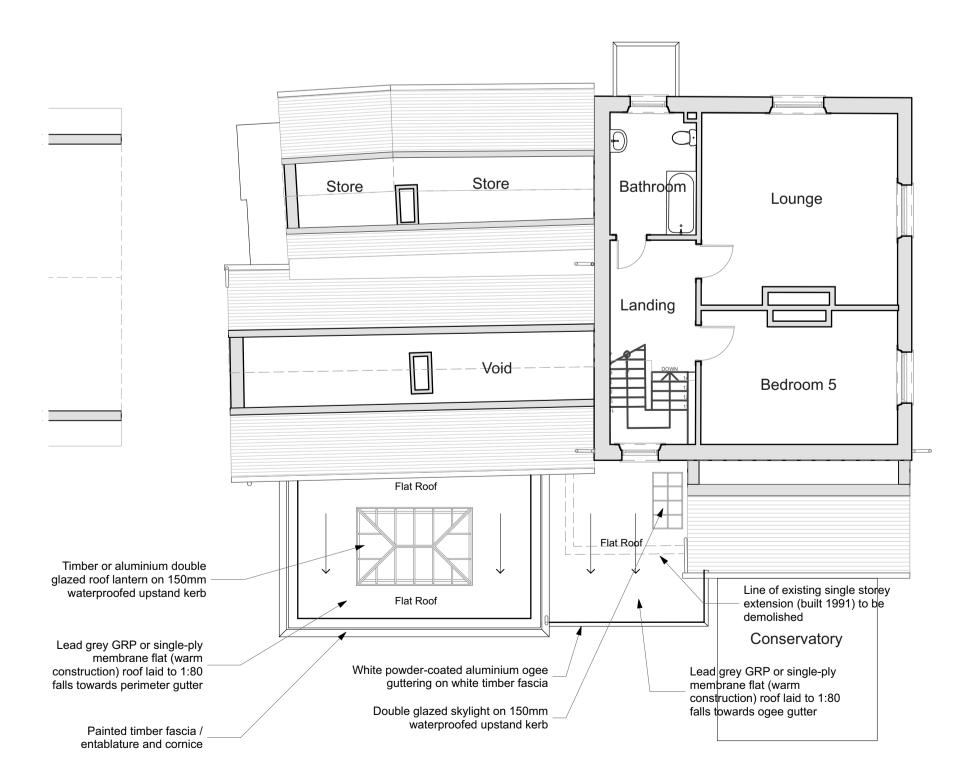
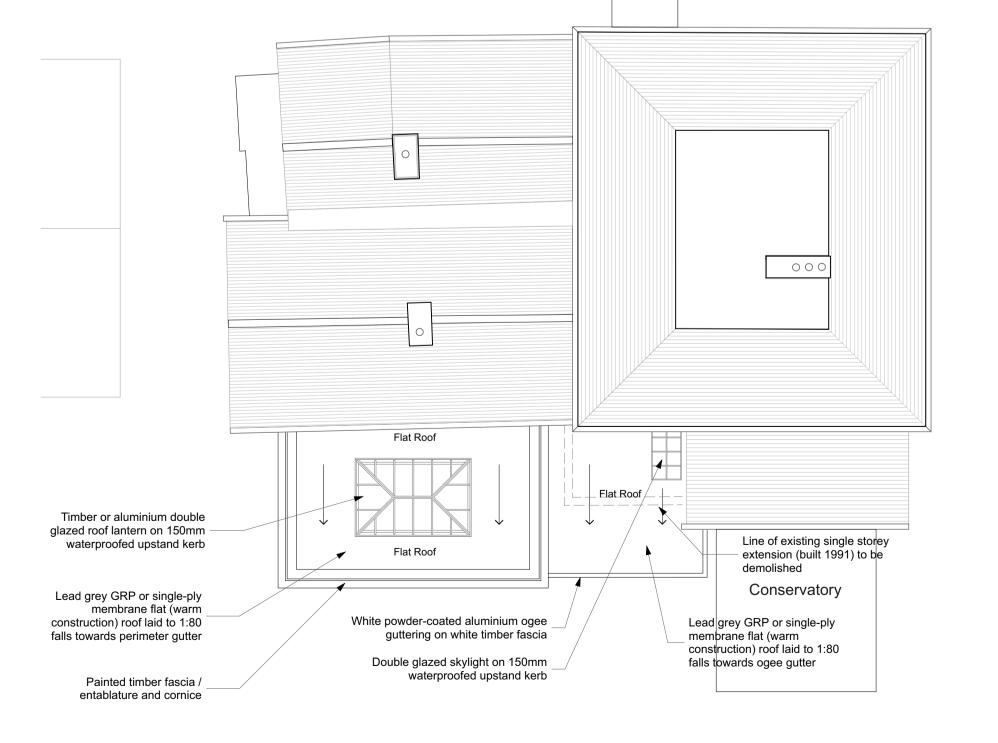


€ Ensuite Bedroom 2 Laundry Master Bedroom **Dressing Room** Bedroom 3 Bedroom 4 Flat Roof Code 4 lead flashing dressed Bathroom into existing wall where flat roof abuts Timber or aluminium double glazed roof lantern on 150mm -Line of existing single storey extension (built 1991) to be waterproofed upstand kerb Flat Roof demolished Conservatory Lead grey GRP or single-ply membrane flat (warm White powder-coated aluminium ogee construction) roof laid to 1:80 Lead grey GRP or single-ply guttering on white timber fascia falls towards perimeter gutter membrane flat (warm construction) roof laid to 1:80 Double glazed skylight on 150mm falls towards ogee gutter waterproofed upstand kerb Painted timber fascia / entablature and cornice

1. First Floor Plan 1:100





Adjacent Properties and Boundaries are shown for illustrative purposes only and have not been surveyed unless otherwise stated.

Contractor to check all dimensions on site prior to commencing work

and manufacture of windows, doors etc.

Do not scale other than for Planning Application purposes.

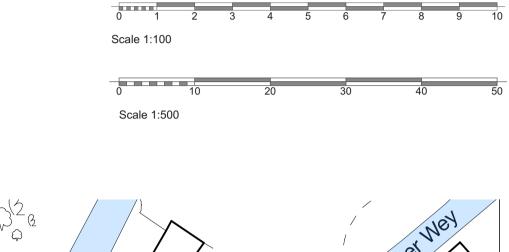
No deviation from this drawing will be permitted without the prior written consent of the Architect.

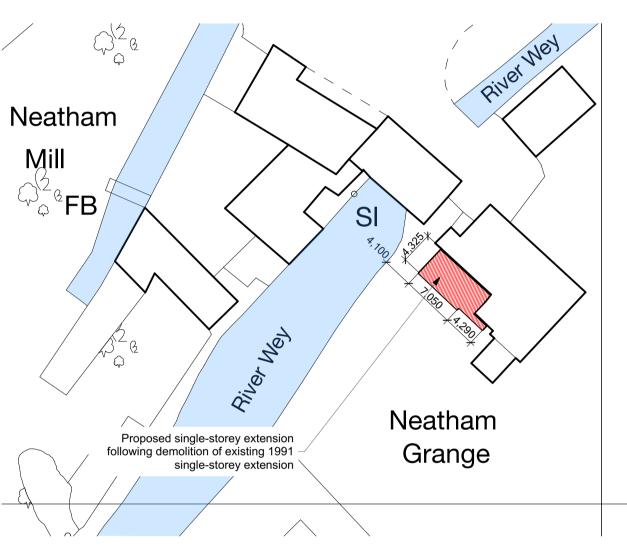
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Ground Floor Slabs, Foundations, Sub-Structures, etc. All work below ground level is shown provisionally. Inspection of ground condition is essential prior to work commencing.

Reassessment is essential when the ground conditions are apparent, and redesign may be necessary in the light of soil conditions found. The responsibility for establishing the soil and sub-soil conditions rests with the contractor. Depth of substructure to be agreed on site with Building Inspector.

Existing surface drainage and soakaways are shown indicatively.





Block Plan

PLANNING

Date Description Initials

1:500



VOLLER ARCHITECTURAL DESIGN

Client: Ms.T. Laughton & Mr A. Perry

Project: Extensions and Alterations to:

Neatham Grange, Lower Neatham Mill Lane, Holybourne GU34 4NP

wiiii Larie, Holybou

Title: Proposed Plans

Scale: 1:100, 1:1250 @ A1

Date: November 2021

Drawing No: 2111-PL-03

Drawn by: JLV

1:100

<u>1:100</u>

Roof Plan

Second Floor Plan 1:100