



DESIGN ACCESS and HERITAGE IMPACT STATEMENT

REPLACEMENT SINGLE STOREY REAR EXTENSION and PORCHES, INTERNAL REPAIRS and ALTERATIONS, REBUILDING OF GARDEN OUTBUILDING, ENLARGEMENT / ALTERATIONS TO EXISTING OFF ROAD PARKING / TURNING AREA AND ASSOCIATED EXTERNAL WORKS.

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1 INTRODUCTION

Point of contact – William McCormack of Harris McCormack Architects – William@harrismccormack.co.uk

This document is submitted in support of an application for **Listed Building Consent** and **Householder Planning Permission** for the replacement of a single storey rear extension and two modern porches along with internal repairs, refurbishment and alterations to the house, replacement of a garden outbuilding and enlargement / alterations to existing off road parking and turning area. Associated external works and repairs also form part of the works at The Shambles, 12 Bulwick, Corby, NN17 3DY.

This application is a re-submission of the previous application NE/21/01283/FUL which was withdrawn – the changes include omitting the previous contentious detached garage with the majority of the remaining proposals as before which were previously supported by the Local Planning Authority.

2 THE SITE AND SUROUNDINGS

The site is located in East Northamptonshire in the heart of the village of Bulwick. The village consists of both traditional and modern examples of dwellings which are of mixed architecture style, scale, appearance and materials. The site itself sits within the **Bulwick Conservation Area** and is a **Grade II** listed residential dwelling: Built in natural coursed limestone under a Collyweston Roof it sits on a generous plot approximately 1100sqm.

Listing Description:

Name: The Shambles. GV II

Legacy ID: 232878

Location: Bulwick, North Northamptonshire, Northamptonshire, NN17

County: Northamptonshire

Civil Parish: Bulwick

Grade: II

Listing Date: 31 March 1988

Listing Entry Description: House. Probably mid/late C18 altered early C19. Squared coursed limestone with Collyweston slate roof. L-shape plan. Single storey with attic. Elevation abutting road is 2-window range of C19 unhorned sash windows, with glazing bars, under stone lintels with keyblocks. Pair of hipped eaves dormers, to attic have C19 casement windows. Chamfered plinth. Brick stacks at ends, Elevation to right has 3 hipped roof dormers similar to front elevation but with one C20 window to centre. C19 tripartite sash window, with glazing bars, under wood lintel to ground floor left. Other ground floor windows are C19 style casements under wood lintels. Part-glazed door, to far left, and 2 C20 porches to left and right of centre. Brick stacks at ridge and end. Interior: staircase rises between walls, two 6-panel doors in entrance hall. Room to left of entrance has early C19 fireplace and cupboard with domed back and curved shelves. Room to far right has c19 cast iron range. Room to left of entrance, abutting the road, was probably rebuilt early C19. (RCHM: An Inventory of Architectural Monuments in North Northamptonshire, p29)

The Site (The Shambles)

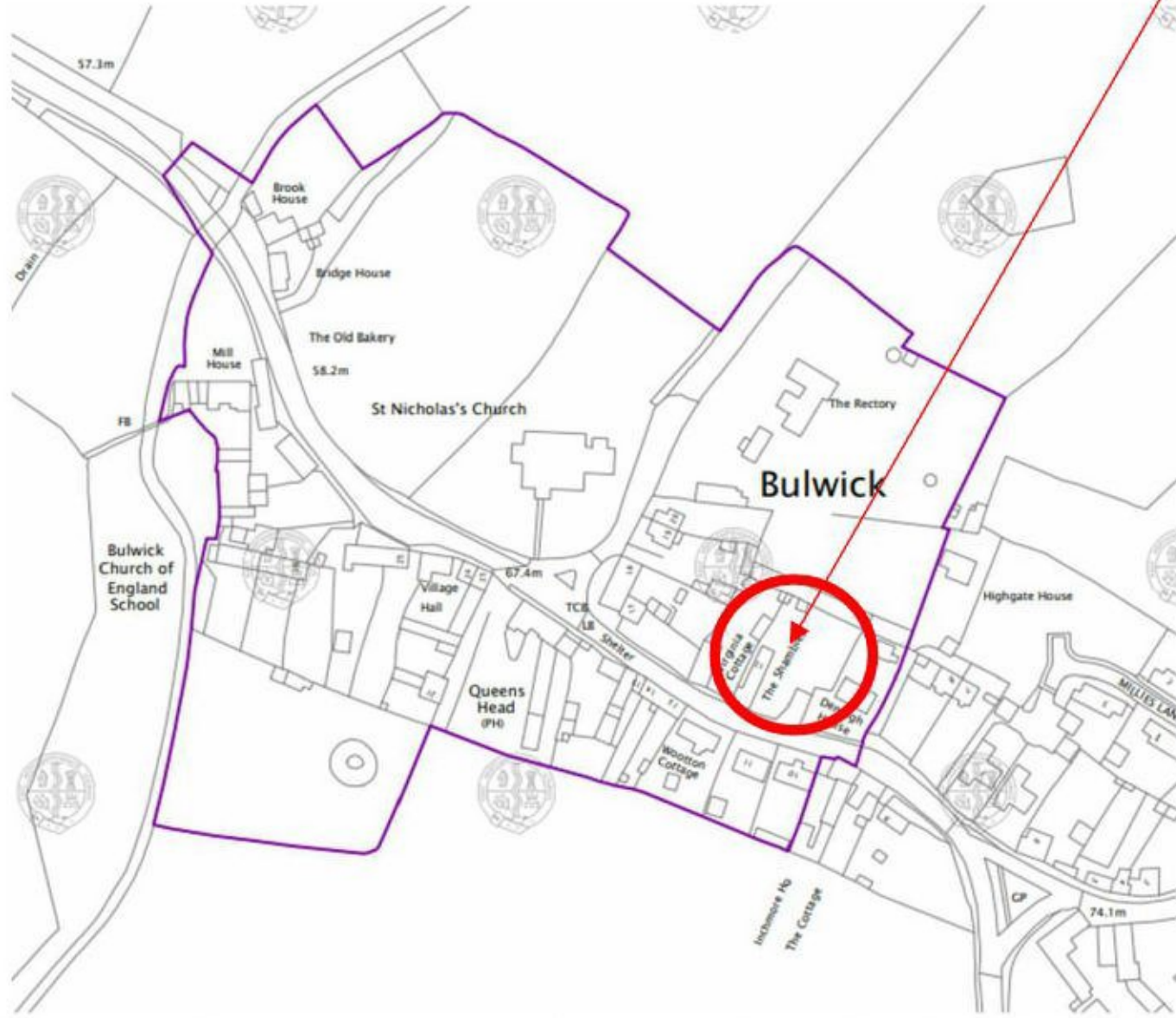
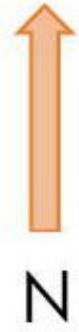


Figure 1 – Bulwick Conservation Area from NNC Website



Figure 2 – The Site from Google Maps



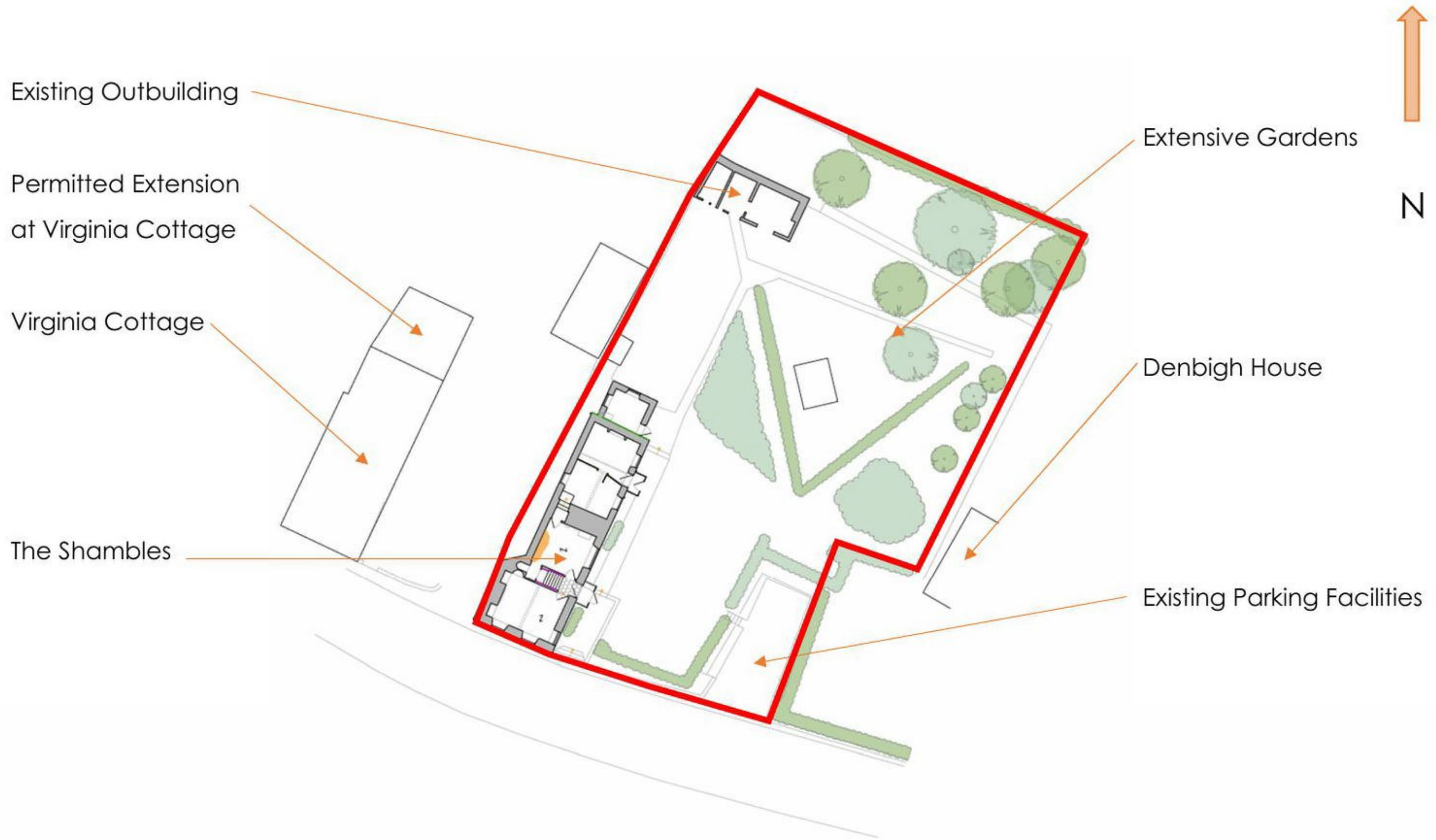


Figure 3 – Existing Site Plan

2.1 – Planning History

The record search on the **North Northamptonshire Council** only indicated one previous application which was withdrawn, along with previous applications for adjacent houses and historical maps of the site.

The following information highlights the planning history for the site and the adjacent sites (Virginia Cottage & Denbigh House) and is shown in date order with the most recent application.

NE/21/01283/FUL | The Shambles | Internal Alterations, Replacement Single Storey Rear Extension and 2 Porches, Replacement Outbuilding and Erection of New Detached Garage / Home Office: Alterations to the Existing Car Parking Provision and Changed to Landscape. | Application Withdrawn

NE/21/01284/LBC | The Shambles | Internal Alterations, Replacement Single Storey Rear Extension and 2 Porches, Replacement Outbuilding and Erection of New Detached Garage / Home Office: Alterations to the Existing Car Parking Provision and Changed to Landscape. | Application Withdrawn

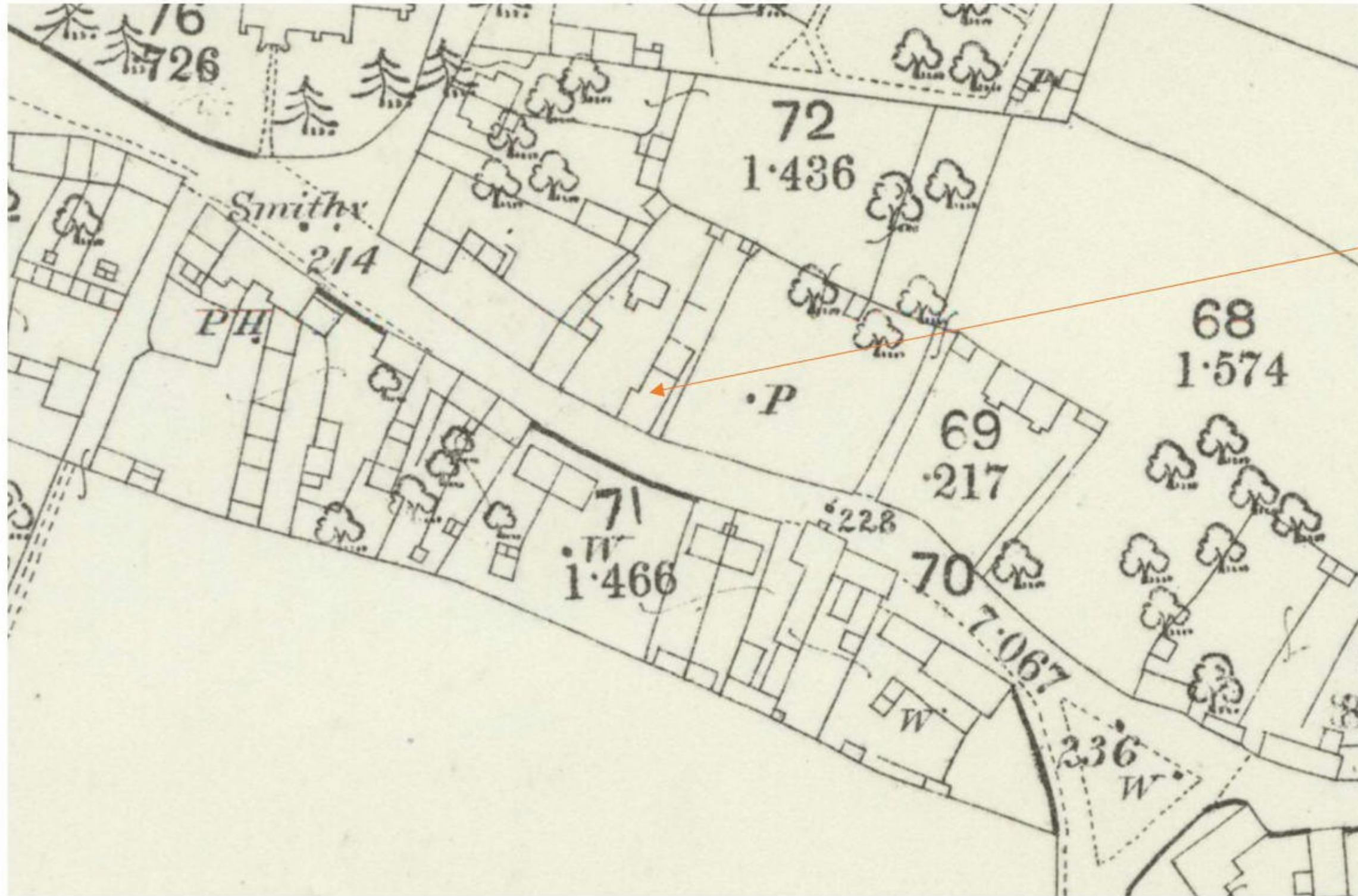
Application (NE/21/01283/FUL & NE/21/01284/LBC) were withdrawn due to the proposed new detached garage / home office, which was not considered appropriate by the LPA. The revised submission omits this aspect of the works and focusses on the remainder of the scheme which was previously considered acceptable by the LPA.

NE/21/00908/FUL | Virginia Cottage | Two Storey Rear Extension | Decision Date – Tue 03 Aug 2021 (Permitted)

19/01609/FUL | Virginia Cottage | Two Storey Side Extension | Decision Date – Wed 15 Jan 2020 (Withdrawn)

12/01324/FUL | Virginia Cottage | Double Storey Extension, Reinstate Windows & Rebuild Garage | Decision Date – Tue 27 Nov 2012 (Permitted)

93/00839/FUL | Denbigh House | Erection of New Dwelling House | Decision Date – Fri 12 Aug 1994 (Permitted)



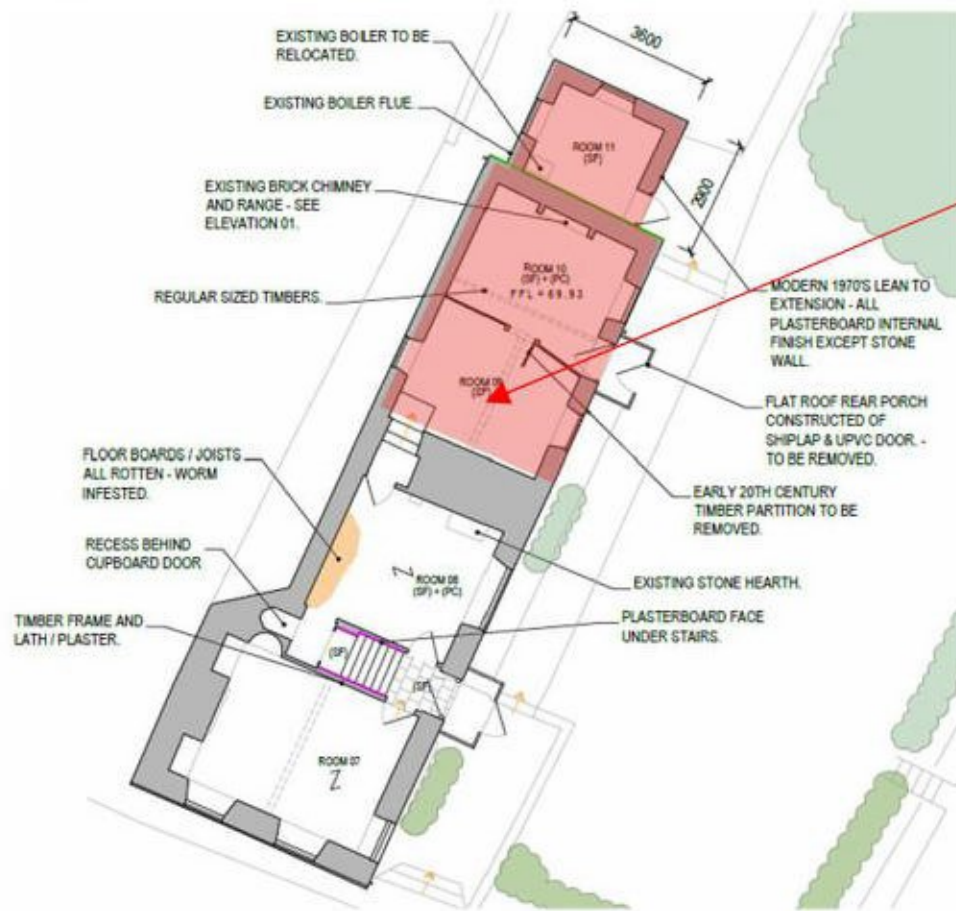
The Shambles

Figure 4 – Historic Map from 1886 Showing the Site



The current northern lean-to is clearly modern. It is also likely that the northern part of the building highlighted in red to the left has been heavily rebuilt historically, with the straight ridge indicating a replacement roof, and the comparatively neat coursed rubblestone to the east indicating substantial historic rebuilding.

Figure 5 – East Elevation



The existing ground floor plan illustrates a significant change in levels between the road-facing southerly building and the northern elements. The modern lean-to extension cannot be accessed internally from the cottage, which makes this awkward and impractical for day-to-day use.

Figure 6 – Existing Ground Floor Plan

The Shambles does not appear to have been worked on for some decades, the first floor has been sub divided (stud partitions) to provide additional bedrooms, bathrooms and a linen cupboard. The kitchen is contemporary within this period and it is assumed that the mechanical and electrical installations were also upgraded at this time (central heating installed). The services are in urgent need of upgrading / replacing to reach current safety standards, and the kitchen and bathrooms are to be replaced also. The proposal also seeks to remove a significant amount of 1970s stud-work subdivision, to go some way to reinstate the original room proportions and layout of the original cottage.



Figure 7 shows the view looking at the site coming from the West into the village. The property's frontage sits close to Main Street's edge and is surrounded by other residential properties. This side elevation is predominately obscured by Virginia Cottage which lies near and adjacent the site.

Figure 7 – View from Main Street

The Site

Leylandii Hedge to be Partially Removed



Figure 8 shows the site (The Shambles) in the background predominately screened from view with mature leylandii hedges. A significant change in levels can also be seen from the road to the site. It also shows the current unattractive car parking area dominated by concrete retaining walls and slabs.

Figure 8 – View from Main Street



Figure 9 – East Elevation - Side

This document is also intended as a **Heritage Impact Assessment** (HIA) in relation to proposals to the *Grade II* listed building. It is important that both the Design and Access Statement and Heritage Impact Assessment are read in conjunction with the application drawings.

- The Heritage Impact Assessment responds to the requirements of paragraphs 194 and 195 of the National Planning Policy Framework (NPPF - July 2021), which require that applicants for planning permission should describe the significance of any heritage assets affected by development proposals, including any contribution made by their setting, and that local planning authorities should take account of available evidence and any necessary expertise when considering the impact of a proposal on heritage assets.
- The relevant legislative provisions relating to listed buildings are set out in the Planning (Listed Buildings and Conservation Areas) Act 1990. Sections 16(2) and 66 (1) of the Planning (Listed Buildings and Conservation Areas) Act 1990 make it a statutory duty for a local planning authority, in considering whether to grant listed building consent or planning permission for development which affects a listed building or its setting, to *'have special regard to the desirability of preserving the building or its setting or any features of special architectural or historic interest which it possesses'*.
- As well as having regard to the relevant legislation, the application proposal must be assessed in the context of prevailing Central Government planning policy. The Government's planning policies for England are set out in the National Planning Policy Framework (NPPF), published by the Ministry of Housing, Communities and Local Government in July 2021, and which replaces the earlier editions of the NPPF. The policies in the NPPF are a material consideration in planning decisions.
- The Government's policies on conservation and enhancement of the historic environment are set out in Section 16 of the NPPF.

and future generations because of its heritage interest and that heritage interest may be archaeological, architectural, artistic or historic.

- The PPG stresses the importance of understanding the potential impact of development proposals on significance (paragraph: 007 Reference ID: 18a-007-20190723) and that understanding the significance of a heritage asset and its setting from an early stage in the design process can help to inform the development of proposals which avoid or minimise harm (paragraph: 008 Reference ID: 18a-008-20190723). The PPG goes on to advise that applicants' assessments of significance should include analysis of the significance of the asset and its setting, and, where relevant, how this has informed the development of the proposals (Paragraph: 009 Reference ID: 18a-009-20190723).
- The Historic Environment Good Practice Advice in Planning (GPA2), entitled '*Managing Significance in Decision-Taking in the Historic Environment*' was published by Historic England/English Heritage in March 2015. This guidance forms part of a suite of good practice advice documents that supersede the earlier *PPS5 Historic Environment Planning Practice Guide*. GPA2 reiterates earlier guidance that the assessment of the significance of heritage assets is an essential part of the planning process. Due regard has been had to this advice in preparing this Heritage Impact Assessment.

IN BRIEF (full description later in this document) -

The proposed alterations to the **existing cottage** focus on:

- The removal of a significant amount of 1970s subdivision at first floor level and replacement of the main bathroom: **NO LOSS OF HISTORIC FABRIC.**
- Replacement of inadequate and unsafe services (M+E): **NO LOSS OF HISTORIC FABRIC.**
- Repairs to failed structure – mainly limited to a section of ground floor timber floor structure identified in the application drawings: **MINIMAL LOSS – FABRIC DECAYED / ROTTED – REPLACEMENT IN SIMILAR MATERIALS.**
- Repairs (and replacement where modern sashes have been inserted) to the timber horizontal bar single glazed windows: **MINIMAL LOSS – FABRIC DECAYED / ROTTED – REPLACEMENT IN SIMILAR MATERIALS.**

The proposed alterations to the northern element of the cottage focus on:

- The reconfiguration of the kitchen layout: **REPLACE 1970s KITCHEN – MINIMAL LOSS OF HISTORIC FABRIC** with the removal of modern timber frame to improve the layout of the space.
- The formation of a modest opening from the end gable wall into the proposed new extension to improve the connectivity through the building. **SMALL LOSS OF (POSSIBLY) NON – ORIGINAL MASONRY AREA.**
- **NOTE:** RETENTION OF CHIMNEY BREAST AND CAST IRON STOVE.
- Replacement of inadequate and unsafe services (M+E): **NO LOSS OF HISTORIC FABRIC.**
- Refurbishment and replacement of first floor (1970s) bathroom suite – amended foul drainage. Formation of aperture in Collyweston roof to suit conservation rooflight.
- Loss of gable window – block up opening leaving reveals fully defined.

The proposed alterations to the later **20th century single storey lean-to extension** consists of:

- Carefully taking down – sorting and stacking materials (blue slate / limestone) for reuse in new extension.
- Replacement single storey extension – as detailed on application drawings.

Replacement outbuilding:

The proposed replacement of the garden building will result in a modest stone / brick built “potting shed” / garden store that will be used as an outdoor space for enhanced enjoyment of the large garden – a more acceptable proposal than the erection of a timber “summer house” or similar off the peg structure / garden shed.

Proposed Enlargement of Parking / Turning Area:

The proposed enlargement and alterations to the parking area ensure that there is sufficient space to accommodate three spaces as well as turning facilities – to allow exiting in a forward gear, in accordance with Northamptonshire Parking Standards. Currently the parking space and turning facilities are not fit for purpose for the current size of the dwelling and offer little in terms of visual amenity within the street scene.

The proposed will better reflect the surrounding built environment with natural course retaining walls rather than existing unattractive concrete slabs / retaining walls and sub-standard quality parking area.

Surrounding Context / Listed Buildings



Figure 12 – Site Context Map Showing Listed Buildings



Grade II Listed Inchmore House

The Site

Figure 13 – Existing Listed Buildings – View from Road



Grade II listed 13 and 14 Main Street and Bulwick Stores

The Site

Figure 14 – Existing Listed Buildings – View From Road

As noted, the works to the existing listed property itself have been carefully designed with minimal impact on the heritage asset - Any works that are carried out shall be done in a sympathetic manner.

The single-storey extension, garden room and porches are all non-original alterations and detract from the aesthetic appeal of the property and have a negative impact upon the street scene. The proposed replacements promote a design that is more in-keeping with the Conservation Area and local vernacular and match that of the existing dwelling while still ensuring the alterations can be "read" as modern additions.

It is believed that the proposals to the existing cottage are deemed acceptable as they were previously supported under the application (NE/21/01283/FUL). In terms of changes from the existing scheme on the host dwelling these are:

- Reducing the footprint of the formal entrance to match that of the existing porch in response to comments from the LPA on the previous application.
- Partially infilling external door opening on existing cottage in stone to match the existing to form a new window opening. The proposed window shall match the style of the existing as well as retaining the existing timber lintel - this change is believed not to impact the dwelling inappropriately.

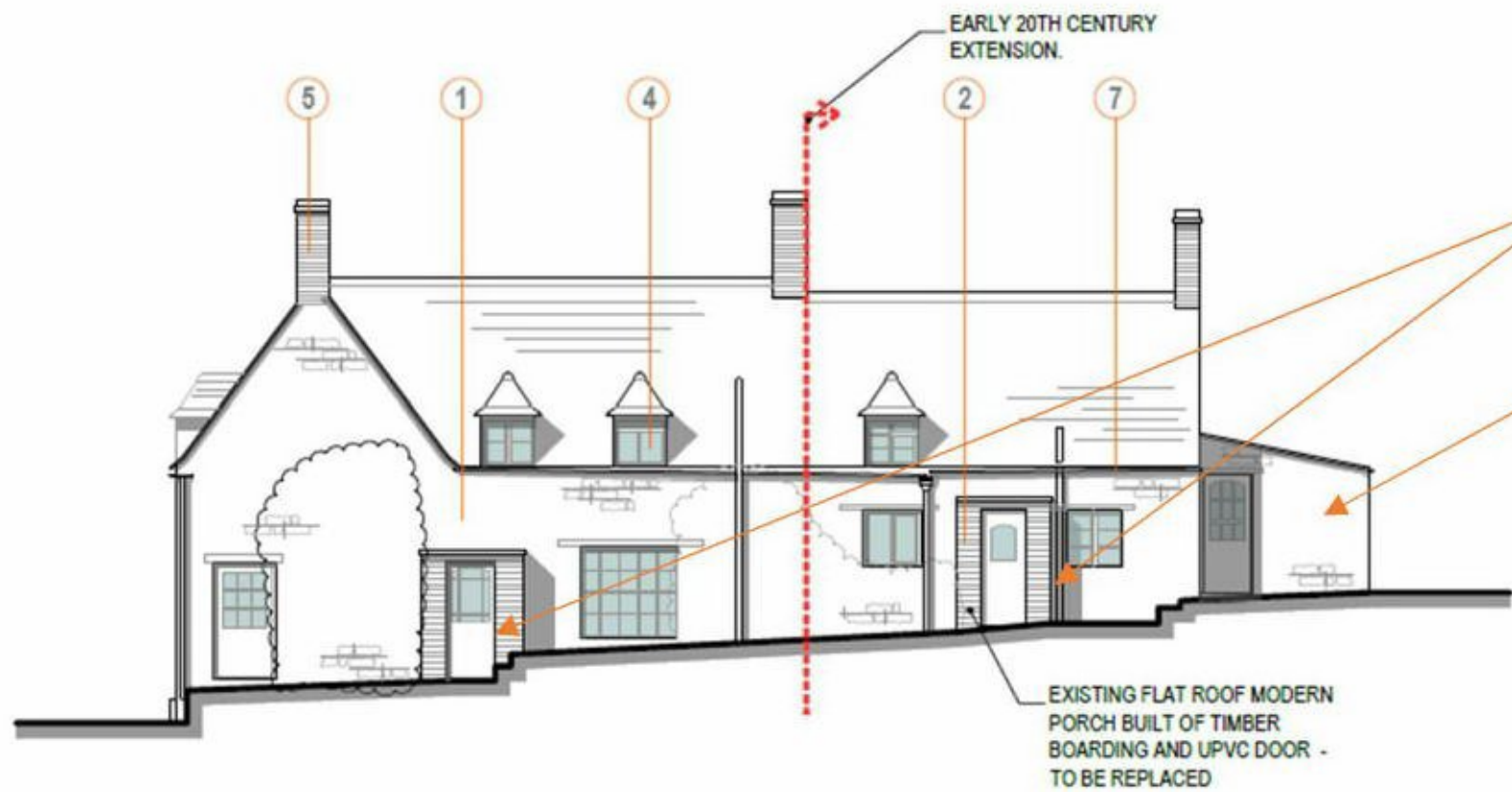
The proposed works to the parking area compliments the street scene and existing residential buildings. It does not appear at odds and will improve this rather awkward, unattractive part of the site.

5.1 - JUSTIFICATION

In accordance with the Heritage Impact Assessment, the impact of the proposed works on the Grade II listed building is further identified in the following text.

The report sets out the legislative and policy context in which proposals should be assessed. In accordance with the requirements of paragraph 194 of the NPPF, it describes the significance of The Shambles to enable an assessment to be made of the impact of the proposed works upon the significance of the listed building.

There are various elements to this application all of which will be assessed independently in the first instance before they are considered for their cumulative effect on the historic asset and the surroundings.



Existing Porches

Lean-to Extension – no direct internal connection with the cottage.

Figure 17 –Side Elevation at The Shambles



Proposed extension similar to recently approved at Virginia Cottage.

Figure 18 – Proposed Side Elevation

The extension does involve works to the existing listed asset including forming an opening between the proposed extension and the existing kitchen area. This will provide a better and more workable space for the occupants and has been carefully assessed to minimize the impact on any significant historic fabric.

Positioning the opening to the side of the existing chimney will ensure it does not have any affect upon it. This is a simple design solution that will allow the property to flow better while having minimal effect on the listed building.

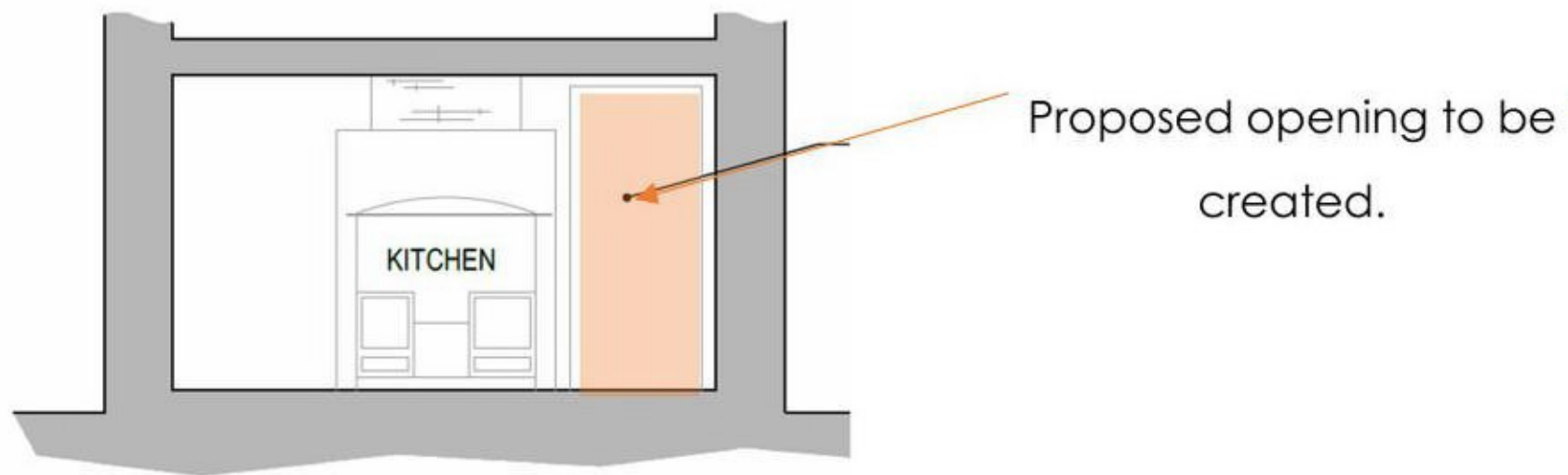


Figure 19 – Proposed Opening into Extension

Figure 20 – Existing Scenario

The extension will also involve the first-floor bathroom window having to be blocked up, in natural coursed limestone to match that of the existing and be recessed to have a clear distinction between old and new elements with the timber lintel remaining on show. There are many examples around the village where this feature has been adopted, even on the neighbouring Virginia Cottage where former windows have been blocked up in a similar way to the proposal.



Existing window blocked up at Virginia Cottage, many similar examples are dotted around on the village both on listed and non-listed assets.

Figure 21 – Neighbouring Virginia Cottage

Porches –

The existing porches are inappropriate non-original interventions which should be replaced.



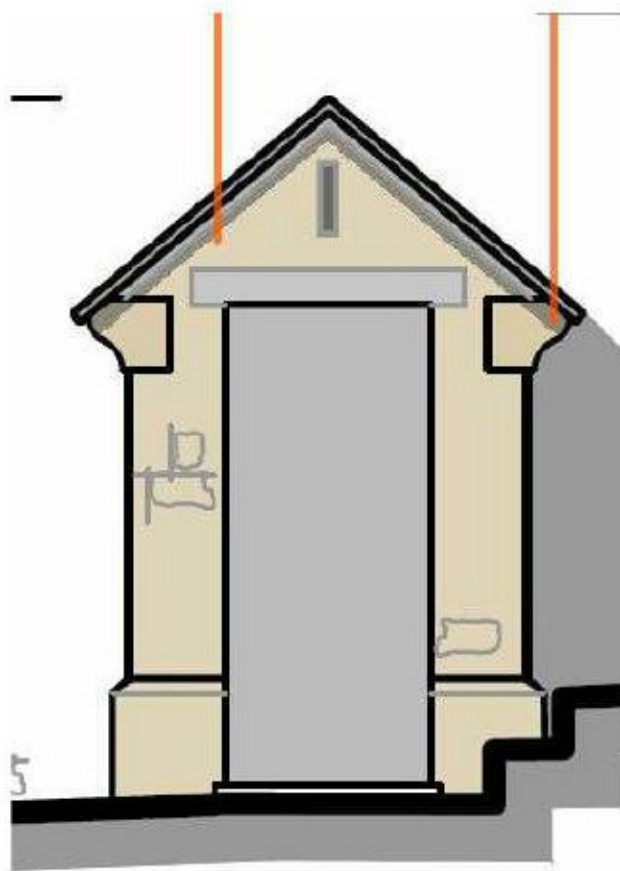
Figure 22 – South-East Porch

Both porches are constructed of shiplap timber boarding with a felt flat roof and both timber and UPVC doors. The materials incorporated are not used elsewhere on the site or in the vicinity.



Figure 23 – North-East Porch

The proposed replacement porches much better reflect the surrounding built environment and still provide the shelter area that is much needed, but poorly executed in the first instance. The main porch over the front door is formal in design, and in keeping with the host building and will be built out of natural coursed limestone and a Collyweston slate roof to match that of the existing as well as the footprint matching that of the existing. It also includes finer detail such as stone kneelers, a timber lintel and an arrow slit window which all mirror local examples.



Both porches have been designed to avoid the need to break the roof and gutter line, in order to appear subservient to the main dwelling. The proposed external footprints of porches have been amended so they are the same to that of existing, ensuring that they are not built any larger than needed and in accordance with the LPA comments on the previous application.

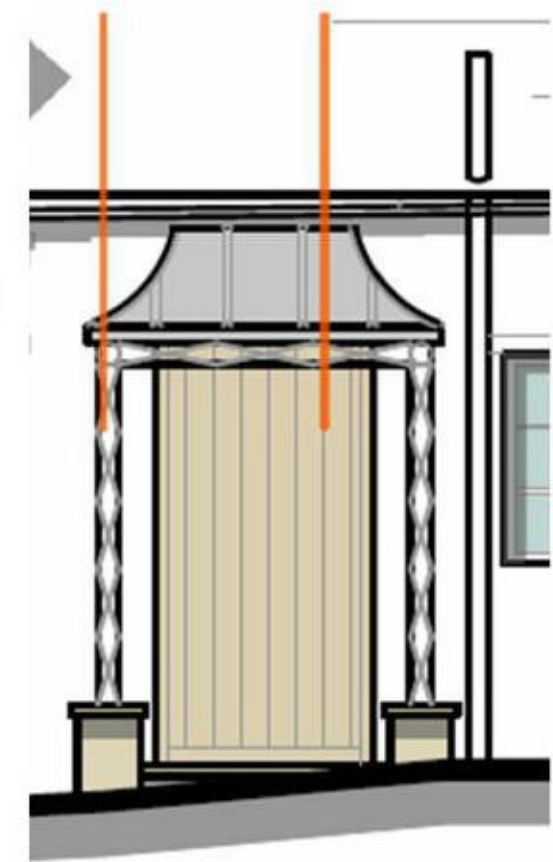


Figure 24 – Proposed Porch (Main Entrance)

Figure 25 – Proposed Porch (Rear Entrance)



Opposite the site and also on Main Street is the Grade II Listed Inchmore House. It also has a small road frontage with large side elevations similar to The Shambles. It also incorporates a porch thought to be early 20th century which closely resembles that of the main dwelling, with matching materials.

Figure 23 – Local Example of Porch



Example of a formal front porch within Bulwick and constructed of natural coursed limestone to match that of the host dwelling.

Figure 24 – Formal Front Stone Porch at Carbery House, Bulwick

Proposed Floor Plans Annotated with locations of Internal Alterations

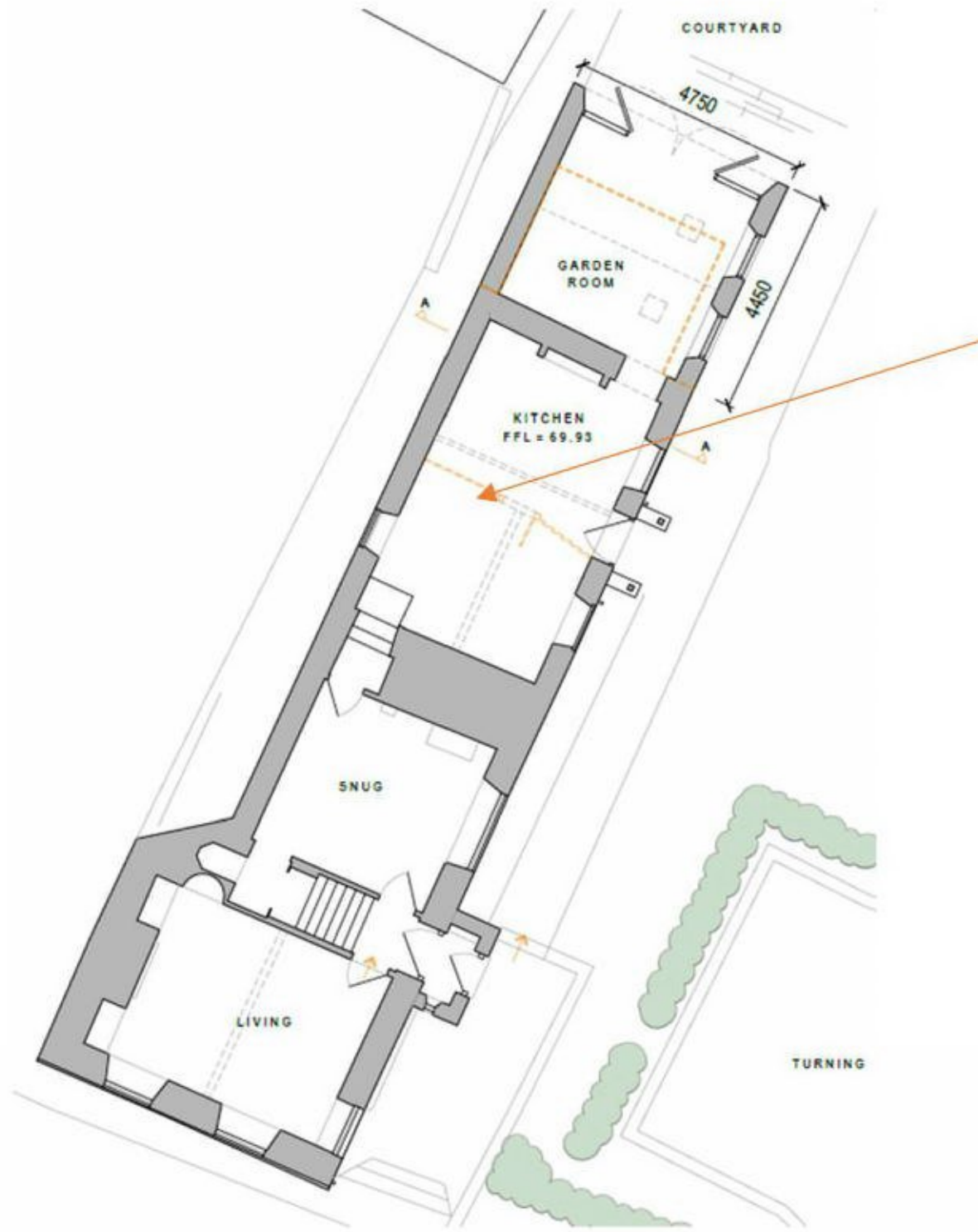


Figure 25 – Proposed Ground Floor Internal Works



Figure 26 – Proposed First Floor Internal Works

Internal Repairs and Alterations –

There are various works proposed to the inside of the property that not only allow for a better way of living for the occupants but also safeguard the future of the listed building, which currently has problems that could easily escalate and cause further deterioration and loss of fabric if left unchecked. It is important to note that the proposed alterations are mainly to modern partition stud walls.



1 – Remove modern sawn timber / plasterboard and skim partition walls in the front bedroom to create a single bedroom rather than two smaller, unfit for purpose spaces. The removal of the modern wall will reinstate the original layout and shall cause no loss of historical fabric due to the floor in this area also being a recent addition (pine tongue and groove).

Figure 27 – Modern Timber Floor



2 – Removal of walls surrounding the stairs. Predominantly they are made up of partition walls with modern plasterboard finish. Parts of the inside of the walls are lined with softwood tongue and groove boarding thought to be non-original. Opening up the stairs will allow natural light to flood the stairwell from the already present dormer window. Currently this does not happen due to staircase being enclosed and only a small internal window allowing light in.

It is clear these recent alterations were carried out to increase the level of accommodation in the cottage.

Modern Plasterboard Finish



Figure 29 – Modern Tongue and Groove

Figure 28 – Enclosed Staircase

5 – Partitions to be removed in kitchen are thought to be non-original. Removing the modern partitions reconfigures the layout to better suit the occupants and create a more usable space.

All internal works shall be done in a sensitive manner. Any proposed partitions will be lightweight stud frame construction with no loss of the original historic fabric. Where possible the partition walls shall be fixed to modern additions (pine floor and modern partition walls retained), with minimal fixing points to the older fabric.

6 – The addition of a conservation rooflight in the en-suite makes up for the loss of the end window.



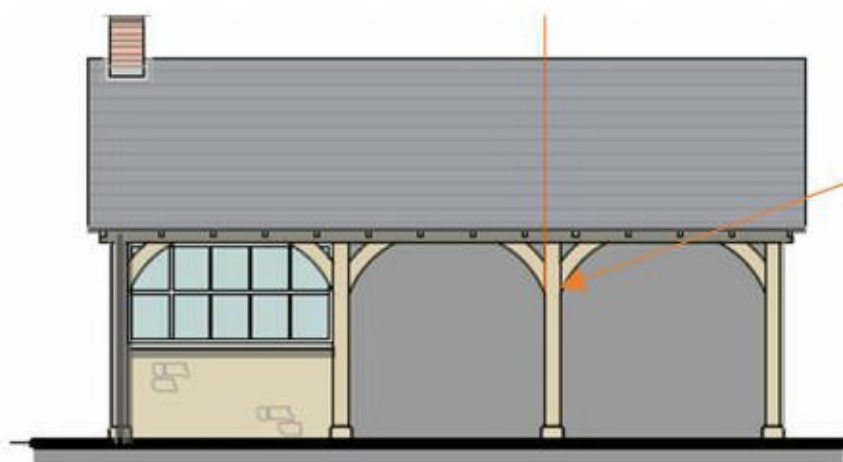
Figure 32 – Examples of Conservation Rooflights within Bulwick

Garden – Potting Shed Outbuilding Replacement –

The current outbuilding is beyond repair and not suitable for use. The current proposals look to erect a building more in-keeping with the local vernacular and the host dwelling (The Shambles). It shall be built on the same footprint as the existing garden / potting shed and provide a suitable space for the occupants. Constructed of materials matching the local built environment such as natural coursed limestone, oak timber frame and natural blue slate roof. It is considered that the existing outbuilding does nothing to enhance the character and appearance of the listed building and therefore the replacement is justified. The careful use of traditional building materials will preserve and enhance the character and appearance of the listed building and as such is considered to be an enhancement.



Figure 33 – Existing Garden Room / Potting Shed / Store



Oak timber frame frontage with low level natural coursed limestone wall and timber framed window under a blue slate roof.

Figure 34 – Proposed Garden Room / Potting Shed



The spacious site ensures that it can accommodate the enlarged parking area without appearing overcrowded or congested. The majority of the garden will still remain laid to lawn with beds and retained trees.

Figure 36 – Proposed Site Plan



Natural blue / grey slate can be seen opposite the site.

Natural blue / grey slate

The Shambles

Figure 37 – Natural Blue Slate Example

Associated Landscaping Works –

The large site is spread across various levels, gradually rising from the road (Main Street) towards the back of the site. The proposed works include extended turning facilities, widening access and hard landscaping such as terrace areas, paths and stone walls to manage with the change of levels and provide an easy access throughout the site. It is important to note that large areas of the site will remain unchanged and predominantly covered in grass, existing shrubbery and trees. All landscaping works shall be done in a sensitive manor and will not cause any detrimental impact on the main asset.

5.2 – MATERIALS

Proposed materials associated with the host dwelling (the porches and extension) shall match those of the existing, such as natural course limestone walls, timber windows and Collyweston slate roofs.

All the materials that are proposed have been carefully considered to reflect the surrounding built environment and have been used to match the existing dwelling but not to compete with it in a material sense.

5.3 – BOUNDARY TREATMENT

The boundary treatments shall remain the same throughout the site. The existing stone retaining wall fronting Main Street along with the existing mature hedge shall be shortened in terms of length to allow for the existing access to be widened slightly, but the height of the hedge shall remain the same so views from the road towards the dwelling shall still remain marginally screened. The concrete slabbed retaining walls will be removed and rebuilt in natural coursed stone. A reduction in the leylandii roadside hedge should be considered as a positive enhancement.

5.4 – HIGHWAYS

It is proposed that the existing access is widened slightly to further improve the turning and visibility splays. This is only marginal but ensures that safer access and egress can be obtained at the property.

Leylandii hedge partially removed

Wall partially taken down and concrete slabs removed

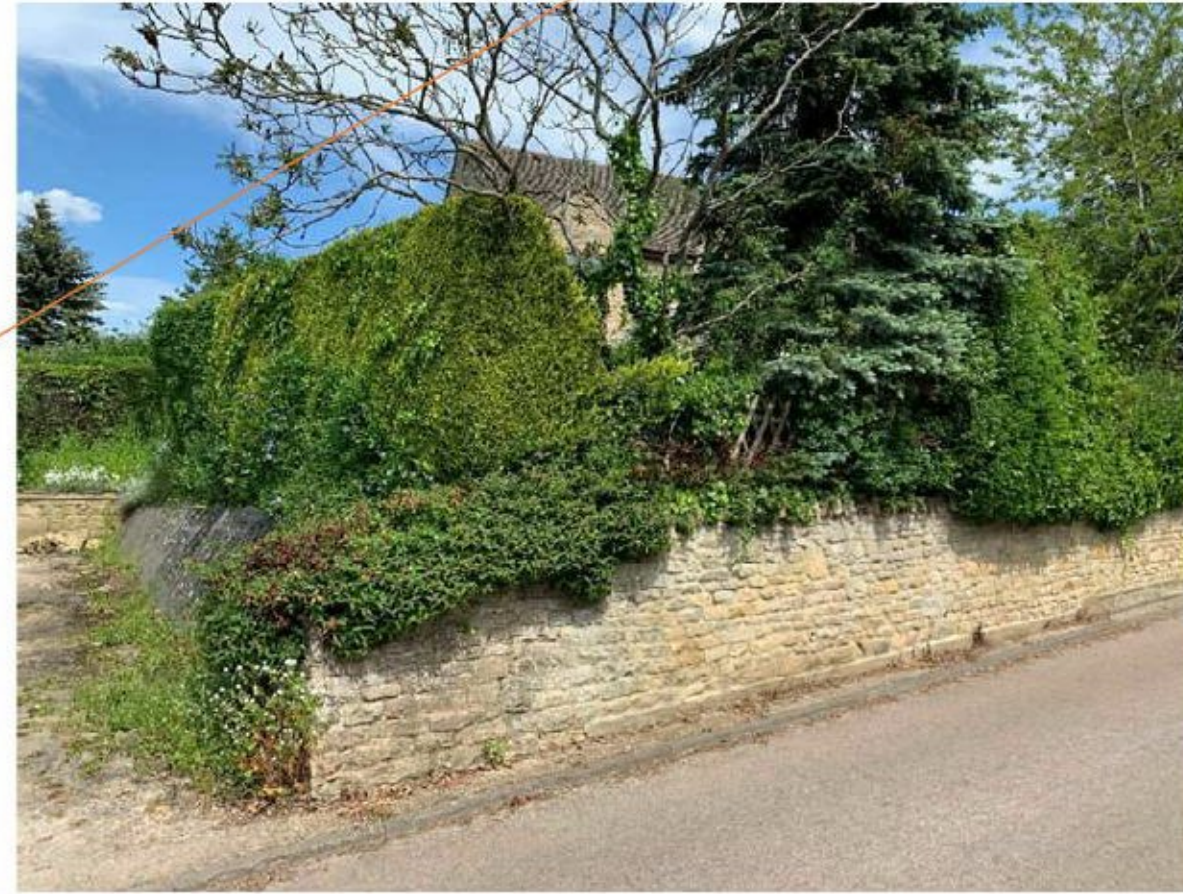


Figure 44 – Existing Street Scene

being given to those of most importance (scheduled monuments and grade 1 and 2* listed buildings, parks and gardens). Any harm to a designated asset requires convincing justification. – **Great consideration has been given to the original historical assets of the property to ensure there is minimum impact caused upon them by the proposed works, as well as replacing existing non-complimentary features – large amounts of the works have been supported by the LPA on the previous application.**

3.17 Heritage assets are an irreplaceable resource and effective conservation delivers wider social, cultural, economic and environmental benefits. Conservation is an active process of maintenance and managing change. It requires a flexible and thoughtful approach to get the best out of diverse assets. – **The proposed works will ensure the long life of the property and guarantee its future for decades to come and prevent further deterioration of the historic asset.**

3.18 In the case of buildings, the risks of neglect and decay are best addressed by ensuring that they remain in active use that is consistent with their conservation. Ensuring such heritage assets remain used and valued may require sympathetic changes to be made. Appropriate marketing will be required to demonstrate the redundancy of a heritage asset, and that an appropriate viable use cannot be found. Where loss of historic features is unavoidable and justified, provision should be made for recording and the production of a suitable archive and report. – **The works internally to the existing dwelling are considerate and minimal and create a layout that suits the modern way of living with minimal impact caused upon historical features or layout. The extension and addition of porches is not only beneficial to the property visually but also creates a better layout and more usable space that interacts with the generous garden better.**

3.20 It is important to create places that are sympathetic to the local character of the surrounding environment, achieved through the use of locally sourced materials where appropriate, which reflect the distinctive characteristics of the settlements in North Northamptonshire, and the creation of streetscapes that are visually sympathetic to the historic environment. It is expected that development will be of the highest standard of design in order to maintain and enhance the quality of the area or building, and be sensitive to its character and appearance. In considering applications for new development, the Councils will seek to ensure that the form, scale, design and materials of new buildings are complementary to the historic environment. Applications will need to be accompanied by a description of the significance of any heritage assets affected by the proposal and clear justification where any harm or loss of heritage asset is involved. – **All the proposals will be in materials appropriate to the local area and reflect the distinct characteristics of the village. The proposals to the host dwelling will be predominantly screened from view from the street scene but it is believed that they have a positive impact on the streetscape.**

Policy 2 – Historic Environment

The distinctive North Northamptonshire historic environment will be protected, preserved and, where appropriate, enhanced. Where a development would impact upon a heritage asset and/or its setting. – **The proposals as a whole enhance the local visual amenity and improves the street scene. The existing parking area for the property is an unsightly area along the street with prominent large masses of concrete retaining walls which currently detract from the streetscape.**

a) Proposals should conserve and, where possible, enhance the heritage significance and setting of an asset or group of heritage assets in a manner commensurate to its significance. – **All of the proposals have been considered against the importance of the heritage asset and although they will be built in matching materials to the host dwelling, have still been designed to appear subservient and distinguishable from old to new.**

b) Proposals should complement their surrounding historic environment through the form, scale, design and materials; c) Proposals should protect and, where possible, enhance key views and vistas of heritage assets. – **As previously explained and demonstrated it is believed that the proposals will enhance and improve the streetscape.**

d) Proposals should demonstrate an appreciation and understanding of the impact of development on heritage assets and their setting in order to minimise harm to these assets and their setting. Where loss of historic features or archaeological remains is unavoidable and justified, provision should be made for recording and the production of a suitable archive and report; e) Where appropriate, flexible solutions to the re-use of buildings and conservation of other types of heritage assets at risk will be encouraged, especially, where this will result in their removal from the 'at risk' register.

7 SUMMARY

The existing site and surrounding areas have been carefully assessed to create a design which not only meets the client's brief and requirements but will achieve this in such a way as to maintain the architectural merit of the listed property within the village of Bulwick.

It is considered that the proposed works outlined would cause no overall harm to the significance of the Grade II listed building or impact adversely the setting. Taking these matters into account and having regard to the duties under s16 and

s66 (1) of the Planning (Listed building and Conservation Areas) Act 1990, it is concluded that the listed building and its setting would be improved, and that consequently listed consent can be granted.

The proposals accord with National and Local Planning Policies and promote a carefully designed scheme that represents little impact on the surrounding buildings and better improves the street scene.

Large amounts of the proposals have previously been supported by the Local Planning Authority under the previous application (NE/21/01283/FUL). Any contentious aspects of the proposals previously have either been addressed in the revised application or omitted altogether.

Once implemented it is believed that these alterations and additions will result in a significant improvement to house and garden as a desirable, family home – albeit modest in accommodation.