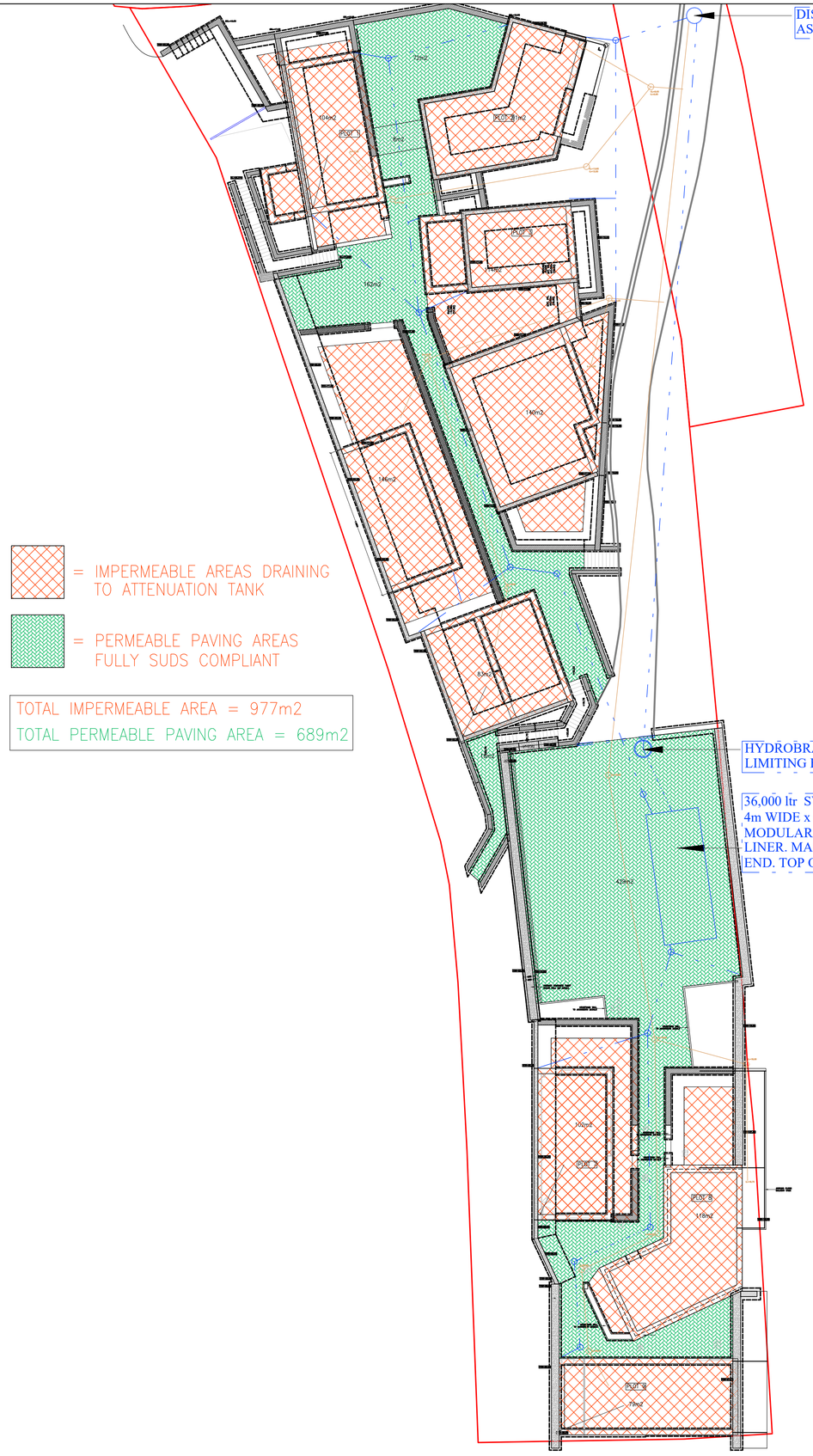

MATERIAL NOTES

DRAINAGE NOTES:

CONSTRUCTION PHASE:

Prior to the construction phase comensing, the contractor will construct a temporary trench fill soakaway across the site entrance. This soakaway will be maintained throughout the construction phase until the final surface water drainage scheme is in place, inspected and tested.

The contractor will adopt a QUALITY CONTROL procedure throughout the construction of the foul and surface water drainage system. This procedure will include the regular inspection and testing of the pipes and manholes being installed to ensure that they are not damaged and that workmanship is kept to a high standard. The contractor will use only materials from an approved supplier who has a QA procedure in place and manufactures to the current standards.

TIMETABLE FOR CONSTRUCTION:
Works will be completed on the foul and surface water drainage systems first, prior to the construction of any dwellings. The foul system will be connected to the existing sewer (using the correct SWW procedure) by an approved contractor once the main sewer line is constructed on site. The new sewer will undergo a full CCTV survey after completion to ensure it is of the correct standard (as per SWW requirements).
The main SW soakaway will be constructed first and the SW drainage system will be constructed and connected to the soakaway as each dwelling progresses. This will ensure that adequate SW drainage is in place as soon as each impermeable area is completed (roofs and drives etc).
All foul and surface water drainage systems will be inspected and tested to the requirements of CDEC Ltd, Local Authority Building Control and SWW.

MAINTENANCE AFTER COMPLETION:

OVERLAND FLOW ROUTES:
The expected overland flow routes are indicated on this plan as are the exceedence flow routes during extreme weather events.
It can be seen that the overland flow routes are of that to be expected within a residential development where the flows within back gardens are of the main concern. None of these routes proove to be detrimental to the proposed or surrounding existing dwellings. We have assumed that most back gardens will be laid to lawn and follow the general contours of the site.
Each dwelling owner (or management company) will be responsible for ensuring the maintenance of the front and rear external areas to ensure that the overland and exceedence flow routes are maintained at all times. Should there be any significant change to the general landscaping of these areas the the Engineer shall be consulted for approval prior to any works being undertaken.

FOUL AND SW DRAINAGE SYSTEMS:
Maintenance of the foul and SW drainage systems after occupation of the dwellings shall be the responsibility of the building owner and/or a reputable management company. The drainage system will be inspected annually and the road gullies will be cleared when required to ensure that they are fully functional at all times. It is envisaged that the road gullys will require clearing annually. The main soakaway is designed to accommodate exceedence flows and should therefore not require any significant maintenance for at least 10 years. However, should there be any issues with the performance of this soakaway then the Engineer shall be contacted immediately.

ROAD/PARKING AREAS SURFACEING:

All roads and parking areas will have an impermeable surfacing in accordance with the Architects details. It is envisaged that this surfacing will be either a concrete block paved surface or a dense bitumen macadam surface to Cornwall County design requirements. This surfacing will have a suitable base course and road base DBM surface below with a minimum of 150mm compacted sub base to DOT C1803 Type 1 compacted in accordance with DMRB Table 6/1.
Should any unexpected conditions be found then the contractor shall contact the Engineer immediately for advice. The road construction will also be inspected by Building Control.

GENERAL NOTES

This drawing is copyright. Refer to details above.

This drawing is only to be used for the purposes described in the status box below.
Work to figured dimensions only, do not scale.

This drawing is to be read in conjunction with all other drawings, details and specifications pertaining to the work described.

Materials and workmanship shall comply to the appropriate British Standards and Codes of Practice unless otherwise stated.

The activities required to construct the work, shown on drawings clearly marked FOR CONSTRUCTION, may be subject to the provisions of the Construction (Design & Management) Regulations 2007. The Contractor and Client must ensure that they are adequately conversant with these regulations and that the appropriate procedures required under the regulations are observed at all times.

All setting out to Architect's details.

All temporary works to be contractor / specialist designed. CDeC Ltd. are in no way responsible for any works left unsupported at any time.

KEY

EX = Exceedence flow route

OF = Over land flow route

NOTE: ATTENUATION TANK IS DESIGNED TO A 1/100yr STORM + 40% ALLOWANCE FOR CLIMATE CHANGE & 2.93 SW GROWTH

DATE.	DRAWN.	REV.	NOTES.
12:11:21	MC	H	PRELIMINARY ISSUE SW SEWER REVISED
15:07:21	MC	G	PRELIMINARY ISSUE SW SEWER REVISED
16:01:20	MC	F	PRELIMINARY ISSUE FW SEWER ADDED
16:05:19	MC	E	PRELIMINARY ISSUE
14:05:19	MC	D	PRELIMINARY ISSUE
24:04:19	MC	C	PRELIMINARY ISSUE
23:01:19	MC	B	PRELIMINARY ISSUE
28:11:18	MC	A	PRELIMINARY ISSUE

PROJECT MANAGER:–	MATT CROMPTON
ASSISTANT:–	CHRIS PLATT
DRAWN DATE:–	28th NOVEMBER 2018
SCALE & (SHT SIZE):–	1:200 (A1)
APPROVED:–	MATT CROMPTON
APPROVED DATE:–	28th NOVEMBER 2018

PRELIMINARY

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(01208) 78655

CLIENT
MR W. GELSTON

PROJECT
THE HOMES AT THE CORMORANT, GOLANT

DRAWING TITLE
FOUL AND SURFACE WATER DRAINAGE STRATEGY

PROJECT No.	DRAWING No.	REV.
J–18600	1000	H