



Heritage Statement

Design and Access Statement

Terrace Wall Underpinning

Chartwell, Westerham, NP16 1PS

INTRODUCTION

This report is provided to accompany the listed building consent for the underpinning works to the listed terrace wall at Chartwell.

A listed building consent is submitted. It is considered the engineering works are de minimus for planning requirements.

The application includes a location plan, detailed proposal drawings and a Structural Engineering Report providing a method statement for the proposed works.

National Trust appointed specialist consultants in 2015 to monitor the walls at Chartwell. The subject wall formed part of the overall monitoring programme and it was noted that it exhibited historic movement. This scheme brings forward appropriate remedial work to rectify the historic movement.

The terrace and wall are located close to the property and illustrated below.



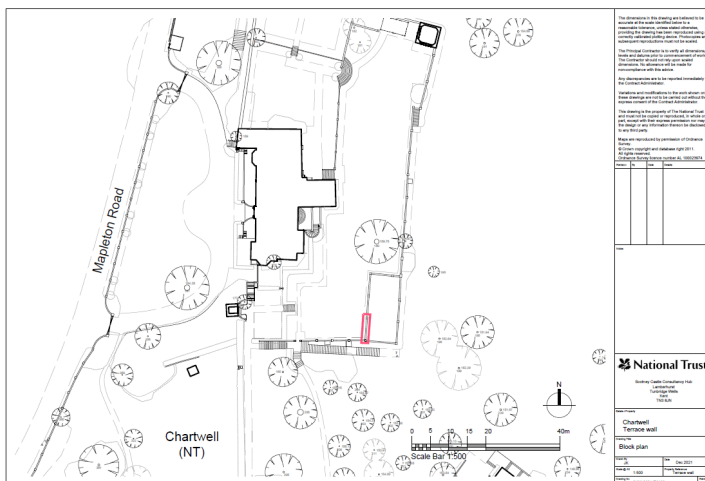
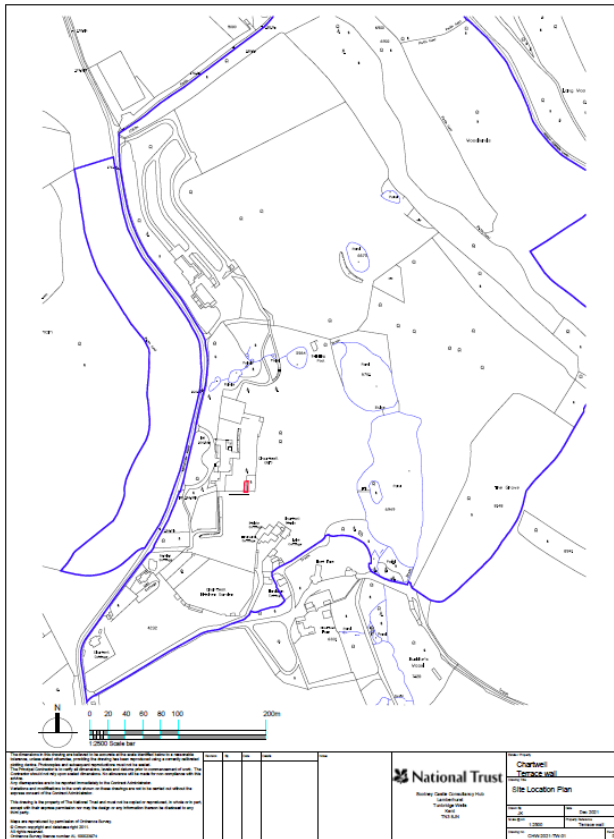
Chartwell one of the most important properties owned and managed by National Trust for the nation. A Grade 1 listed property.



The terrace and wall currently displaying visible signs of settlement.

SITE LOCATION

The application site forms part of the Chartwell Estate, which is situated one and a half miles south of Westerham. The 31ha estate includes the Manor House, Churchill's Studio, a number of tenanted properties and the gardens. Chartwell was home to Winston and Clementine Churchill for 40 years. Chartwell was given to the Trust in 1946 by a group of friends of Sir Winston Churchill.



Site location drawings illustrating the wider estate and terrace wall.

HERITAGE ASSETS

Chartwell is a Grade I listed building and Chartwell also includes a Grade II* Registered Park and Garden.

The listing description for the heritage assets includes the following:

An early to mid C20 garden, created by Sir Winston Churchill and his wife and later influenced by the garden designer, Lanning Roper, with a few surviving C19 features and surrounded by a park of C18 origin.

The east front of the house opens onto a broad terraced lawn, which extends to both north and south beyond the house and which is raised several metres above the level of the lawn below by a ragstone wall built in 1950 to replace a former grass bank. A flight of steps runs down against the east face of the terrace wall to the lower lawn.

The terrace lawn stretches south around the east front of the house. From the lawn one can enjoy the superb view south out over the Weald of Kent, and also appreciate the projecting east wing of the house. This was the architect Tilden's principal addition to the house.

Further consideration of the implications of the scheme is provided below.

PROPOSED SCHEME

A detailed Structural Engineering Report is provided with the application which identifies the background, observation, interpretation and brings forward the proposed stabilisation scheme. The application site is 15sq m and is located in the southeast corner of the terrace.

The section under review is between Piers 58 and 61. A joint inspection was held on 24 November 2021. The two bays between Piers 59 and 61 were considered to be acceptable. Alongside Pier 58, a 65mm drop was noted over a distance of just 900mm. There was a further 32mm drop over the next 1.8m. This indicates settlement of the Terrace wall with respect to the major 5m high retaining wall at right angles forming the southern edge of the terrace. The wall and settlement of the resulting made ground may have contributed to the localised settlement of the wall.



Settlement of terrace wall (photo courtesy of Adrian Cox Associates, Nov 2021)

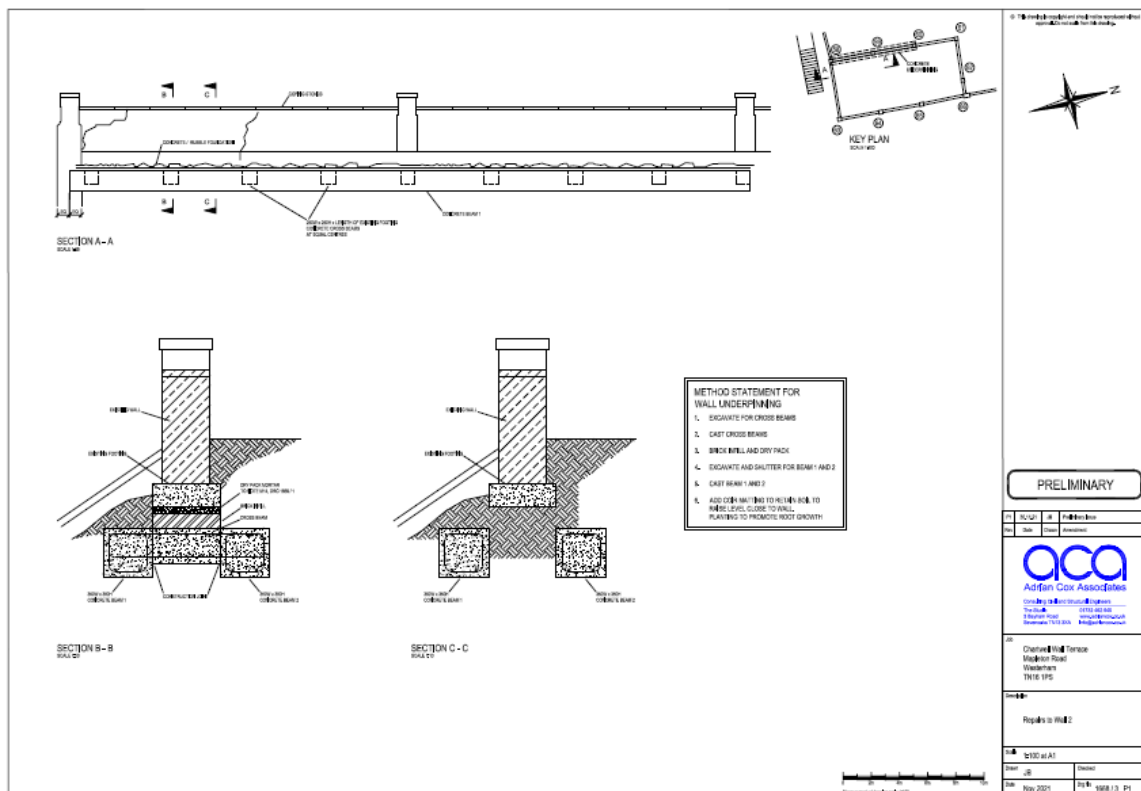
Differential settlement between the 5m high wall and the Terrace Wall has resulted in localised cracking at the interface leading to cracks close to Pier 58 and midway between Piers 58 and 59. Additionally there is concern regarding the stability of the wall as a whole. The evidence suggests that lack of support by the foundations behind the major wall due to historic settlement of fill. Additionally, loss of material locally below the footing due to the slope has contributed to the movement.

The proposed remedial solution comprises casting short lengths of reinforced concrete cross beam below the existing wall. With projecting reinforcement each side. Two reinforced concrete beams can then be cast, one on each side, below ground level, as a single pour. The cross beams will support the existing wall. The resulting beams will span between a pocket in the major retaining wall and Pier 60, being two bays to the North. A significant crack in the lower section of wall will also be pointed up to prevent water ingress.

Soil be retained on the sloping planting bed by a combination of coir matting with stakes and appropriate planting. Coir matting will only be installed to the area immediately parallel to the works on the bank. This will ensure long term embankment stabilisation.

The method statement for wall underpinning is proposed as follows:

-excavate for cross beams; cast cross beams; brick infill and dry pack; excavate and shutter for beam 1&2; cast beam 1&2; add coir matting; planting.



Submission drawing for proposed scheme.

HERITAGE STATEMENT

History and Development

The first known occupier of the site at Chartwell was William At-Well, in 1362. From the second half of the C14 until the early C17, the property belonged to the Potter family, then passed through marriage to Sir John Rivers Bt, at which time it was known as Well Street. A succession of owners followed until the Ellison family took possession in the C18 and it became known as Foundling House. In 1848 they sold to John Campbell Colquhoun who rebuilt the house, improved, and developed its setting, and renamed it Chartwell. After Colquhoun's death in 1870, the property remained in the family until Sir Winston Churchill (1874-1965) bought it from Sir Archibald John Campbell Colquhoun in 1922. In 1946, a group of Churchill's friends and admirers bought Chartwell and presented it to the National Trust with the proviso that Winston and Clementine should remain there for their lifetimes but on Sir Winston's death in 1965, Clementine relinquished it to the Trust, in whose ownership it remains.

The east front of the house opens onto the terrace lawn, this extends to both north and south beyond the house and is raised several metres above the level of the lawn below by a ragstone wall built in 1950 to replace a former grass bank. A flight of steps runs down against the east face of the terrace wall to the lower lawn.

Adrian Cox Associates were appointed by National Trust to monitor walls on the Chartwell Estate in 2015. The terrace wall was inspected in November 2021 and a remediation scheme brought forward as proposed within this listed building consent.

Significance

Chartwell Manor House is Grade I listed (Reference 1272626) including the subject terrace wall. The property also includes separate listing of the Forecourt Wall west of Chartwell and the Oast Houses and Drying Shed at Chartwell Farm (both Grade II listed). The Grounds at Chartwell are Grade II* listed (list entry number 1000263).

There is limited reference to the terrace walling. Its inherent significance is the provision of support for the creation of the terrace which provides the superb views out to the Weald of Kent. This forms the essential component of the property. Sir Winston Churchill had been captivated by Chartwell with the house set on the hillside and its commanding and sweeping views over the Weald of Kent.

Justification

In 2015 the walling was subject to the start of a monitoring programme to inspect and report on the condition of all garden walls at Chartwell. The terrace wall formed part of this monitoring programme and identified as a priority for further works. Following further discussion and consideration during 2021, a detailed visit during November 2021 a remediation scheme is now brought forward.

Differential settlement has brought forward cracking to the walling. There is concern regarding the stability of the wall as a whole. The evidence suggests that lack of support by the foundations behind the major wall due to historic settlement of fill.

Additionally, loss of material locally below the footing due to the slope has contributed to the movement.

Consent is sought to carry out remediation works to prevent further deterioration of the walling and more significant movement.

The proposed works have been designed by Engineer Adrian Cox. The proposed remedial solution comprises casting short lengths of reinforced concrete cross beam below the existing wall, projecting reinforcement is also included at each side. Soil stabilisation is enhanced with coir matting and planting.

The full design of the proposed works and a set of drawings are included within the subject application including an Engineering Report.

The application includes existing, as proposed drawings, and a report providing a Method Statement for wall underpinning.

Impact.

It is considered that the works are a minimum level of engineering intervention to provide for the stability of the wall. The works are considered to be *de minimus* work to only bring forward the need for a listed building consent.

The coir matting will ensure early stabilisation of the bank and bring forward minimal visual harm.

Construction of the scheme can be achieved with no other listed building consent issues arising.

On completion and bank restoration, the wall will appear as original, and no visible sign of the strengthening works. Crack repair is also proposed to the lower wall matching existing, it is assumed no consent is required for this repair work.

A detailed engineering report is included in the application which should be read in conjunction with the Heritage Statement and Design and Access Statement.

Mitigation.

The works have been carefully designed and engineered to minimise harm on the historic structure. No further mitigation works are proposed.

Conclusion.

A sensitive scheme bringing forward urgent stabilisation works is brought forward by the proposed scheme at Chartwell. The works are programmed to be completed with minimum interruption to visitor enjoyment and access to the property. It is hoped that the subject application can be supported. Please feel free to contact me should you require further detail, clarification or wish to discuss our approach to this important investment in the future of Chartwell.

Thank you.

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