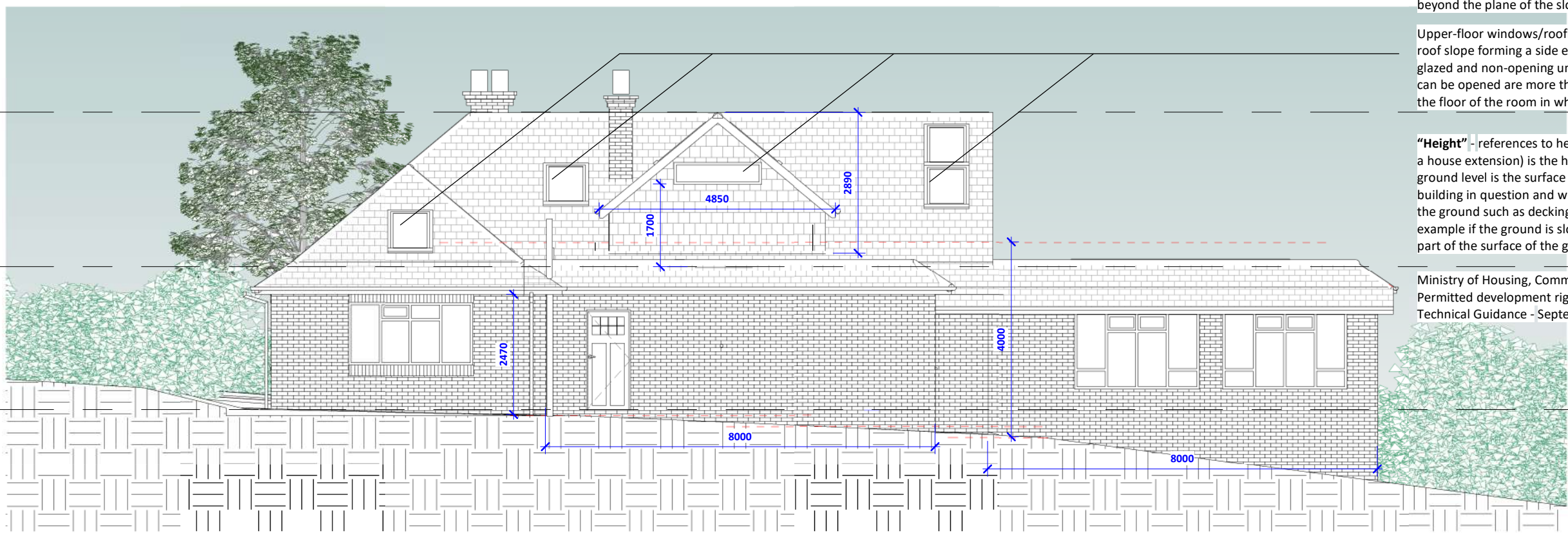


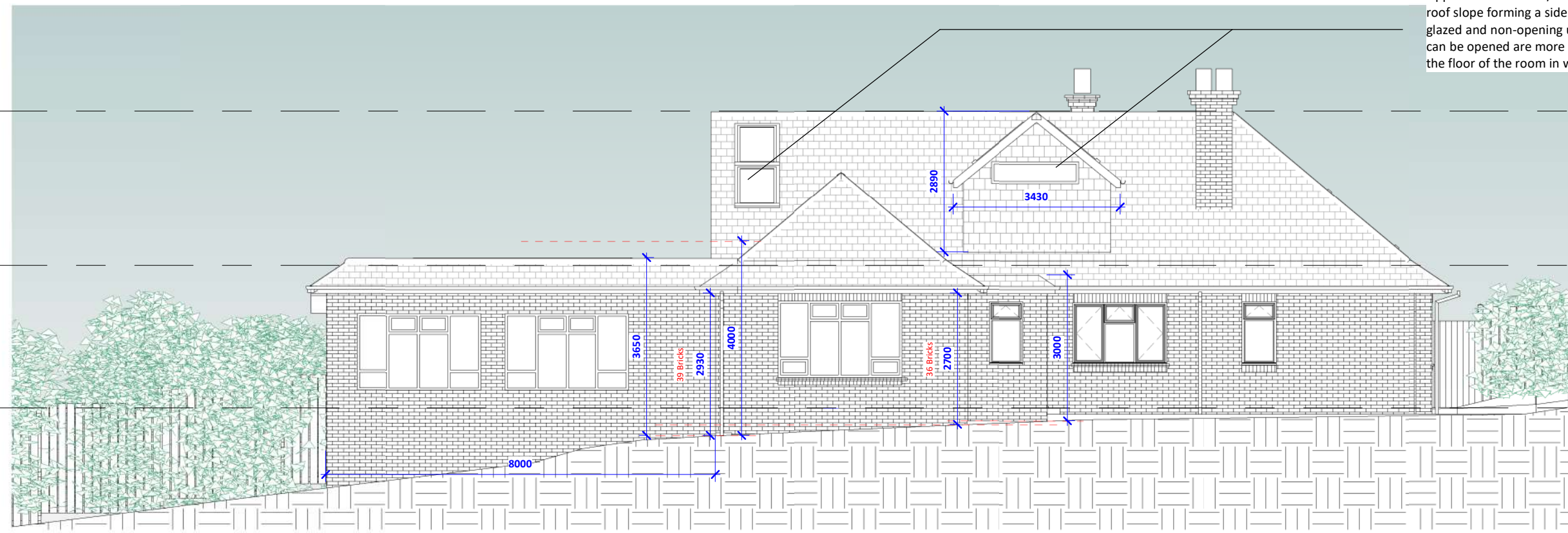
1 Proposed Front Elevation
1 : 100



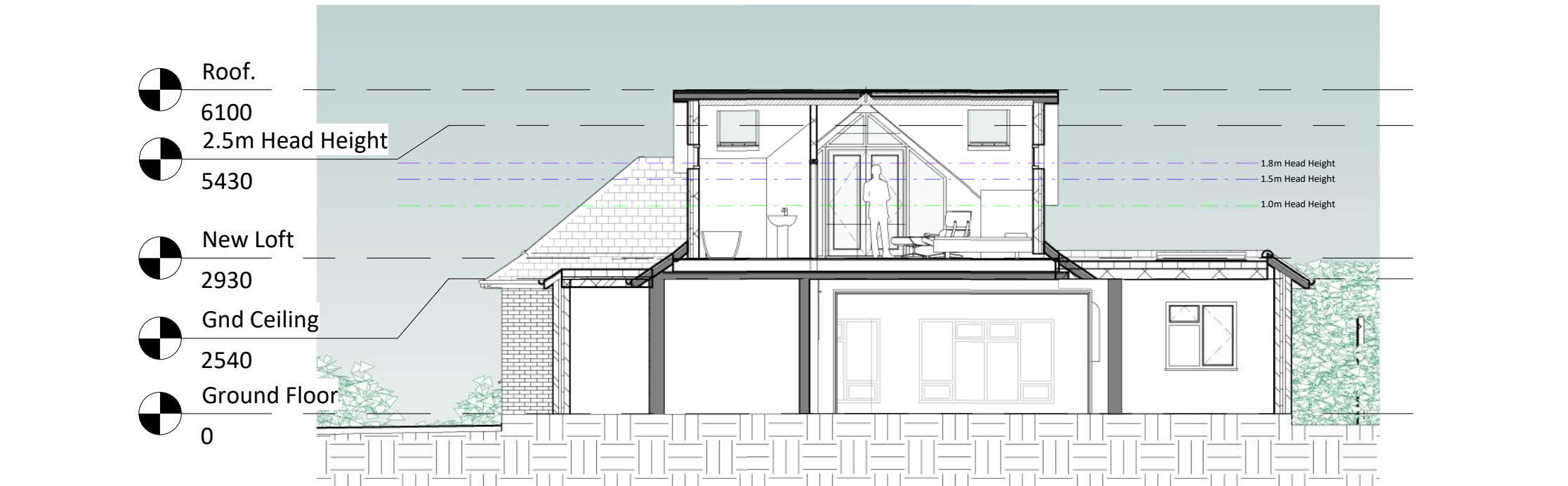
2 Proposed Right Elevation
1 : 100



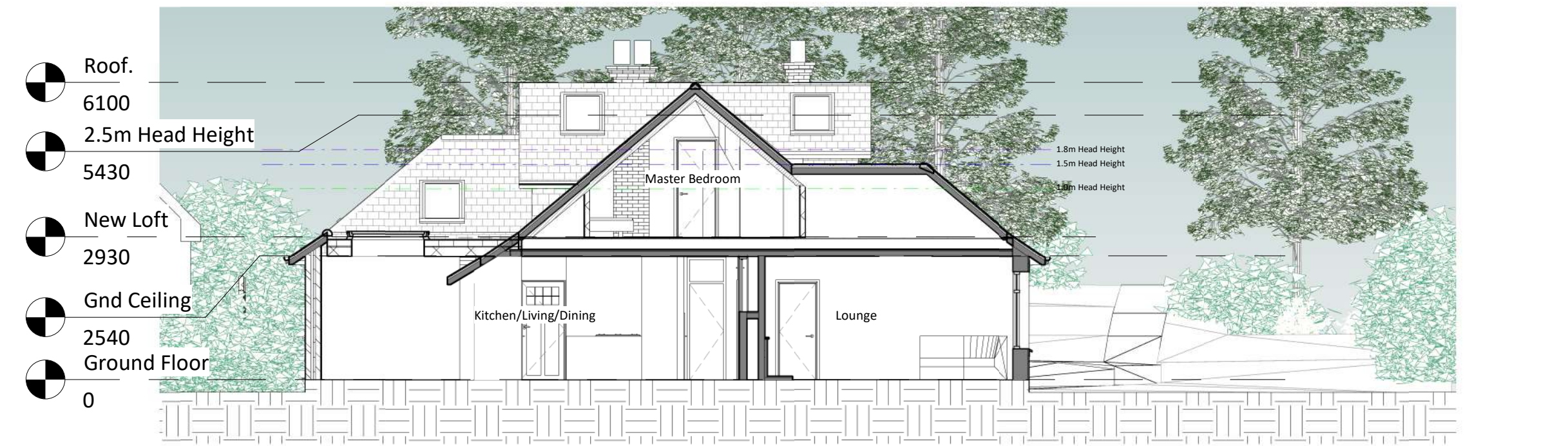
3 Proposed Rear Elevation
1 : 100



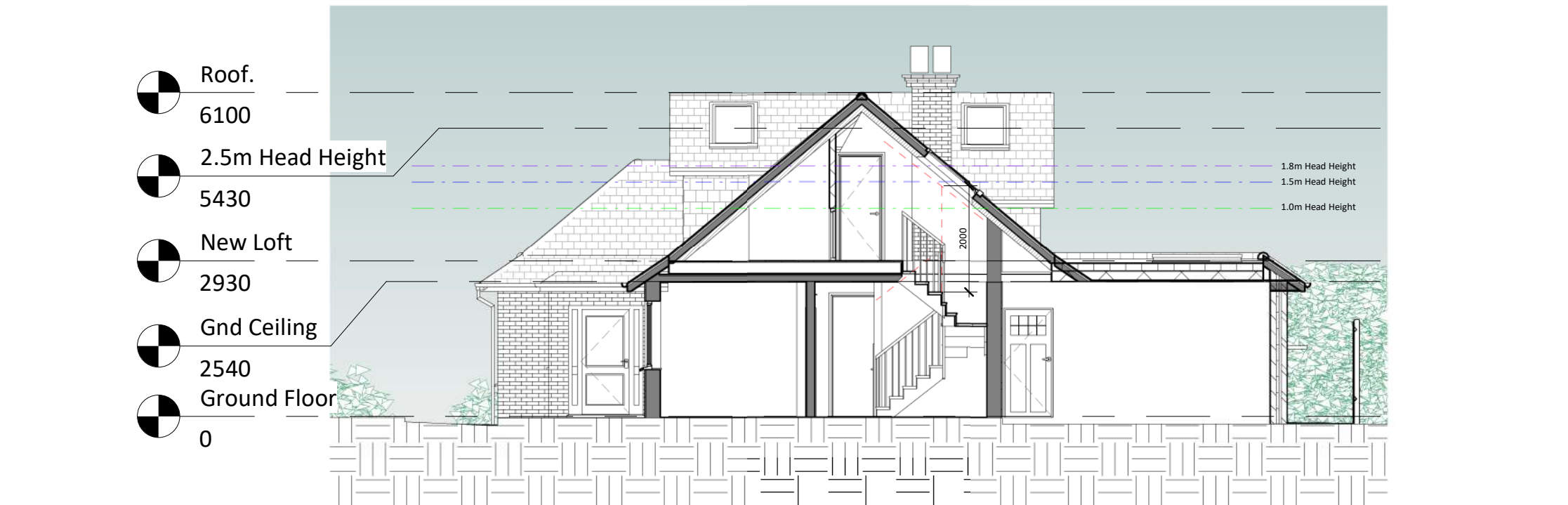
4 Proposed Left Elevation
1 : 100



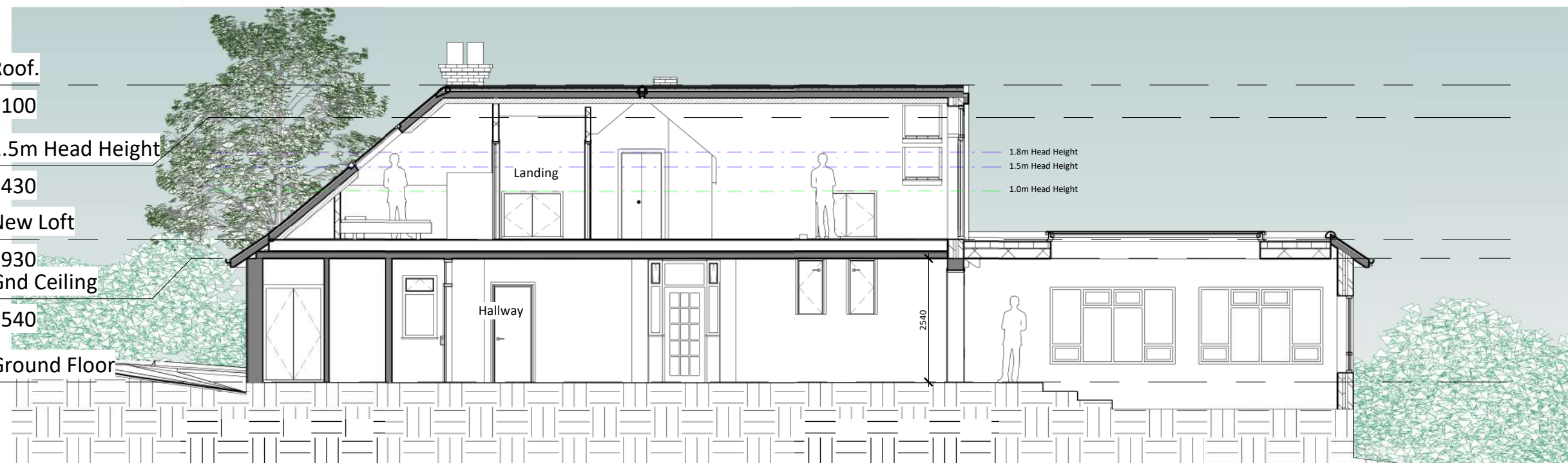
5 Proposed Section 1
1 : 100



6 Proposed Section 2
1 : 100



7 Proposed Section 3
1 : 100



8 Proposed Section 4
1 : 100

Rooflights will not protrude more than 150mm beyond the plane of the slope of the original roof

Upper-floor windows/rooflights located in a wall or roof slope forming a side elevation must be obscure glazed and non-opening unless the parts which can be opened are more than 1.7 metres above the floor of the room in which it is installed.

"Height"-references to height (for example, the heights of the eaves on a house extension) is the height measured from ground level. (Note, ground level is the surface of the ground immediately adjacent to the building in question and would not include any addition laid on top of the ground such as decking. *Where ground level is not uniform* (for example if the ground is sloping), then the ground level is the highest part of the surface of the ground next to the building.)

Ministry of Housing, Communities and Local Government
Permitted development rights for householders
Technical Guidance - September 2019

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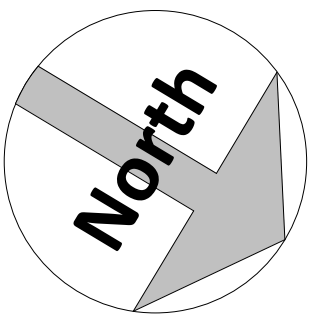
- DRAINAGE STORM NEW
- DRAINAGE STORM EXISTING
- DRAINAGE STORM EXISTING REMOVED
- DRAINAGE FOUL NEW
- DRAINAGE FOUL EXISTING
- DRAINAGE FOUL EXISTING REMOVED
- DRAINAGE COMBINED NEW
- DRAINAGE COMBINED EXISTING
- DRAINAGE COMBINED EXISTING REMOVED

EXTERNAL FINISHES SCHEDULE	
1	Walls – Brickwork to match existing
2	Roof – Tiles to match existing
3	Flat Roof – EPDM/Felt/GRP
4	Windows – uPVC/Aluminium/Timber casement
5	Rooflights – Grey/White uPVC/Powdercoated Aluminium
6	Doors – Timber/ Composite to match existing
7	Bi-Fold Doors – Grey/White powdercoated aluminium
8	RWP / Gutters / Fascia – Black uPVC downpipes, guttering and white uPVC/Timber fascia to match existing
9	
10	
11	
12	
13	
14	
15	

A lawful development certificate has been recently granted
Application number: 21/02966/LDCPR

8m rear extensions have been approved recently under the larger home extension scheme- Application Numbers: 21-03610-PAE [LHES 8m Rear Extension] 21-03611-PAE [LHES 8m Rear/Side Infill Extension]

This application seeks to consolidate all with a certificate of lawful development.



Amendments :			
Rev	Date	By	Description

Project :

Innisfree,
Fairby Lane
Hartley. DA3 8DA

Title :
Certificate of Lawful Development Drawings
Proposed Elevations & Sections

Bluetime Retail Ltd /
Bluetime Home Design LLP.
Design, Project
Management, Build

Thames Innovation Center,
Veridion Way, Veridion
Park, Erith, Kent DA18 4AL

Tel: 01322 521026

Proposed ground floor extensions and hip to gable
loft conversion with dormers

Drawn by : M.J.G	Scale : 1 : 100	@ A1 Date : 16/12/2021
Drawing number : BL/DRG/2112.80/ 06	Rev : 	
Do not scale from this drawing. Dimensions to be checked on site.		