



PLANNING, DESIGN AND ACCESS STATEMENT



**Retrospective Planning Application for Rear Extension,
Glazed Link and Alterations to Garage Wall at
Glebe House, Thorpe Constantine**

on behalf of

Mr and Mrs Brangwin



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1. INTRODUCTION

1.1 This statement is submitted in support of a retrospective planning application for the rear extension, glazed link and alterations to garage wall at Glebe House, Thorpe Constantine. The statement should be read in conjunction with other supporting information supplied as part of the planning application including:

- Application Forms
- Site Location Plan
- Block Plan
- Proposed Site Plan
- Rear Extension Proposals
- Rear Extension 3D View
- Front Courtyard 3D View
- Overall Ground Floor Plan
- Proposed Elevations
- Section Through Pool House
- Sun Diagram

1.2 The following sections of the statement provide the background to this application, a description of the site and surroundings, details of the proposal, an overview of the relevant planning policy and an assessment of the development in this context.

1.3 This statement demonstrates that, when considering local and national planning policy, the development is acceptable in principle. There are no other material considerations which would render the proposal unacceptable in planning terms. Therefore, it is respectfully requested that the application is viewed favourably and approved without delay.

2. BACKGROUND

- 2.1 The owners of Glebe House have undertaken sympathetic improvements to their property over the past year including reroofing the garage and installation of parapet walls, a glazed link between the house and outbuilding, the erection of a glazed modern conservatory style extension and various internal alterations.
- 2.2 In designing the proposals, it was deemed that the alterations fell under Permitted Development Rights and did not require express planning consent. Both the glazed link and glazed rear extension were considered to be akin to a modern conservatory with the extensive use of glass. Furthermore, these works did not extend more than 4m beyond the rear wall of the original house, and the repair and alterations to the garage did not increase its overall height. It was therefore considered that the development could be considered to be within the parameters of Schedule 2, Part 1, Class A and Class B of The Town and Country Planning (General Permitted Development) (England) Order 1995 (as amended) (GPDO).
- 2.3 On 24th November 2021 a letter was received from Lichfield District Council stating that having reviewed plans submitted for Building Regulations relating to Glebe House, in the Council's opinion, planning permission was required for the rear extension, glazed link and increase in height of the garage wall. The letter refers to the Building Regulations plans showing a 4.7m rear extension, which would exceed the measurements allowed by Permitted Development Rights, and states that extensions to buildings must use exterior materials of similar appearance to those of the original house, other than in the construction of a conservatory. The Council concludes that the rear extension and glazed link does not fulfil this criteria and planning consent is required. The height of the garage wall is stated to be 3.4m and also requires consent.
- 2.4 Contact was made with Lichfield District Council's Planning Enforcement Team on 7th December 2021 confirming that the details of the development would be reviewed and, if necessary, a retrospective planning application would be submitted. Having visited the site and reviewed the plans, the following conclusions have been reached:
- The rear extension is 3.39m beyond the outermost point of the original rear wall, being within the dimensions of Permitted Development Rights.

- The glazed nature of the rear extension and link could be regarded as a conservatory style development, however, as this is a matter of judgement and in the interests of reaching a sensible outcome, the view of the Council is accepted, and a retrospective application sought for this development.
- The reroofing of the garage and increase in height does not trigger the requirement for a planning application as this would not go beyond the highest point of the existing roof and uses similar materials to that existing. This work is therefore allowed under Schedule 2, Part 1, Class B of the GPDO. However, the parapet wall detailing is an alteration to the dwelling wall which would be above 3m in height and within 2m of the property boundary, Permitted Development criteria would be exceeded, and planning consent is therefore required.
- The internal work does not fall within the definition of development and no planning consent is required.

2.5 This planning application therefore seeks retrospective planning consent for the erection of the rear glazed extension, the glazed link and alterations to the garage wall.

3. Site and Surrounding Area

3.1 Glebe House is a substantial residential property located in the hamlet of Thorpe Constantine, as shown outlined red in the image below. To the north and east of the house are the grounds of Thorpe Hall, to the east are two further properties and to the south is agricultural land. A public footpath runs to the east of the property.



Figure 1: Site location

3.2 The property is set back from the road frontage and has extensive grounds covering 1.75 acres. The house is of brick and tile construction with several gable features and architectural detailing of stone mullion windows and elongated chimney stacks. A garage extension was added to the front of house some time ago and has a hipped roof section on the front elevation with the majority of the roof being flat, which previously extended to the eastern and rear boundary, as shown in Figure 2.

3.3 There is a separate outbuilding known as the Pheasant House which sits just 2m from the house and a further garden outbuilding located in the southeast corner of the plot. The boundary of the property is a mixture of mature vegetation, low level fencing and brick walls. The boundary to the neighbouring property is formed by a high brick wall providing privacy to both properties.



Figure 2: Glebe House

Relevant Planning History

- 3.4 There is no planning history on this property. Permitted Development Rights have not been removed.

Designations

- 3.5 The site is not within any ecological or landscape designation. The property is not Listed, adjacent to any heritage assets or within a Conservation Area. The land is not at risk of flooding.

4. PROPOSED DEVELOPMENT

4.1 Retrospective Planning permission is sought for the extension and alteration of Glebe House to regularise works which have been undertaken to provide a glazed rear extension, glazed link between the house and an outbuilding, and improvements to the garage roof on the eastern side adjacent to the property boundary. The image below shows the development within the context of the property.



Figure 3: Proposed development

4.2 The rear extension is a contemporary single storey flat roof glazed structure adjoining the kitchen and dining area. All three walls are glass and use large clear frames allowing an abundance of light into the property making existing rooms feel larger and brighter. The ultra slim frames give an almost entirely glazed appearance, seamlessly incorporating sliding doors panels. The two supporting columns and the roof edge are clad using a dark finish which has a bronzed sheen in the sunlight similar to the brick of the main house, illustrated in Figure 4 below. Overall, the extension has a simple elegant design that sits as a clear addition to the original dwelling but complements and respects the original architecture.

4.3 The elevation and photograph in Figure 4 below demonstrate how the extension is relatively small in comparison to the size of the rear elevation and house footprint. The use of materials and the simplistic form ensures the extension sits low and does not detract from the dominant roof and chimney line and strong mullion window features.



Figure 4: Glazed rear extension elevation and photographs from southeast and cladding sheen finish

4.4 As the property benefits from mature screening and high boundary walls, the rear extension is not openly visible to neighbours. From the highway there are limited glimpses, however the image below demonstrates that it is the original dwelling that is seen with the extension being barely discernible. The only other views of the site are from the public footpath to the southeast, however the garden outbuilding, mature trees and new boundary vegetation will obscure these views and minimised further by the angle and distance of the footpath from the house. Where the property is seen, it is again the original house that dominates.



Figure 5: View of Glebe House from highway to southwest

4.5 The glazed link between the main house and the Pheasant House is an extremely simple structure comprising only glass and minimal fixings improving the influx of natural light within the existing living spaces. The mono-pitch glass roof slopes gently to the boundary wall and a glazed panel completes the enclosure to the garden. The floor plan extract below shows the area outlined in red measuring 5.3m x 2.1m which now provides a covered walkway through to the outbuilding which is used as a utility area. The link also covers a well which has a reinforced glass cover and mood lighting revealing this historic feature.

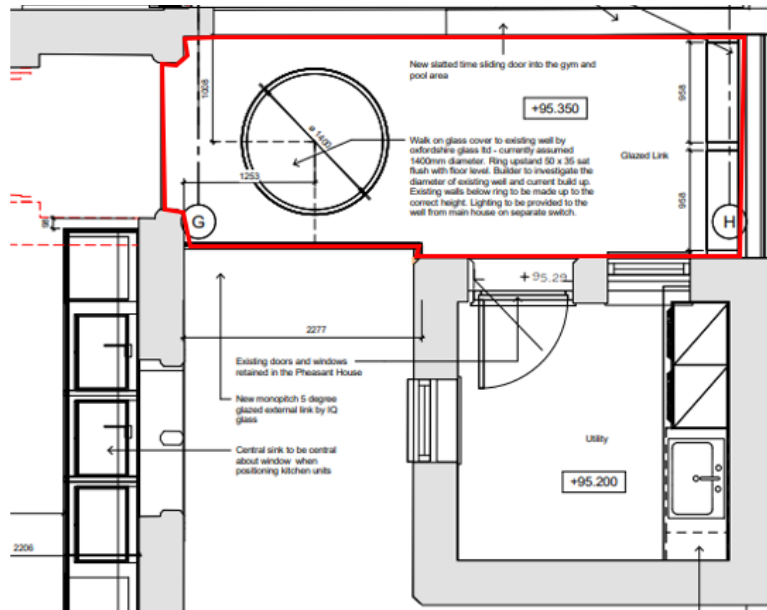


Figure 6: Glazed link floor plan

4.6 The photographs below illustrate the seamless connection of the link to the brick walls with the glass allowing full visibility of the original buildings and structures.

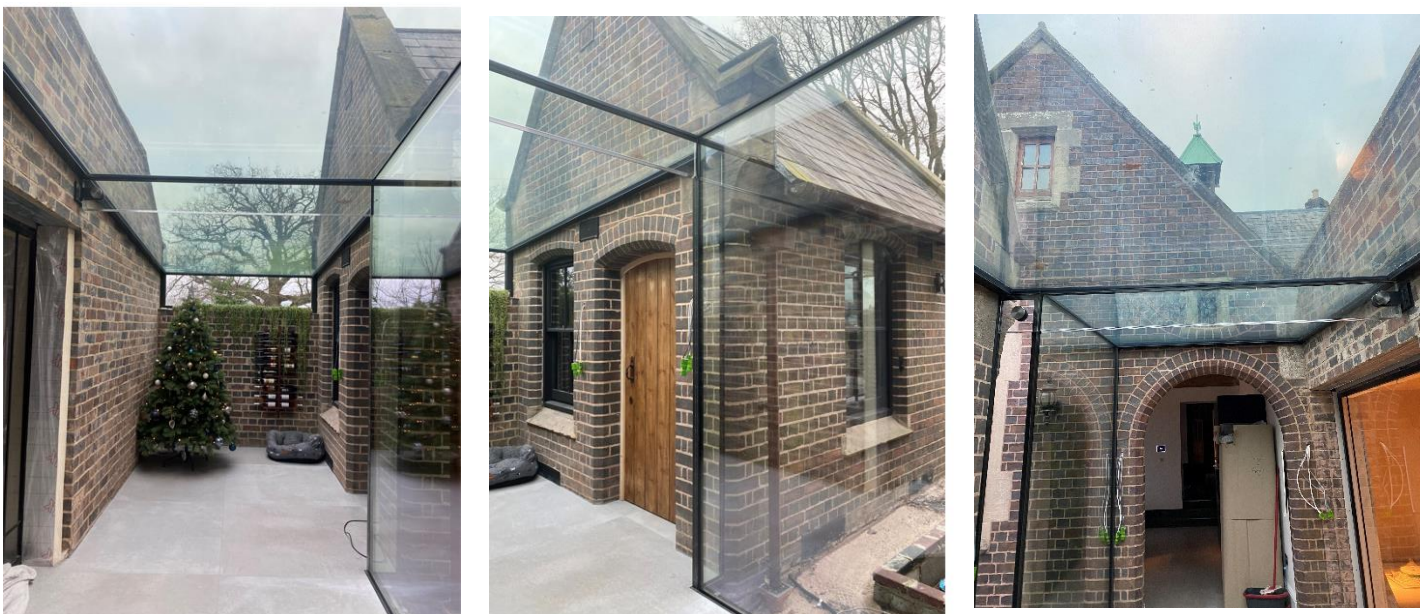


Figure 7: Photographs of glazed link facing boundary wall, Pheasant House and kitchen door

4.7 The garage roof has been replaced with a slight increase in height of the main section and the creation of a mansard roof which conceals the flat roof from ground floor level. Tiles and brickwork matched that of the existing house. The cross section below shows full details of the new roof and the original roof line with a red outline.

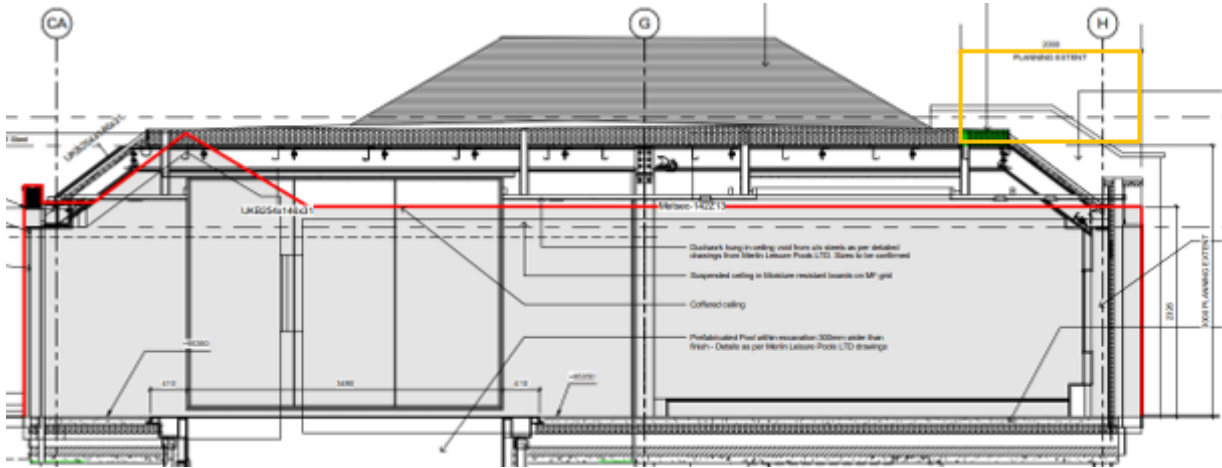


Figure 8: Cross section of garage

4.8 The alterations improve the appearance of this part of the house, mainly to the benefit of the neighbouring property, which previously viewed a flat felt roof and now looks over a tiled mansard roof with small parapet wall covering the guttering. Figure 9 below shows the new mansard roof viewed from the neighbouring dwelling.

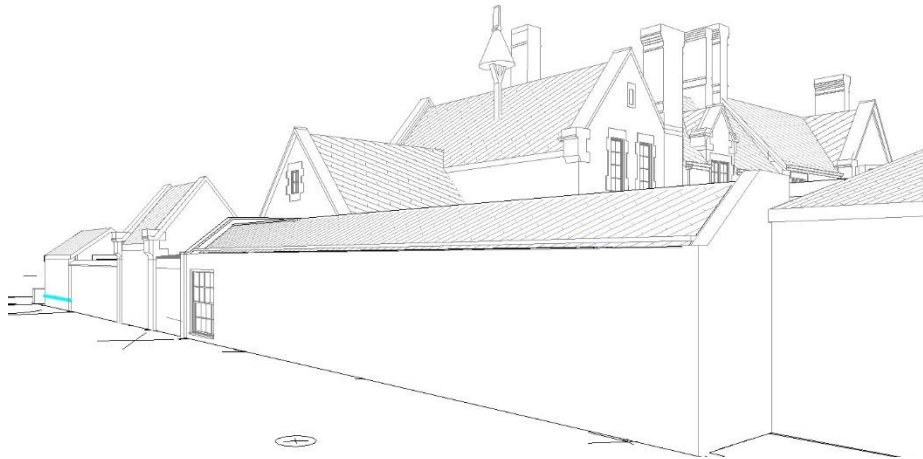


Figure 9: Cross section of garage

4.9 It is only the front and rear ends of the garage roof where the parapet wall extends above 3m and lies within 2m of the property boundary where planning consent is sought. This is shown on the cross section above, outlined orange and can be seen in the photograph below. This front elevation demonstrates that the parapet wall it is only visible at a narrow angle

between the application site and neighbouring property. The rear parapet wall can be seen in the first photograph in Figure 7 above from within the glazed link.



Figure 10: View of parapet wall from front elevation

- 4.10 New brickwork and stone copings have been sourced from within the site itself and matched to that of existing building. Pointing types have also been matched in colour and profile.
- 4.11 Externally the rear garden will have landscaped patio and seating area with raised planters and new boundary vegetation to enhance that existing. There would be no other alterations to the grounds, entrance or access drive. The main front elevation of the property has no alterations as can be seen in the photograph below.



Figure 10: Front elevation of Glebe House

5. PLANNING POLICY

5.1 Section 38(6) of the Planning and Compulsory Purchase Act 2004 (the Act) requires applications for planning permission to be determined in accordance with the Development Plan unless material considerations indicate otherwise. In addition, Government policy, principally the National Planning Policy Framework updated in July 2021, is material to the determination of planning applications. It is therefore essential to examine the implications of any development proposals against this policy background.

5.2 The statutory Development Plan against which this application should be determined comprises the Lichfield Local Plan Strategy 2008 - 2029, adopted February 2017, and the Lichfield Local Plan Allocations 2008 - 2029, adopted July 2019. The Lichfield Local Plan 2040 has not yet been through examination and therefore can only be afforded limited weight. The Sustainable Design Supplementary Planning Document (SPD), December 2015 is a material consideration.

Lichfield Local Plan

5.3 The proposed development site is outside any defined settlement boundary on the adopted Proposals Map and is identified as Countryside.

5.4 Core Policy 2: Sets out a presumption in favour of sustainable development stating that the Council will take a positive approach working with applicants to find solutions which mean proposals can be approved wherever possible. Where planning applications accord with the Local Plan they should be approved without delay unless material considerations indicate otherwise.

5.5 Policy NR8: River Mease Special Area of Conservation (SAC) states that development will only be permitted where there would not be a likely adverse effect upon the integrity of the Mease SAC.

5.6 Policy BE1: Requires all development to ensure a high quality sustainable environment can be achieved. Development will be permitted where it has a positive impact on the built vernacular. New development should carefully respect the character of the surrounding area and development in terms of layout, size, scale, architectural design and public views.

Innovative and contemporary designs will be supported where they are sympathetic to the setting and context to the surrounding areas and existing development.

Sustainable Design SPD

- 5.7 The Good Design SPD provides guidance on new development underlining the need to respect and respond to the surrounding environment and enhancing existing places. Appendix A sets out standards for space about dwellings and amenity. Developments should ensure adequate daylight to rooms and gardens, reasonable privacy and no unacceptable overbearing/overshadowing.

National Planning Policy Framework (2019)

- 5.8 The National Planning Policy Framework (NPPF) provides overarching guidelines for the planning system and states that ‘the purpose of planning is to help achieve sustainable development.’ The central theme of the framework is a presumption in favour of sustainable development. Where proposals accord with the Development Plan they should be approved without delay.
- 5.9 Chapter 12 of the NPPF sets out guidance on achieving well designed places stating that the creation of high quality buildings is fundamental to planning and good design is a key aspect of sustainable development, creating better places to live and making development more acceptable to communities. Paragraph 126 goes on to state local guidance documents should set out the high quality standard for design, but the level of detail and degree of prescription should be tailored to circumstances and allow a suitable degree of variety.

6. ASSESSMENT AND CONCLUSION

- 6.1 This planning application is for the extension and alteration of Glebe House to create an extended glazed living space off the kitchen/dining area, a glass covered walkway and alterations to the wall of the garage, improving its appearance with a mansard roof and parapet walls. It is established that other works to the garage roof and internal alterations do not require planning consent.
- 6.2 The adopted Local Plan, NPPF and Sustainable Design SPD support high quality extensions and Policy BE1 specifically embraces contemporary design where this respects the context and existing development. The rear extension and link are both of a modern style but have been crafted sympathetically to the original dwelling keeping the scale very modest and lightweight through the use of materials, which do not compete with the domineering stature of the main brick house with its strong features including the mullion windows, dark bricks and extensive chimneys. The extension, whilst mainly glass, is given some weight by the cladding to its perimeter, grounding the development and providing balance to the adjacent heavy stone mullion windows. The finish to the cladding also marries with the darker brick, particularly in sunlight where the bronze sheen draws this match closer. The relatively small scale of the development and materials used, coupled with the limited views of the property ensure that the existing character of Glebe House and its setting in the surrounding area will be safeguarded.
- 6.3 With large amounts of glass, the existing rooms are flooded with light giving a modern airy feel and an open plan living environment. The specification of the building fabric and finish exceed current building regulations to deliver a sustainable development that improves the standards of the existing house. The high quality nature of the proposal provides much improved functionality that integrates, retains and improves many traditional features, bringing an overall enhancement to the property.
- 6.4 The alterations to the garage roof offer a significant improvement to the previous flat roof using materials and detailing to match the high quality of the main house, ensuring this front elevation reflects the original character and style from the streetscene and neighbouring property.
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- 6.5 The distance between the proposed development and nearby dwellings is more than sufficient to ensure residential amenity is protected and no overlooking or overshadowing would result, meeting the requirements of the Design SPD.
- 6.6 The development is of domestic scale and no additional drainage system is proposed. It is therefore considered to have a negligible impact on the River Mease catchment or SAC causing no conflict with Policy NR8.
- 6.7 The proposals as a whole demonstrate a high standard of architectural design and a thorough understanding of the distinctiveness of the building itself and within its local context.

Conclusion

- 6.8 This statement has demonstrated that, when considering the Development Plan and planning guidance, the application for the extension and alteration of Glebe House is of an exceptionally high quality and sustainable design that accords with Local Plan policy and there are no material considerations would render the proposal unacceptable in planning terms. In accordance with the Act, it is therefore respectfully requested that the application is viewed favourably and approved without delay.