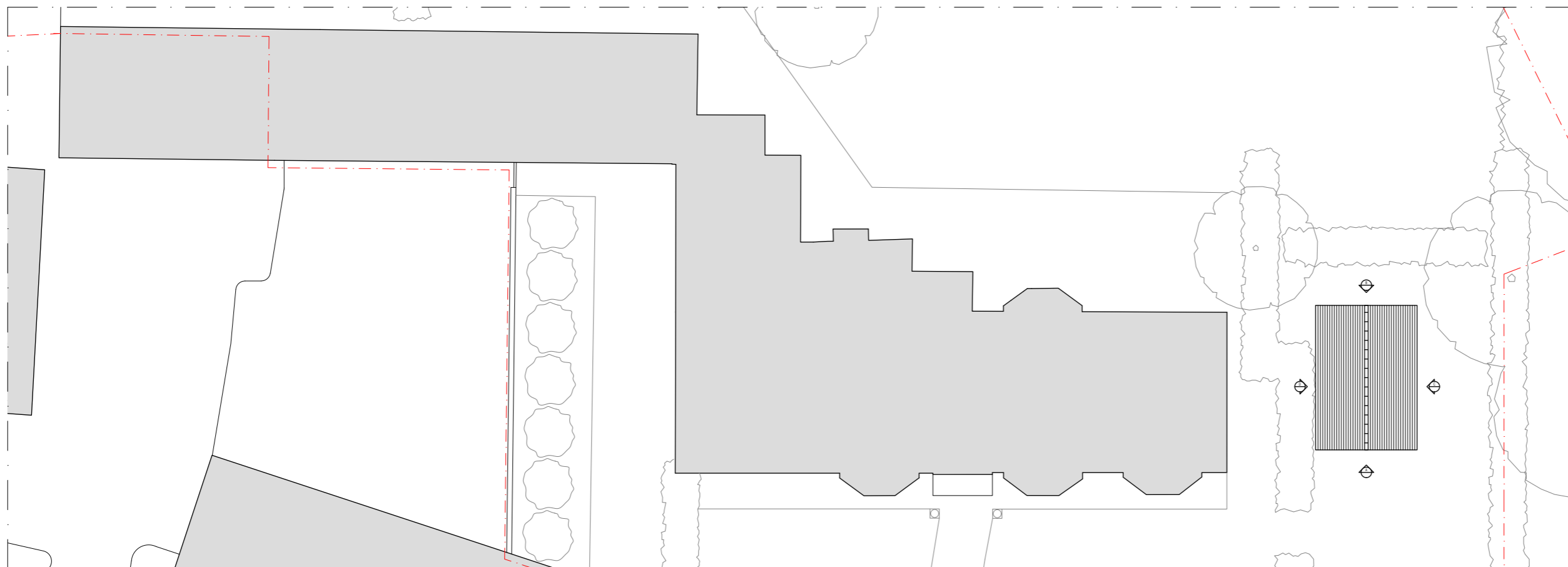
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KEY PLAN - 1:1000 @ A1 - outbuilding shown in red



01
SK-500
CONSENTED - TOOL SHED OUTBUILDING - PLAN 1:100

REV: P01 ISSUED FOR CLIENT REVIEW 15.09.2021

TURVILLE HEATH HOUSE HENLEY-ON-THAMES OXFORDSHIRE RG9 6LD	CONSENTED TOOL SHED OUTBUILDING DRAWINGS
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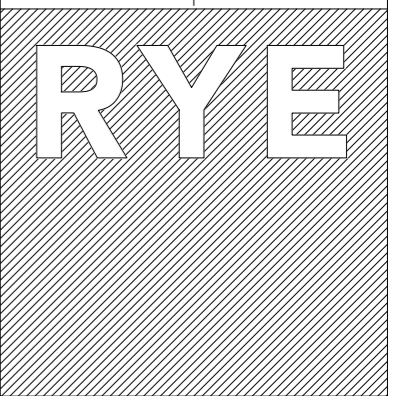
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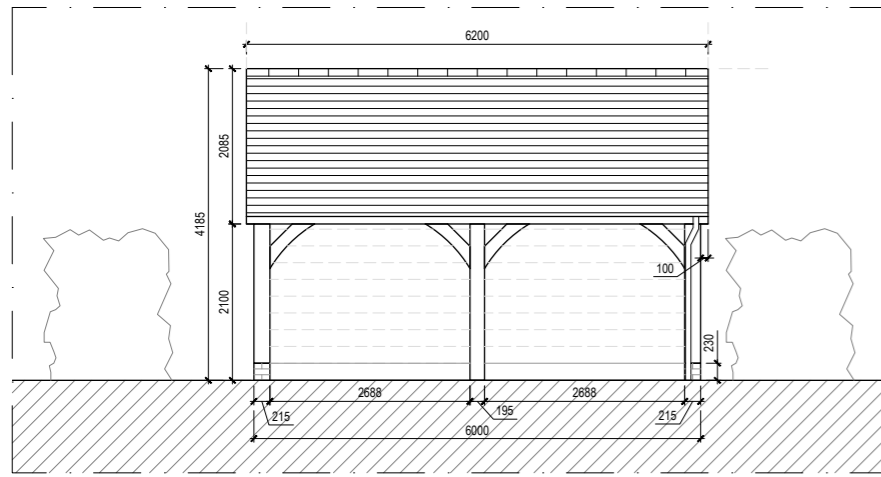
FOR: MR. TOM HOLLANDER

AT: TURVILLE HEATH HOUSE, RG9 6LD

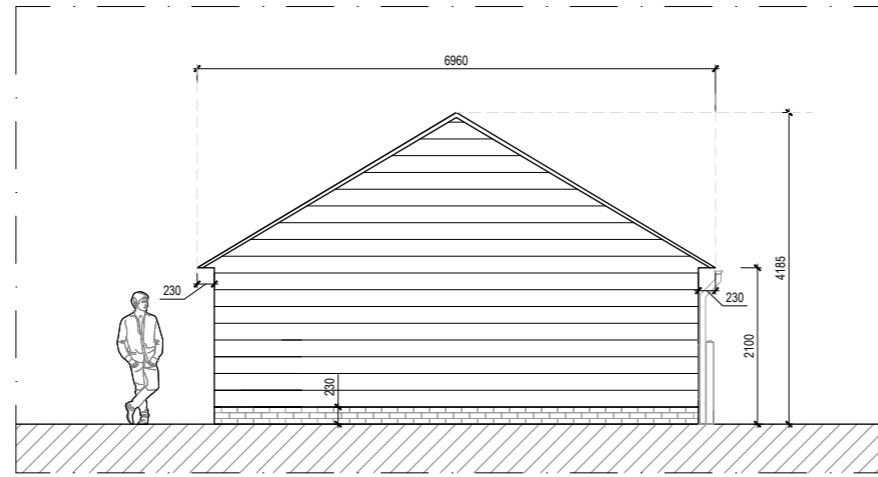
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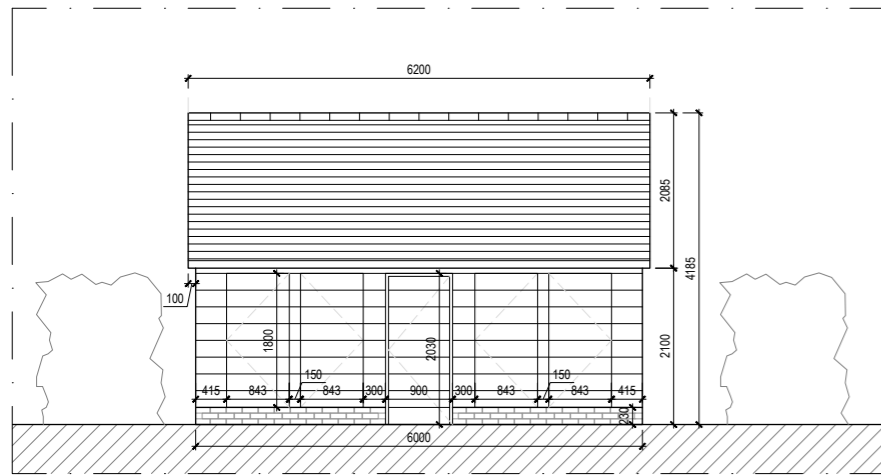




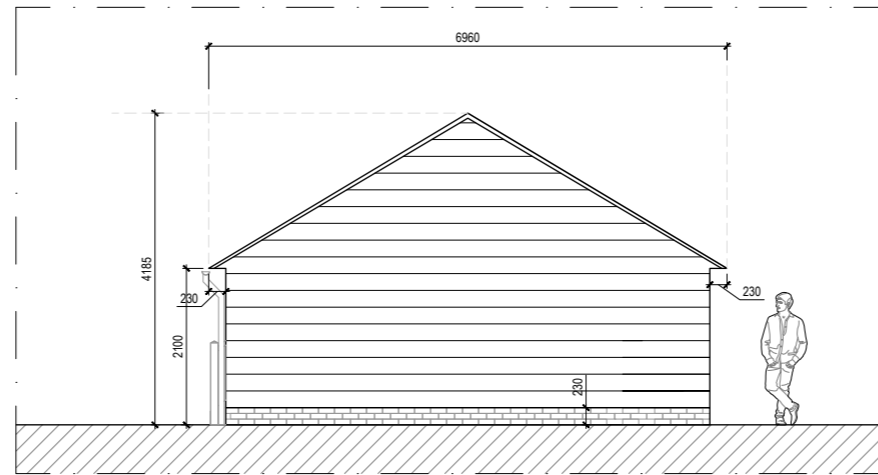
A
SK-501
PROPOSED - CART LODGE - ELEVATION



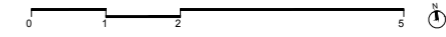
C
SK-501
PROPOSED - CART LODGE - ELEVATION



B
SK-501
PROPOSED - CART LODGE - ELEVATION



D
SK-501
PROPOSED - CART LODGE - ELEVATION



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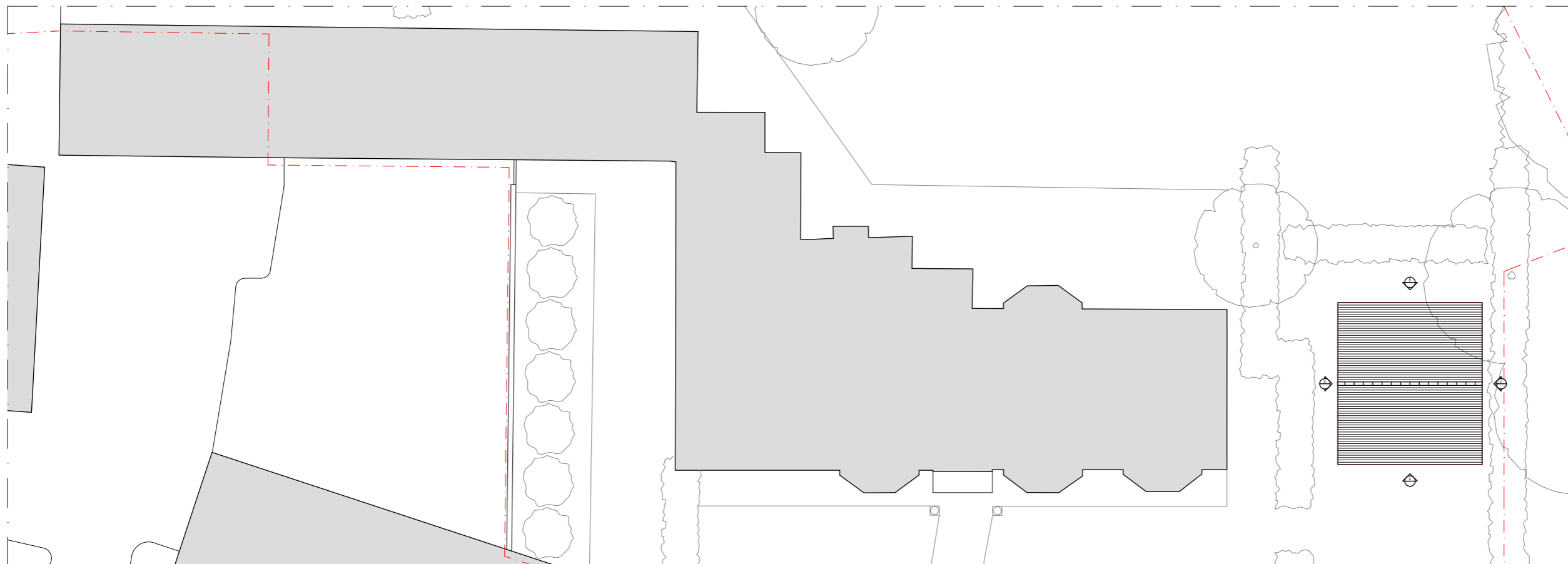
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01
SK-501
PROPOSED - CART LODGE - PLAN 1:100

REV: P01 ISSUED FOR CLIENT REVIEW 15.09.2021

TURVILLE HEATH HOUSE
HENLEY-ON-THAMES
OXFORDSHIRE
RG9 6LD

PROPOSED
CART LODGE
OUTBUILDING DRAWINGS

JOB: TURVILLE HEATH HOUSE

FOR: MR. TOM HOLLANDER

AT: TURVILLE HEATH HOUSE, RG9 6LD

DATE: 16.09.2021

DWG NO: SK-501

SCALE: 1:50 @ A1

JOB: RYE-0145

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